

## TECHNICAL DATA SHEET

### SCREENING AND LANDSCAPED AREAS

- Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.
- Any dumpsters located on the Site shall be screened from view by a solid enclosure with a gate.
- Roof top mechanical equipment shall be screened from public view.
- Large maturing trees shall be installed forty feet on center along the frontage of Highway 29 and E. McCullough St. in accordance with the City of Charlotte Tree Ordinance.
- Existing trees located in setbacks are to be preserved except as necessary for the installation of the driveway.
- Petitioner shall engage an ISA Certified Arborist (the "Arborist") after staking the Site and prior to grading any portion thereof to locate the existing trees on the Site located within the 40 foot landscaped setback on North Tryon Street and the 20 foot setback on East McCullough Drive and specifically identified on the Technical Data Sheet (the "Trees"), and to provide Petitioner and its contractor(s) with recommendations and procedures to protect the Trees during the grading of the Site and the construction of the improvements depicted on the Technical Data Sheet and Schematic Site Plan. Upon the completion of the grading of the Site, the Arborist will inspect the Site and make further recommendations to protect the Trees if necessary, and Petitioner shall implement such recommendations provided that they do not prevent Petitioner from constructing the improvements depicted on the Technical Data Sheet and Schematic Site Plan. All clearing within any tree save areas shall be done by hand, and all tree protection measures will remain in place until the grading of the Site and the construction of the improvements have been completed.
- Proposed planting shown is conceptual only and will be subject to change on actual site conditions and Urban Forestry Staff approval.
- Site shall comply with Chapter 21 of the Charlotte City Code.

### LIGHTING:

- All freestanding lighting fixtures will be uniform in design.
- The height of any freestanding lighting fixture, including its base may not exceed 20 feet.
- Wall pack lighting will not be allowed.

### AMENDMENTS TO REZONING PLAN:

Future amendments to this Technical Data Sheet and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

### PARKING:

Off street parking spaces will satisfy the minimum standards established under the Ordinance.

### SIGNS:

Detached signage for the restaurant shall be ground-mounted or monument in style and shall not exceed 7 feet in height and 50 square feet in size.

### PEDESTRIAN ACCESS:

- Sidewalks and crosswalks shall be provided in accordance with the Schematic Site Plan.

### ACCESS POINTS (DRIVEWAYS):

- The number of vehicular access points to the Site shall be limited to the number depicted on this Technical Data Sheet.
- The placements and configurations of the access points are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the City of Charlotte and/or the North Carolina Department of Transportation.
- Upon the request of the Charlotte Department of Transportation, Petitioner agrees to dedicate and convey to the City of Charlotte that portion of the Site cross hatched on the Technical Data Sheet for right of way necessary for the proposed McCullough Drive Extension.

### STORMWATER

- The Developer shall tie-in to the existing stormwater system. The developer shall have the receiving drainage system analyzed to ensure that it will not be taken out of standard due to the development. If it is found that development will cause the storm drainage system to be taken out of standard, the developer shall provide alternate method.
- Storm water runoff from the Site will be managed through proven techniques which satisfy the standards, if any, imposed by the City of Charlotte Engineering Department.

### BINDING EFFECT OF THE REZONING APPLICATION:

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and this Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

### FIRE PROTECTION:

Adequate fire protection in the form of fire hydrants will be provided to the Fire Marshal's specifications.

## SCHEMATIC SITE PLAN

### SITE DATA:

Acreage: 2.85 acres  
 Existing Zoning: B-1 (CD)  
 Proposed Zoning: B-1 (CD)  
 Maximum Building Area: 8,300 square feet  
 Proposed Use: Sit-down Restaurant

### DEVELOPMENT STANDARDS:

Unless more stringent standards are established by this Technical Data Sheet or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the B-1 zoning district classification shall be followed in connection with development taking place on the Site.

### PERMITTED USES:

- The Site will be developed as a sit-down, family style restaurant with no drive-through window permitted, or general or medical offices.
- The gross floor area shall not exceed 8,300 square feet.
- Accessory uses as permitted under Section 11.404 of the Ordinance shall be permitted on the Site.
- The following uses shall be prohibited: drive-ins, drive-thrus, landfills, petro storage and coin-operated businesses.

