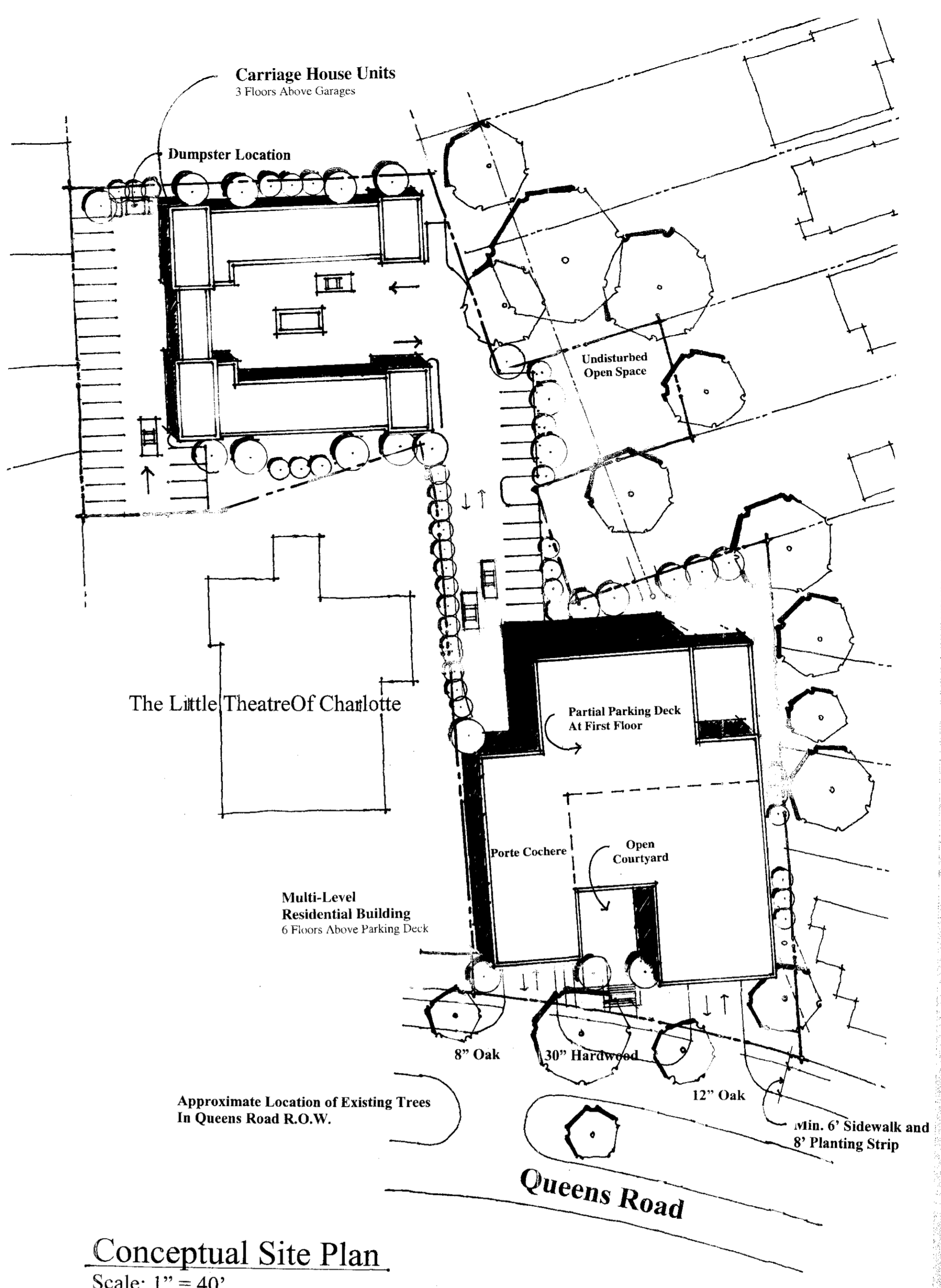
