

**SITE DATA:**

Site Area: 4.86 Ac.  
 Existing Zoning: MUDD (CD) and MUDD-O  
 Proposed Zoning: MUDD O and MUDD O S.P.A.  
 Max. Building Height: 120'  
 Streetscape: 1 large maturing tree/35 LF or 1 small maturing tree/25 LF of frontage

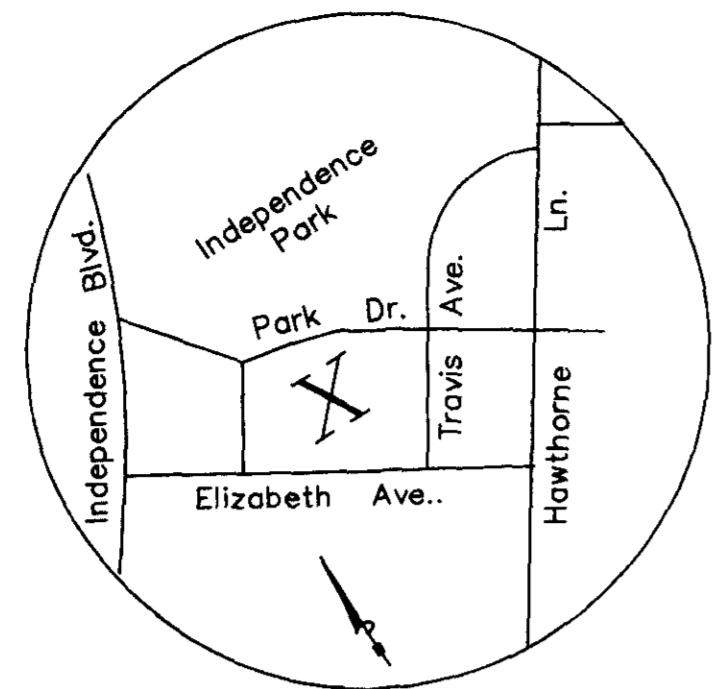
**Building Envelope A**  
 Proposed Use: 250 Residential Units and Ground Floor Commercial  
 Parking: 250 Spaces Required  
 Building Area: 250,000 SF Total  
 90,000 SF Parking Garage  
 Open Space: 2,500 SF Required/3,000 SF Proposed

**Building Envelope B**  
 Proposed Use: 300 Residential Units and Ground Floor Commercial  
 Parking: 300 Spaces Required  
 Building Area: 300,000 SF Total  
 190,000 SF Parking Garage  
 Open Space: 3,000 SF Required/5,000 SF Proposed

**Building Envelope C**  
 Proposed Use: 15,000 SF Retail  
 75,000 SF Office or 75 Residential Units  
 Parking: 150 Spaces Required  
 Building Area: 15,000 SF Retail  
 75,000 SF Office/Residential  
 70,000 SF Parking Garage  
 Open Space: 900 SF Required  
 1,000 SF Proposed

**Building Envelope D**  
 Proposed Use: 180,000 SF Office and/or 180 Residential Units  
 35,000 SF Commercial (1st Level Only)  
 Parking: 215 Spaces Required  
 Building Area: 215,000 SF Office/Residential/Commercial  
 Open Space: 2,150 SF Required  
 2,150 SF Proposed