### SETBACKS, SIDE YARDS AND REAR YARDS:

- The building and any associated parking shall be set back at least 40 feet from the right-of-way of Highway 29.
- The building will also satisfy or exceed the rear and side yard requirements established under the Ordinance for the B-1 zoning district.

### ARCHITECTURAL CONTROLS:

- The building will be designed and constructed so that it has windows that face Highway 29 and E. McCullough St.
- At least 60 percent of the building material will be brick and the brick color will be similar to the restaurant located on the southeasterly corner of the intersection of McCullough Drive and North Tryon Street.
- The exterior elevations of any restaurant building located on the Site will be substantially similar in appearance to the elevations submitted with the Technical Data Sheet and Schematic Site Plan.

### LEGAL DESCRIPTION

#### 8302 N. TYRON STREET

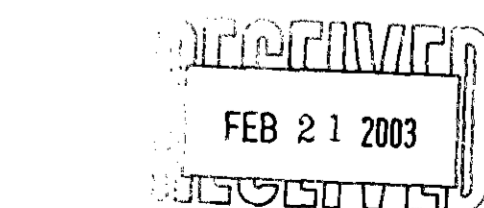
BEING A PARCEL OF LND IN THE NORTHWESTER QUADRANT OF THE INTERSECTION OF McCULLOUGH DRIVE AND US HIGHWAY #29 (NORTH TRYON STREET) AND BEING PARCEL 6 OF UNIVRSITY EXECUTIVE PARK AS SHOWN ON MAP RECORDED IN MAP BOOK 23 AT PAGE 633 OF THE MECKLENBURG COUNTY PUBLIC REGISTRY TOGETHER WITH CERTAIN LANDS WITHIN THE RIGHT OF WAY OF US HIGHWAY #29 (NORTH TRYON STREET) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN EXISTING CONCRETE MONUMENT AT THE INTERSECTION OF THE NORTHERN RIGHT-OF-WAY LINE OF McCULLOUGH DRIVE (60 FOOT ROW) AND THE WESTERN ROW LINE OF US HIGHWAY #29 (NORTH TRYON STREET) (120 FOOT ROW) AND CONTINUING THENCE WITH THE NORTHERN ROW LINE OF McCULLOUGH DRIVE (60 FOOT ROW) THREE (3) CALLS: (1) N 61-05-07 W 137.15 FEET TO AN EXISTING IRON PIN; (2) WITH THE ARC OF A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 1021.55 FEET TO A NEW IRON PIN (SUBTENDED BY A CHORD BEARING N 68-16-07 W 255.48 FEET); (3) N 75-27-07 W 49.24 FEET TO AN EXISTING IRON PIN; THENCE WITH THE CENTERLINE OF AN ACCESS EASEMENT RECORDED IN DEED BOOK 5186 AT PAGE 258 OF THE MECKLENBURG COUNTY PUBLIC REGISTRY (BEING ALSO THE PRIVATE ROADWAY EASEMENT RECORDED IN A DECLARATION OF PRIVATE ROADWAY, SANITARY SEWER LINE AND DRAINAGE PIPE EASEMENTS FOR UNIVERSITY EXECUTIVE PARK, DATED JUNE 20, 1989 AND RECORDED IN DEED BOOK 6052 AT PAGE 623 OF SAID REGISTRY AND BEING KNOWN AS "UNIVERSITY EXECUTIVE PARK DRIVE") FOUR (4) CALLS: (1) N 14-33-15 E 34.04 FEET TO AN EXISTING NAIL; (2) WITH THE ARC OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 305.79 FEET AN ARC DISTANCE OF 214.10 FEET TO AN EXISTING NAIL (SUBTENDED BY A CHORD BEARING N 34-36-44 E 2019.75 FEET); (3) N 54-40-11 E 48.00 FEET TO AN EXISTING NAIL; (4) WITH THE ARC OF A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 358.19 FEET AN ARC DISTANCE OF 42.36 FEET TO A NEW PK NAIL (SUBTENDED BY A CHORD BEARING S 51-16-55 E 42.33 FEET); THENCE LEAVING SAID ACCESS EASEMENT S 61-05-57 E 448.91 FEET TO A POINT IN THE CENTERLINE OF US HIGHWAY #29 AT 388.91 FEET; THENCE WITH SAID CENTERLINE S 28-54-03 W 35.17 FEET TO A POINT; THENCE LEAVING SAID CENTERLINE N 56-33-08 W 60.19 FEET TO A NEW IRON PIN IN THE WESTERLY ROW OF US HIGHWAY #29; THENCE WITH SAID ROW S 28-54-03 W 249.60 FEET OF THE POINT AND PLACE OF BEGINNING AND CONTAINING 128,879 SF OF 2.96 ACRES, ALL AS SHOWN ON A SURVEY BY JACK R. CHRISTIAN AND ASSOCIATES, DATED NOVEMBER 9, 1989. LAST REVISED FEBRUARY 26, 1990.