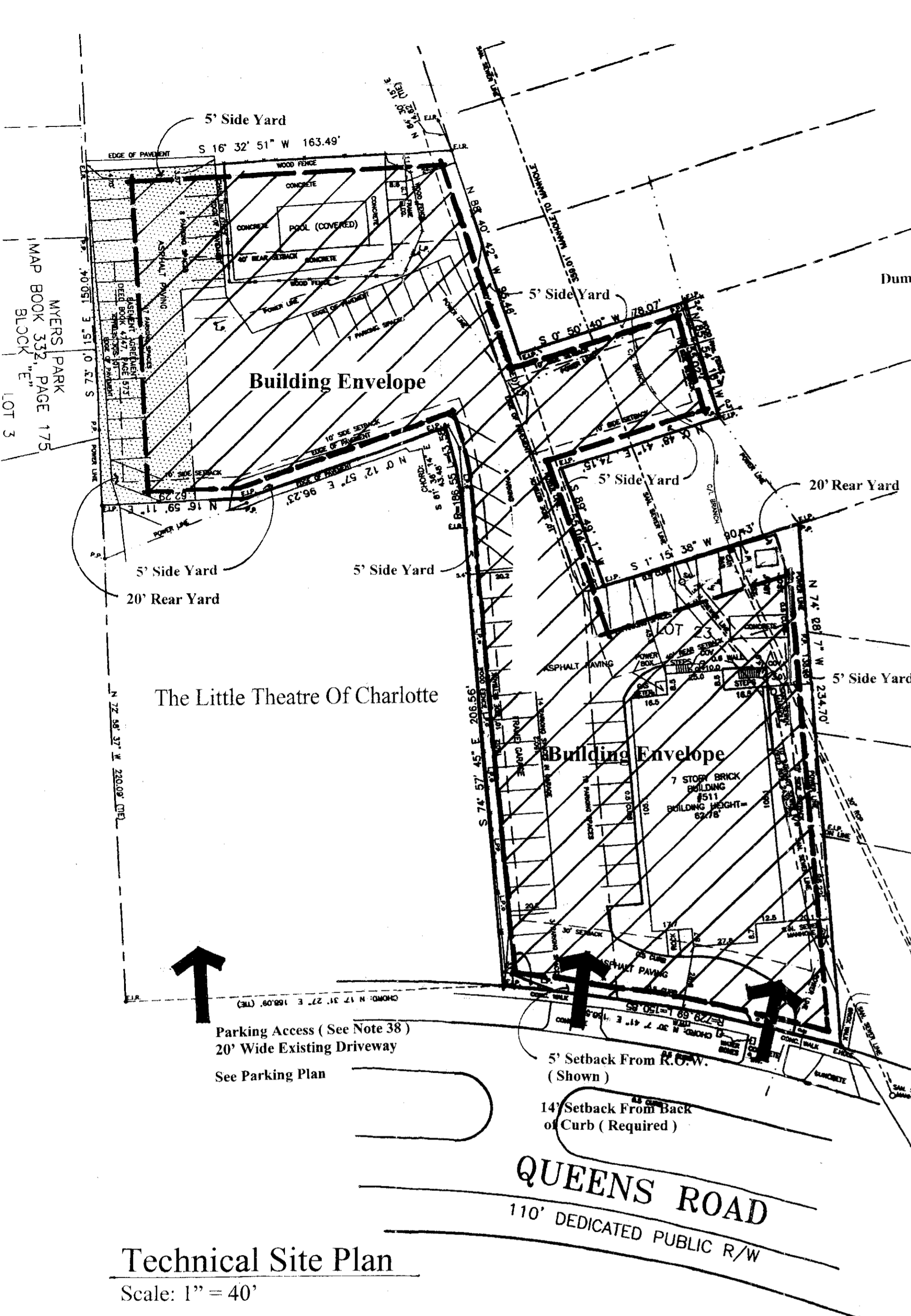