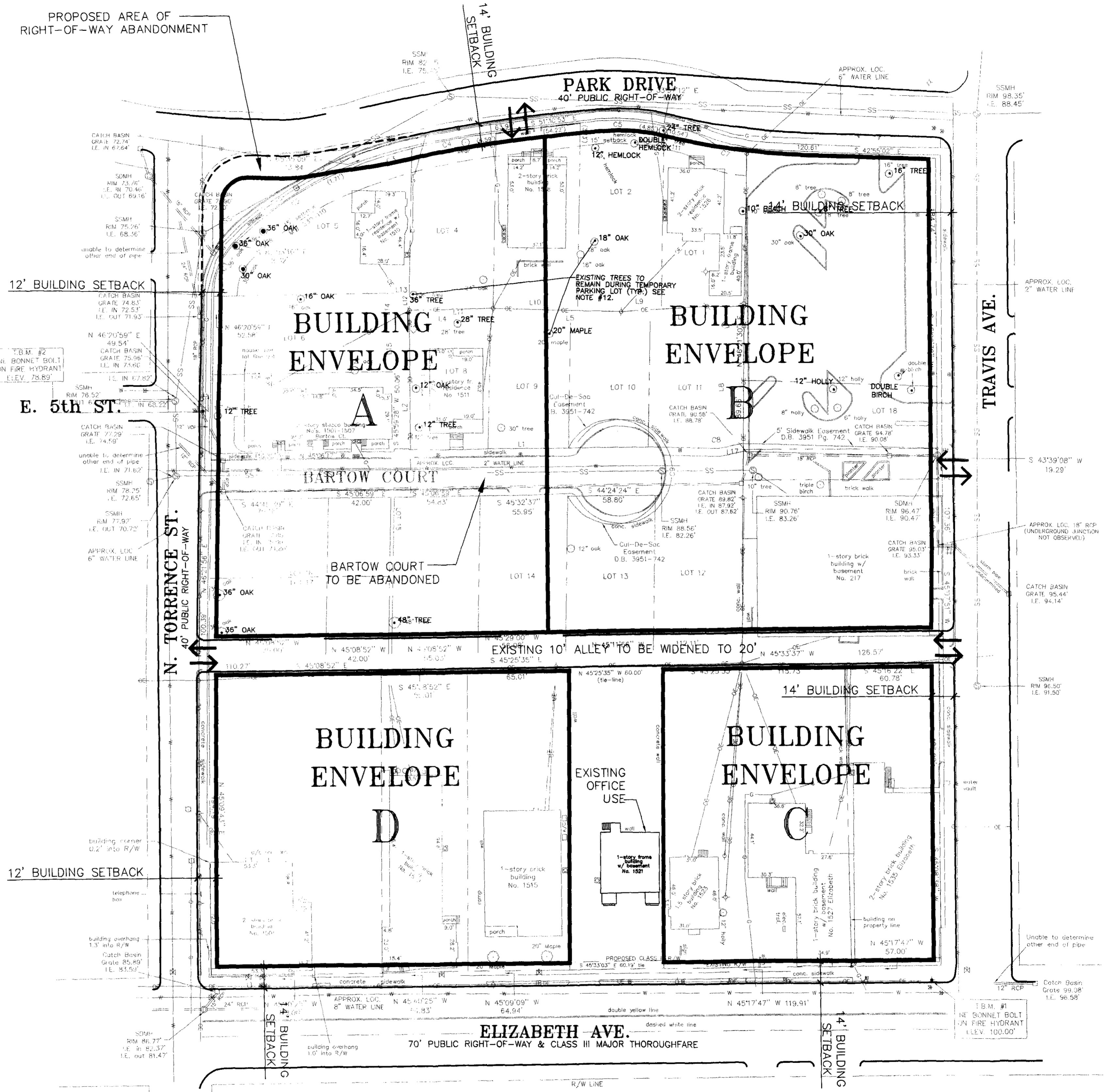
**VICINITY MAP**



**DEVELOPMENT STANDARDS:**

- Development of the Site will be controlled by the standards depicted on this Site Plan and by the standards of the Mixed-Use Development District. The development scenario depicted on the Plan is intended to reflect the arrangement of proposed uses on the Site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the Ordinance during the design development and construction phases so long as the overall requirements are met.
- The Petitioner shall meet all requirements of the Stormwater Ordinance as required by the City of Charlotte Engineering Department.
- Stormwater detention facilities, if required, will be designed to meet the applicable standards of the City of Charlotte Engineering Department.
- Signage will be permitted in accordance with applicable zoning standards.
- Parking will be provided which will meet or exceed the standards of the zoning ordinance.
- Screening will conform to the applicable standards of section 12.303 of the Zoning Ordinance.
- The Petitioner shall be allowed to vary the uses stated within the individual Building Envelopes in the Site Data such that allowable uses may include residential units, lofts, live/work units, sales and leasing office, office, hotel, bed and breakfast, recreation, institutional, day care, restaurant and retail uses, or other compatible uses so long as the overall square footage requirements are met and so long as other more limiting conditions in these Development Standards are met.
- Retail uses shall be allowed only on the first floor and must address the street.
- Commercial uses shall be permitted in Building Envelopes A and B, and shall be limited to the first floor, except that the corner units may extend up to the second floor.
- It is anticipated that the initial phase of building development may include only one or two of the Building Envelopes indicated on the Technical Data Plan. The Petitioner reserves the right to construct interim temporary surface parking on the remaining Building Envelopes during each possible phase of development until such time that it is feasible/necessary to construct structured parking on the site to accommodate the building development.
- The interim temporary parking lots shall be designed to meet the City of Charlotte Tree Ordinance requirements. However, the Petitioner reserves the right to leave the existing sidewalk along N. Torrence St., Park Ave. and Travis Ave. adjacent to the temporary parking lot. The Petitioner shall be required to construct the required sidewalk cross-section during construction of the final building development associated with each building envelope.
- The Petitioner shall make every reasonable effort to save the existing trees in the interim temporary surface parking lot(s), as depicted on the Technical Data Plan and The Possible Phase One Development Scenario on the Schematic Plan.
- Outdoor amusement, armories, auction sales, automotive service and or repair stations, and adult establishments shall be prohibited on the site.