LESS AND EXCEPT SUCH PORTION THEREOF WHICH WAS CONVEYED TO THE CITY OF CHARLOTTE BY ROW AGREEMENT RECORDED IN BOOK 7874, PAGE 579 IN THE MECKLENBURG COUNTY PUBLIC REGISTRY.

APPROVED BY CITY COUNCIL

DATE 4/2/03



THE SOLE PURPOSE OF THIS DRAWING IS TO ILLUSTRATE THE APPROXIMATE DIMENSIONS AND LAYOUT OF THE DEMISED PREMISES. NO OTHER WARRANTY OR REPRESENTATION, EXPRESSED OR IMPLIED, IS MADE WITH RESPECT TO THE ILLUSTRATION.

ISSUED FOR:	PRELIMINARY	PERMITTING	CONSTRUCTION	RECORD DWG
DATE:	NOV-2002			
NO.:	2			
BY:				
DESCRIPTION:				
FILE CITY COMMENTS:				
DATE:				
NO.:				
BY:				

**FOR PUBLIC HEARING-PETITION #2003-015**

**NORTH TYRON STREET ALE HOUSE**  
**CHARLOTTE, NC**

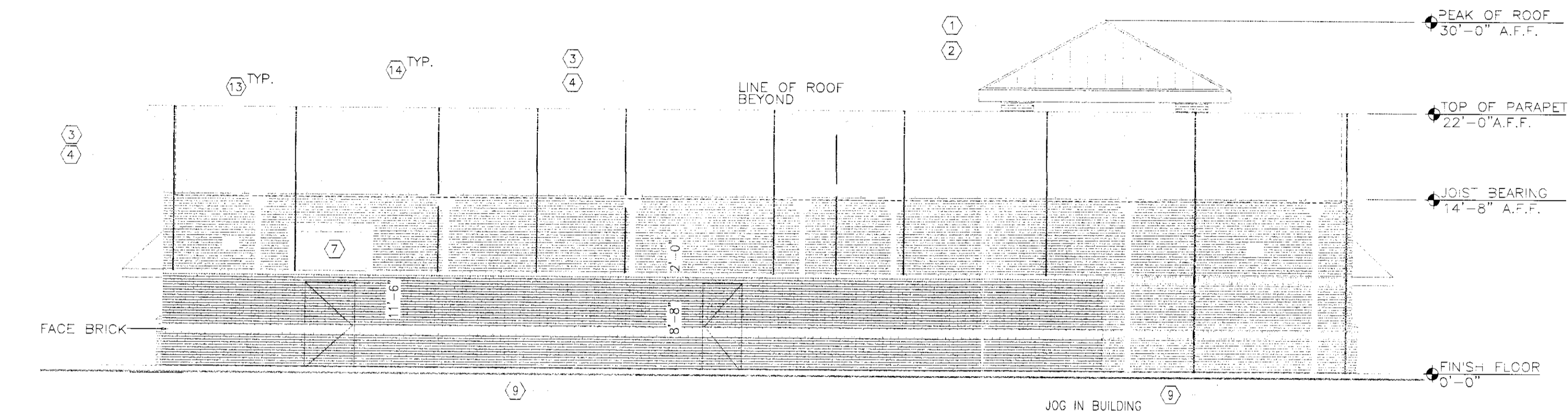
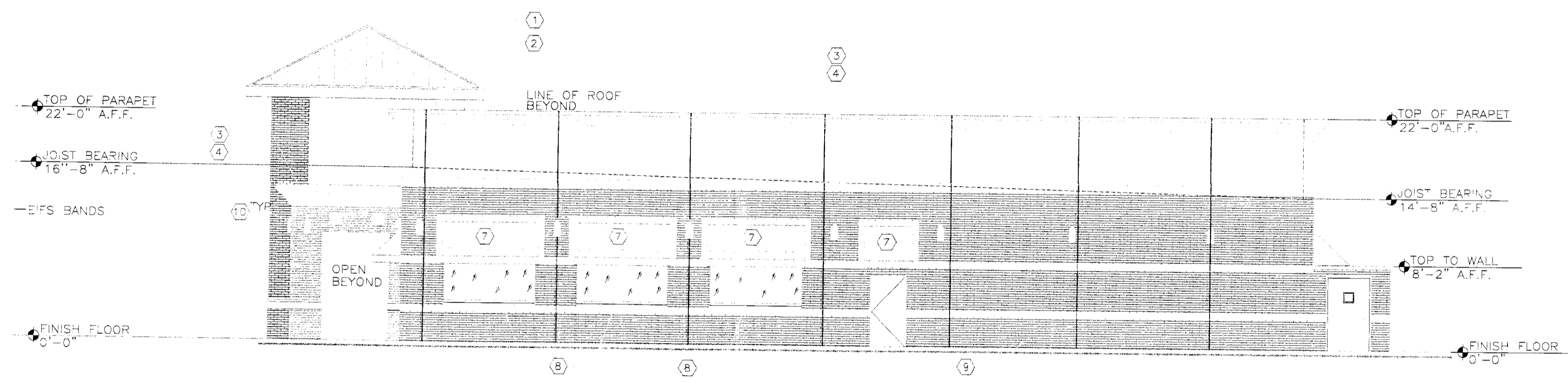
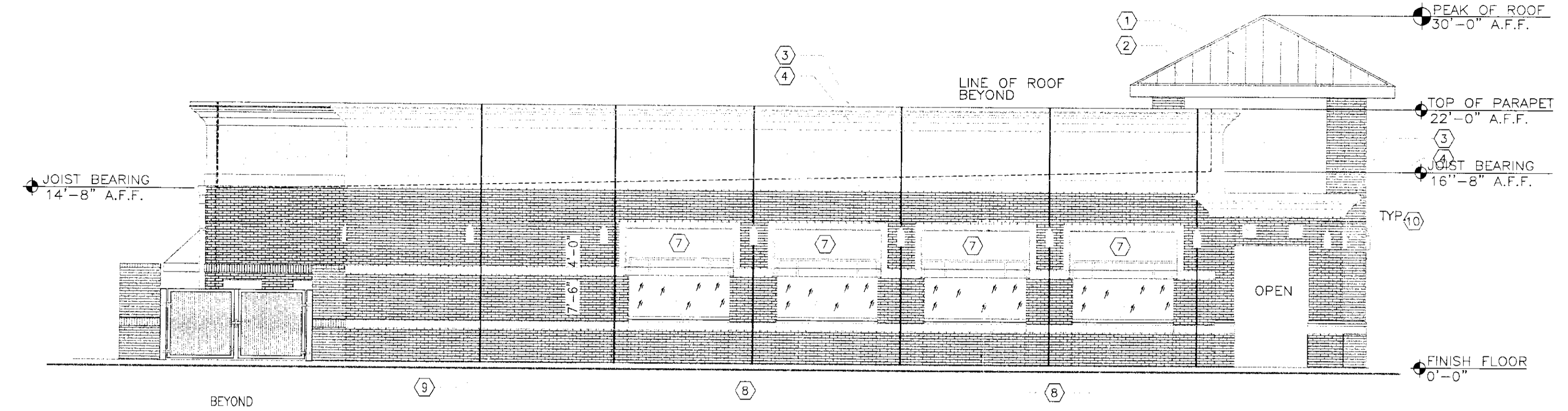
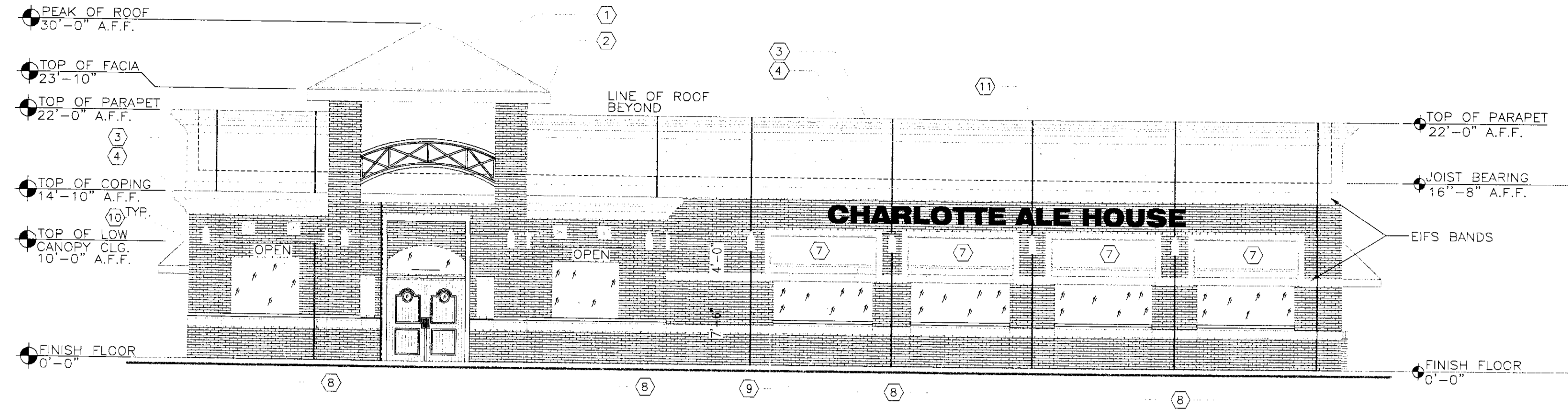
**AVIAD ENGINEERING, INC.**  
 Civil Engineers Planners Traffic Engineers  
 Landscape Architects Environmental Engineers