511 QUEENS ROAD  
Charlotte, North Carolina



**Technical Data Sheet - Development Conditions**

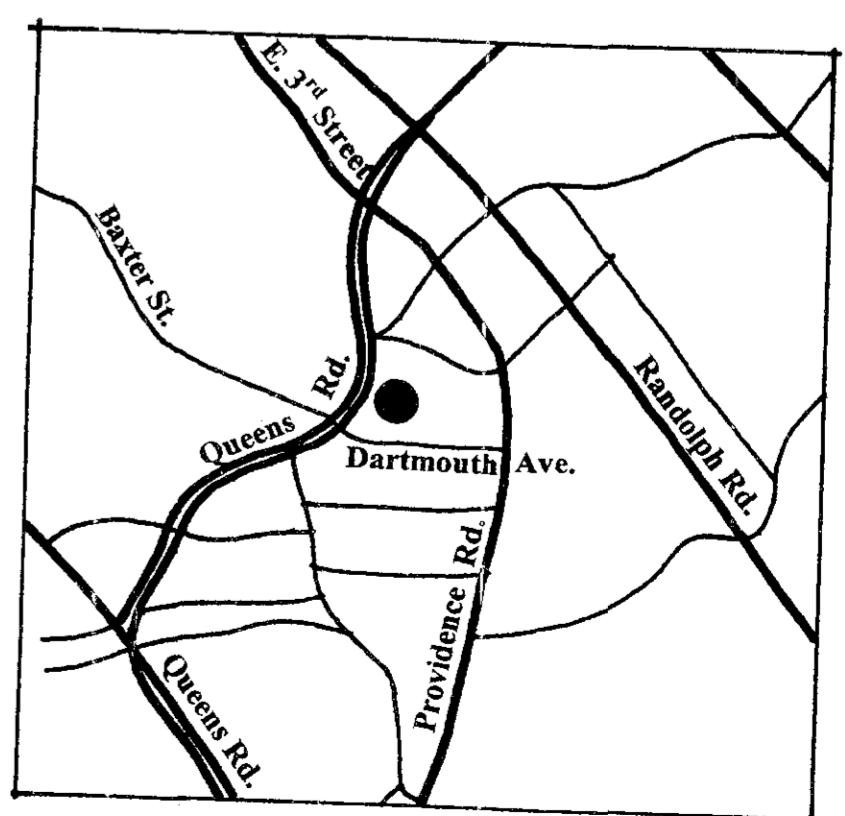
- A) Conditions Regarding Use**
- The Site will be developed as a multi-family residential development.
- B) Conditions Regarding Building Design**
- Building development will not exceed an FAR of 2.0 per UR-3 requirements. The Petitioner reserves the right to provide less density in number of units, or less square footage, or both.
  - The main building elevations will have at least 50% brick or masonry veneer and the carriage house building elevations will have at least 50% brick or masonry veneer.
  - The material that is not masonry will be wood or cementitious siding. No Vinyl siding will be used. Plastic or metal material may be used for incidental architectural details including windows, doors and trim details.
  - The roofs of the building may be flat or sloped.
  - Balcony openings along the south elevation of the 6 story structure shall be no wider than the openings of the same balconies facing east and west. The southern opening of the balconies shall have a transparent screening.
- C) Conditions Regarding Screening, Walls and Dumpsters**
- Screening shall conform to the standards and treatments specified in Chapter 12, part 3. of the Ordinance, except as stipulated in Notes # 9, # 10 and #11.
  - Walls screening parking areas will be comprised of brick pilasters with panels made of wood, metal or other material that complements the building as described in note # 5 between pilasters. Walls screening parking areas will be solid and block views to the parking area from public streets except at access points.
  - Any fence or wall constructed along or adjacent to any sidewalk or street right-of-way requires a certificate issued by CDOT.
  - A dumpster located on the site for the rear carriage units shall be screened from view by a solid enclosure with a gate. Additional trash collection shall occur in the enclosed parking deck to service the 6-story building.
  - Roof top mechanical equipment shall be screened from public view at street level.