- All dumpsters, if not located within the structure, shall be screened by a solid enclosure with gates.
- The Petitioner shall grant public easements for the sidewalks constructed on the site as necessary.
- The Plan shall comply with the Uptown Streetscape Guidelines as applicable. The required streetscape improvements will be determined by the MUDD O review team.

- All new and existing utilities on the Site shall be located or relocated underground.
- The Petitioner reserves the right to abandon Bartow Court as a Public Street. If Bartow Court remains public, the Petitioner shall work with CDOT to establish an acceptable configuration for the cul-de-sac.
- The Petitioner reserves the right to seek abandonment of existing easements, alleyways, etc. wholly contained within the Site as allowed in order to create a compatible and integrated urban development.  
 The Petitioner reserves the right to preserve the driveway access points associated with the existing alleyway at N. Torrence St. and Travis Ave., in a location generally as depicted on the Technical Data Plan in the event that the alleyway is abandoned.
- The Petitioner reserves the right to construct the street trees in tree grates in lieu of planting strips.
- If additional parcels are acquired, the Petitioner reserves the right to reconfigure the development to create a compatible and integrated mixed-use urban development.
- Detached pole lighting, except City streetlights, will be limited to 20' height. No wall "pik" type lighting will be permitted on the perimeter of the buildings.
- The Petitioner shall work with CDOT to determine the proposed curb line on Park Drive and Elizabeth Avenue, and to determine any proposed widening on Park Drive to facilitate school pickup and drop-off functions.
- The Petitioner shall work with CDOT to determine appropriate sight distance triangles at required intersections.
- All new driveways/alleys shall use a modified Type II driveway apron at the right of way.
- The Petitioner may abandon a portion of the right of way at the intersection of Park Drive and Torrence Street, if allowed by CDOT, and as generally depicted on the Technical Data Sheet.
- Any proposal for a structure over 90' in height must be reviewed by the Zoning Committee. The elevations for the building will be reviewed by the Zoning Committee prior to the MUDD Preliminary Plan Process. Consideration shall be given to massing, scale, fenestration and facade articulation.
- The Petitioner shall present designs to the Elizabeth Community Association and other interested members of the community during the design phase for their review and comment.
- The Petitioner reserves the right to maintain a setback of 12 feet from back of curb along N. Torrence St. in Building Envelope D. In the event that a 6' planting strip is installed along N. Torrence St. in lieu of tree grates, then the Petitioner shall install irrigation in the planting strip and an underground drainage system back of the curb along the length of N. Torrence St. where the 6' planting strip is implemented.
- The Petitioner shall meet the requirements of the city of Charlotte Fire Marshall.