4901 Vineland Road, Suite 190  
 Orlando, Florida 32811 248-0334  
 Tel: (407) 248-0334  
 www.aviadeng.com

Our company name stands for itself!

**SITE PLAN**

**C1**



**LEGEND**

- ◇ INDICATES WINDOW TYPE SEE SCHEDULE SHEET A-B
- ⊗ INDICATES DOOR NUMBER SEE SCHEDULE SHEET A-B
- ⓧ KEYED PLAN NOTE APPLICABLE THIS SHEET. INDICATES DESIGN PRESSURE PER OPENING.

**ELEVATION KEY NOTES**

- ① STANDING SEAM METAL ROOF. COLOR: R-2 OR MS-4.
- ② PREFINISHED ALUMINUM FACIA. COLOR: KC-1.
- ③ PREFINISHED ALUMINUM PARAPET CAP. FLASHING. COLOR: KC-1.
- ④ PARAPET CAP, DECORATIVE E.F.I.S. FOAM TRIM. COLOR: E-1.
- ⑤ E.F.I.S. FIELD COLOR: P-S.
- ⑥ 1-1/2" PROJECTED E.F.I.S. TRIM. COLOR: E-1.
- ⑦ CANVAS AWNING. COLOR: MS-4.
- ⑧ FIXED WINDOWS IN ALUMINUM FIXED FRAMES. COLOR: MS-4.
- ⑨ BRICK VENEER: B-1.
- ⑩ DECORATIVE BRASS FINISH LIGHT FIXTURE. (SEE ELECTRICAL DWGS).
- ⑪ INDIVIDUAL NEON LIT CHANNEL LETTERS WITH PLEXIGLASS FACE BY OWNERS SIGN INSTALLER. COLOR: RED.
- ⑫ DECORATIVE FOAM TRIM COLOR: E-1.
- ⑬ PRE-FINISHED ALUMINUM DOWNSPOUT COLOR: KC-1 OR SIMILAR.
- ⑭ OVERFLOW SCUPPER THRU PARAPET COLOR: KC-1 OR SIMILAR.