- D) Conditions Regarding Parking**
- Off street parking spaces will satisfy the minimum 60 spaces and a maximum of 120 spaces as established under the Ordinance. The Petitioner reserves the right to change the parking count provided as long as it is within 10% of the number shown on the Parking Plan of the Technical Data Sheet.
  - The petitioner shall provide bicycle parking in accordance with the provisions of the new ordinance when adopted.
- E) Conditions Regarding Buffers, Landscaping, Lighting and Signage**
- Trees shall be installed along Queens Road in accordance with the City of Charlotte Tree Ordinance.
  - All freestanding lighting fixtures will be uniform in design and shall not exceed 20' in heights, including base and fixtures, except as may be required in the public right of way.
  - Wall pack lighting will not be allowed.
  - Signage will be allowed in accordance with the Ordinance.
  - Petitioner will work with a certified arborist to save trees in the setback along Queens Road. The petitioner agrees to implement all prescribed measures dictated by the certified arborist but does not warrant that the trees will live and does not agree to any additional mitigation if the trees do not live.
  - Proposed planting shown is conceptual only and will be subject to change and review of actual site conditions and Urban Forestry staff approval. The Petitioner shall work with Urban Forestry staff to determine the number and type of trees they will require for the site during Landscape Plan Review.
  - The Petitioner shall hire an arborist to develop a plan to save existing trees along Queens Road.
  - The existing swimming pool shall be removed from the site.
- F) Conditions Regarding City Services and Regulations**
- Adequate fire protection will be provided in accordance with the Fire Marshal's specifications.
  - Storm water runoff from the Site will be managed through proven techniques, which satisfy standards, if any, imposed by the City of Charlotte Engineering Department.
  - Storm water detention shall not be located in any setback or buffer.
  - All development within the Site will conform to the Charlotte Subdivision Regulations and the Charlotte City Code.
  - The Petitioner shall dedicate, and convey, any additional right of way as required along Queens Road prior to issuance of a building permit.

- G) Conditions Regarding Setbacks, Sidewalks & Access**
- The courtyard (urban open space) shall have direct access via sidewalks to the street.
  - The building setback is 14 feet.
  - The maximum building height proposed for the structure facing Queens Road, measured to the peak, shall be 90 feet and 6 stories. To support this height all side and rear yards must be increased 1 foot for each 10 feet over 40 feet in height. The maximum building height for the rear structure, measured to the peak, shall be 50 feet and 4 stories. To support this height all side and rear yards must be increased 1 foot for each 10 feet over 40 feet in height.
  - Queens Road is designated as a major thoroughfare inside Route 4 requiring a minimum of 80 feet of right-of-way. The current right-of-way meets and exceeds this requirement, measuring 55 feet from the centerline of the roadway.
  - Adequate site distance triangles shall be observed at the existing/proposed entrances to Queens Road. All proposed trees, berms, walls, fences, and/or identification signs must not interfere with sight distance at the entrances.
  - The proposed/modified driveway connections to Queens Road will require a driveway permit to be submitted to CDOT during the driveway permit process. The locations of the driveways shown on the site plan are subject to change in order to align with driveways on the opposite side of the street and comply with City Driveway Regulations and the City Tree Ordinance.
  - A Right-of-Way Encroachment Agreement is required for the installation of any non-standard items (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City maintained street right-of-way by a private individual, group, business, or homeowner's business association. An encroachment agreement must be approved by CDOT prior to the construction/installation of the non-standard items.
  - The petitioner shall maintain a 6' sidewalk with a minimum 8' planting strip along Queens Road. The sidewalk may meander and planting width may vary to save existing trees 8-inch in caliper and larger.
  - Site triangles measuring 10' x 10' are required at each parking deck access adjacent to walkable areas for visibility of pedestrians.
  - Driveways accessing Queens Road must be a 26' min width for a two-way driveway and a 20' width for a one-way driveway. New/constructed driveways must be drop with ramp Type II modified driveways (with radii). The radii should be equal to the width of the planting setup.
  - The cross-access easement with The Little Theatre of Charlotte can be found in Deed Book 4747, Pages 0573-0580.
  - On-site recycling shall be provided.
- H) Conditions Regarding Ownership and Use**
- The building may be sold as condominiums or townhomes but may also be rental apartments.