**ELEVATION GENERAL NOTES**

- 1. SEE SHEET A-B FOR EXTERIOR COLORS.
- 2. PROVIDE HIGH IMPACT E.F.I.S. FINISH FROM F. FLOOR TO BOTTOM OF 1ST. PROJECTED COLOR BAND.

IFL Corporate Certificate #AA 000526  
 1220 ALDEN ROAD, ORLANDO, FLORIDA 32803-2846  
 PH 407-228-4220 / FX 407-228-4228 / www.ifl.com

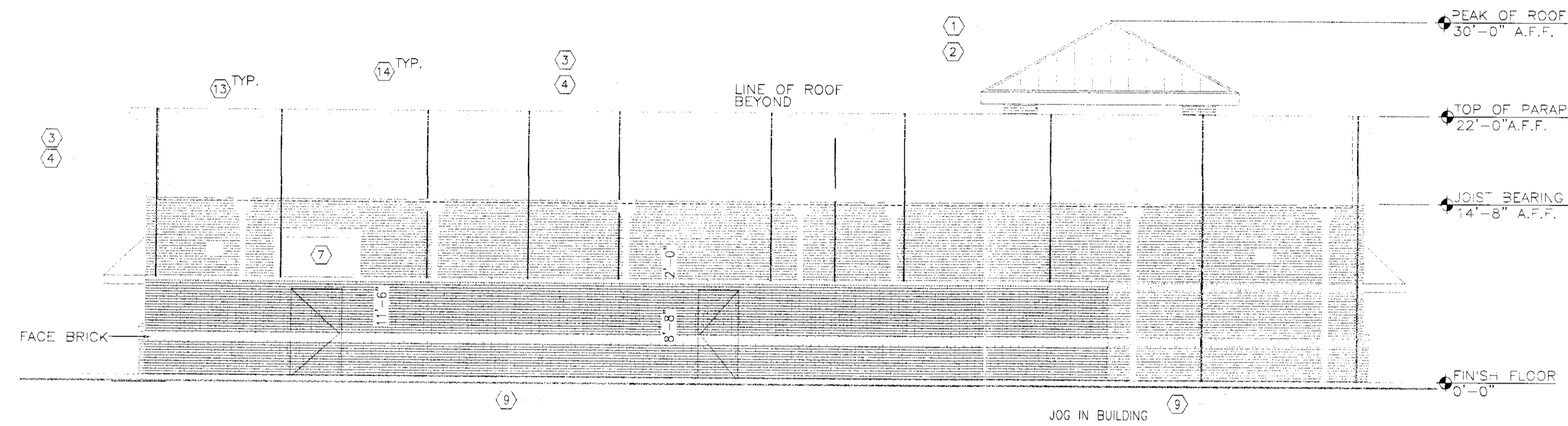
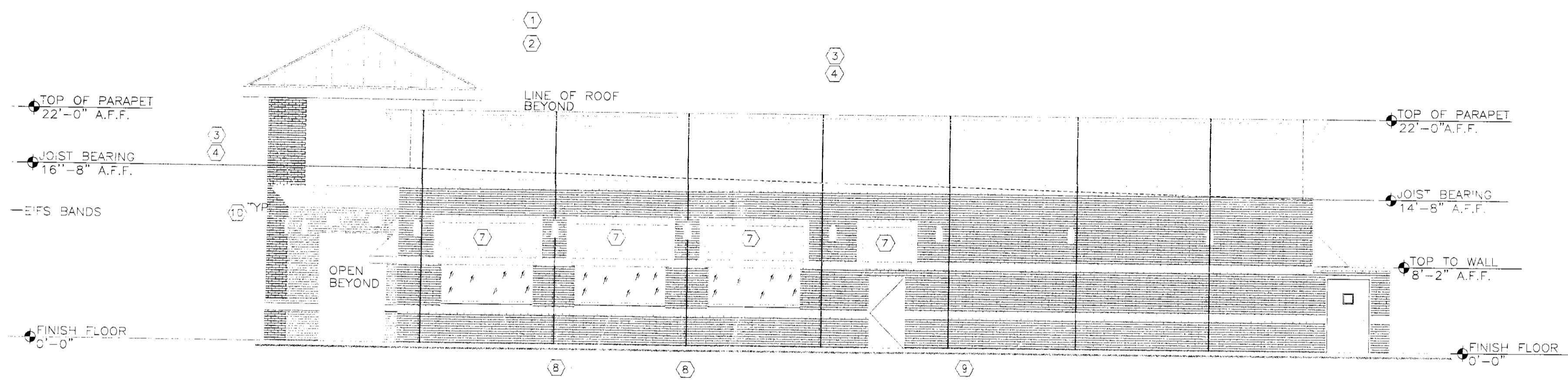
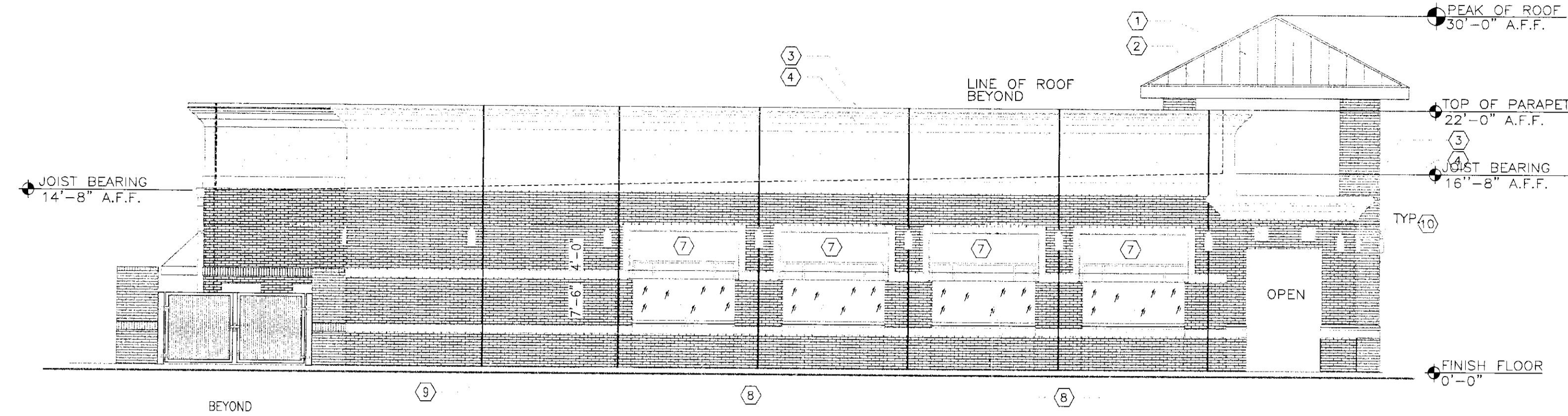
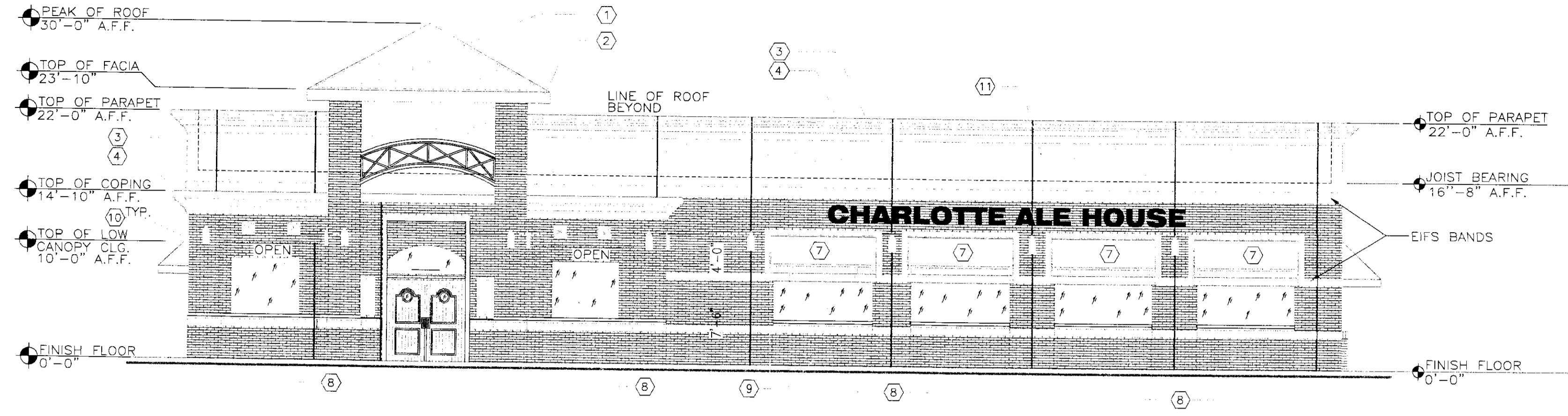
PROJECT NAME  
**ALE HOUSE/PROTOTYPE**  
 CHARLOTTE, NORTH CAROLINA

SHEET TITLE  
**EXTERIOR ELEVATIONS**

PROJECT NO. 202254  
 DATE 10-02-02  
 DRAWN JTW  
 CHECKED

APPROVED BY CITY COUNCIL  
 DATE 4/24/03

A-5



**LEGEND**

- ◇ INDICATES WINDOW TYPE SEE SCHEDULE SHEET A-B
- ⊗ INDICATES DOOR NUMBER SEE SCHEDULE SHEET A-B
- ⓧ KEYED PLAN NOTE APPLICABLE THIS SHEET. INDICATES DESIGN PRESSURE PER OPENING.

**ELEVATION GENERAL NOTES**

1. SEE SHEET A-B FOR EXTERIOR COLORS.
2. PROVIDE HIGH IMPACT E.F.I.S. FINISH FROM F. FLOOR TO BOTTOM OF 1ST. PROJECTED COLOR BAND.

**ELEVATION KEY NOTES**

- ① STANDING SEAM METAL ROOF. COLOR: R-2 OR MS-4.
- ② PREFINISHED ALUMINUM FACIA. COLOR: KC-1.
- ③ PREFINISHED ALUMINUM PARAPET CAP. FLASHING. COLOR: KC-1.
- ④ PARAPET CAP, DECORATIVE E.F.I.S. FOAM TRIM. COLOR: E-1.
- ⑤ E.F.I.S. FIELD COLOR: P-S.
- ⑥ 1-1/2" PROJECTED E.F.I.S. TRIM. COLOR: E-1.
- ⑦ CANVAS AWNING. COLOR: MS-4.
- ⑧ FIXED WINDOWS IN ALUMINUM FIXED FRAMES. COLOR: MS-4.
- ⑨ BRICK VENEER: B-1.
- ⑩ DECORATIVE BRASS FINISH LIGHT FIXTURE. (SEE ELECTRICAL DWGS).
- ⑪ INDIVIDUAL NEON LIT CHANNEL LETTERS WITH PLEXIGLASS FACE BY OWNERS SIGN INSTALLER. COLOR: RED.
- ⑫ DECORATIVE FOAM TRIM COLOR: E-1.
- ⑬ PRE-FINISHED ALUMINUM DOWNSPOUT COLOR: KC-1 OR SIMILAR.
- ⑭ OVERFLOW SCUPPER THRU PARAPET COLOR: KC-1 OR SIMILAR.

IFL Corporate Certificate #AA 000526  
 1220 ALDEN ROAD, ORLANDO, FLORIDA 32803-2846  
 PH 407-228-4220 / FX 407-228-4228 / www.ifl.com

**ALE HOUSE MANAGEMENT**  
 612 NORTH ORANGE AVE., SUITE C8  
 JUPITER, FLORIDA 33458

---

PROJECT NAME: ALE HOUSE/PROTOTYPE  
 CHARLOTTE, NORTH CAROLINA  
 SHEET TITLE: EXTERIOR ELEVATIONS

---

PROJECT NO. 202254	DATE 10-05-02	DRAWN JTW	CHECKED
-----------------------	------------------	--------------	---------

APPROVED BY CITY COUNCIL  
 DATE 4/24/03

A-5