"This conceptual site plan is intended to depict the general conceptual layout of the building(s) on the site. Changes and alterations which do not materially affect the overall conceptual layout shall be permitted based upon final design and construction drawings. These building(s) may change in size, location and orientation so long as they are consistent with overall concept shown above and meet the specific requirements of the technical data sheet submitted as part of this rezoning process."

APPROVED BY CITY COUNCIL  
DATE 1/21/03



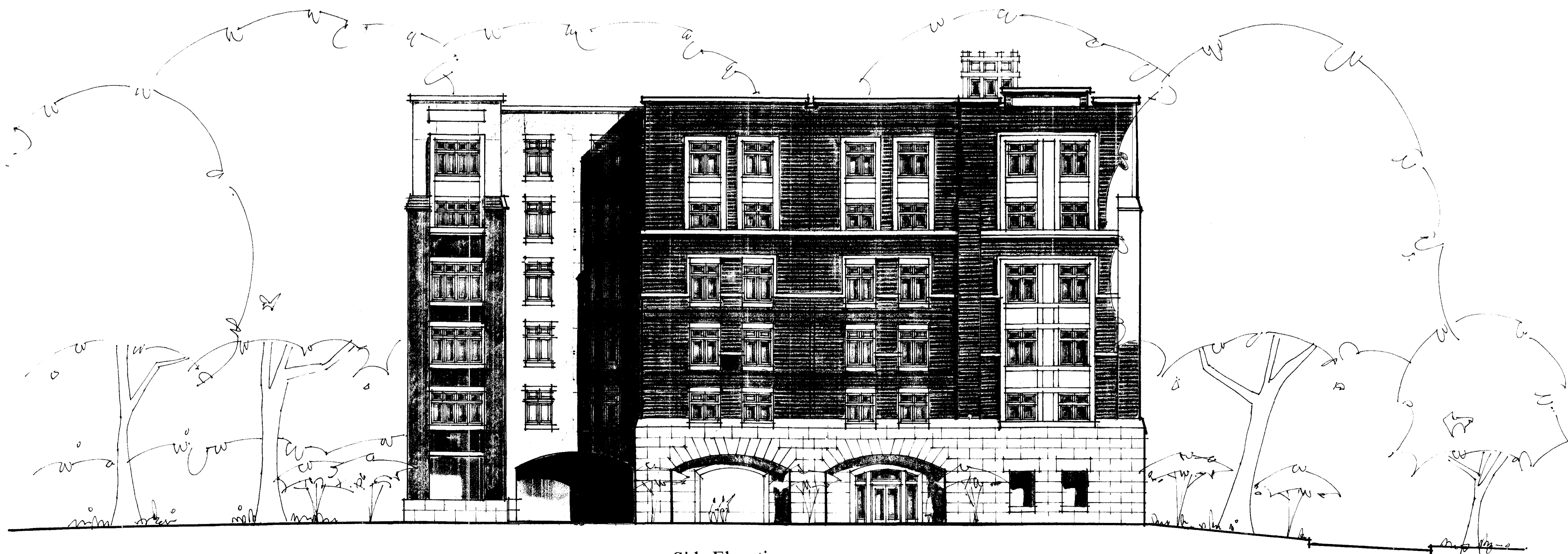
**Vicinity Map**  
Not To Scale

15 January 2003  
Rezoning Petition  
For Public Hearing  
# 02-144

Technical Site Plan  
Parking Plan  
Conceptual Site Plan



Queens Road Elevation



Side Elevation

511 QUEENS ROAD  
 Charlotte, North Carolina

15 January 2003  
 Rezoning Petition  
 For Public Hearing  
 # 02-144

Conceptual Elevations

APPROVED BY CITY COUNCIL  
 DATE 1/21/03

CRAY SOLUTIONS

"These conceptual elevations are intended to depict the general conceptual architectural style of the project from Queens Road. Changes and alterations which do not materially affect the overall conceptual architectural style shall be permitted based upon final design and construction drawings. These building may change in size and style as well as employ complimentary differences in color and material so long as they are consistent with overall concept shown above and meet the specific requirements of the technical data sheet submitted as part of this rezoning process."