**LAYOUT PLAN**

**PROPOSED REZONING**  
 CHARLOTTE, NORTH CAROLINA  
**PROVIDENCE ROAD LAND PARTNERS, LLC**  
 1244 EAST BOULEVARD  
 CHARLOTTE, NORTH CAROLINA 28203

**Design Resource Group**  
 1230 West Morehead Street, Suite 214  
 Charlotte, NC 28208  
 704.343.0608 fax 704.358.3093  
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- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning

*DRG*

**TECHNICAL DATA PLAN**  
 FOR PUBLIC HEARING  
 PETITION # O2-56

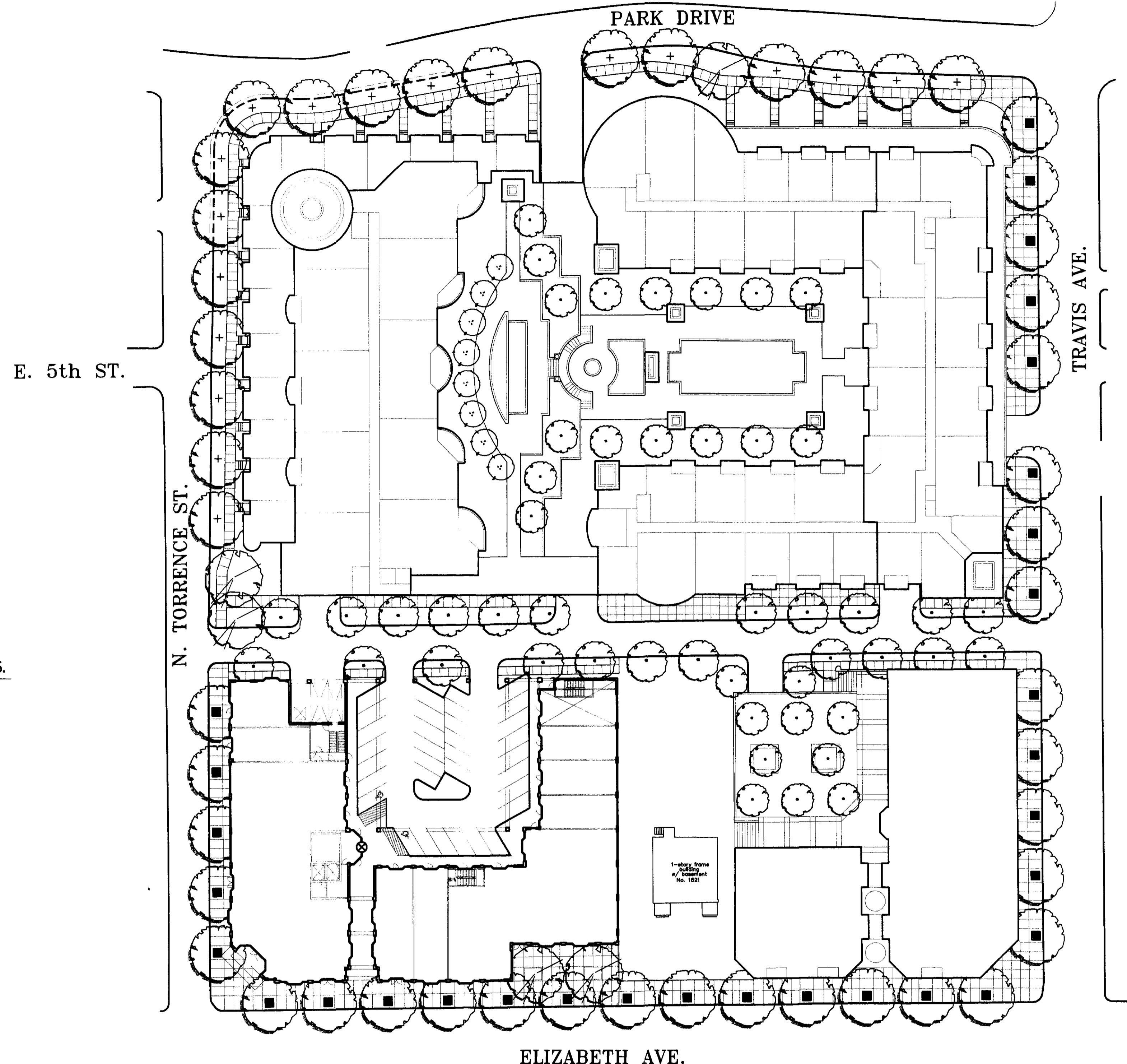
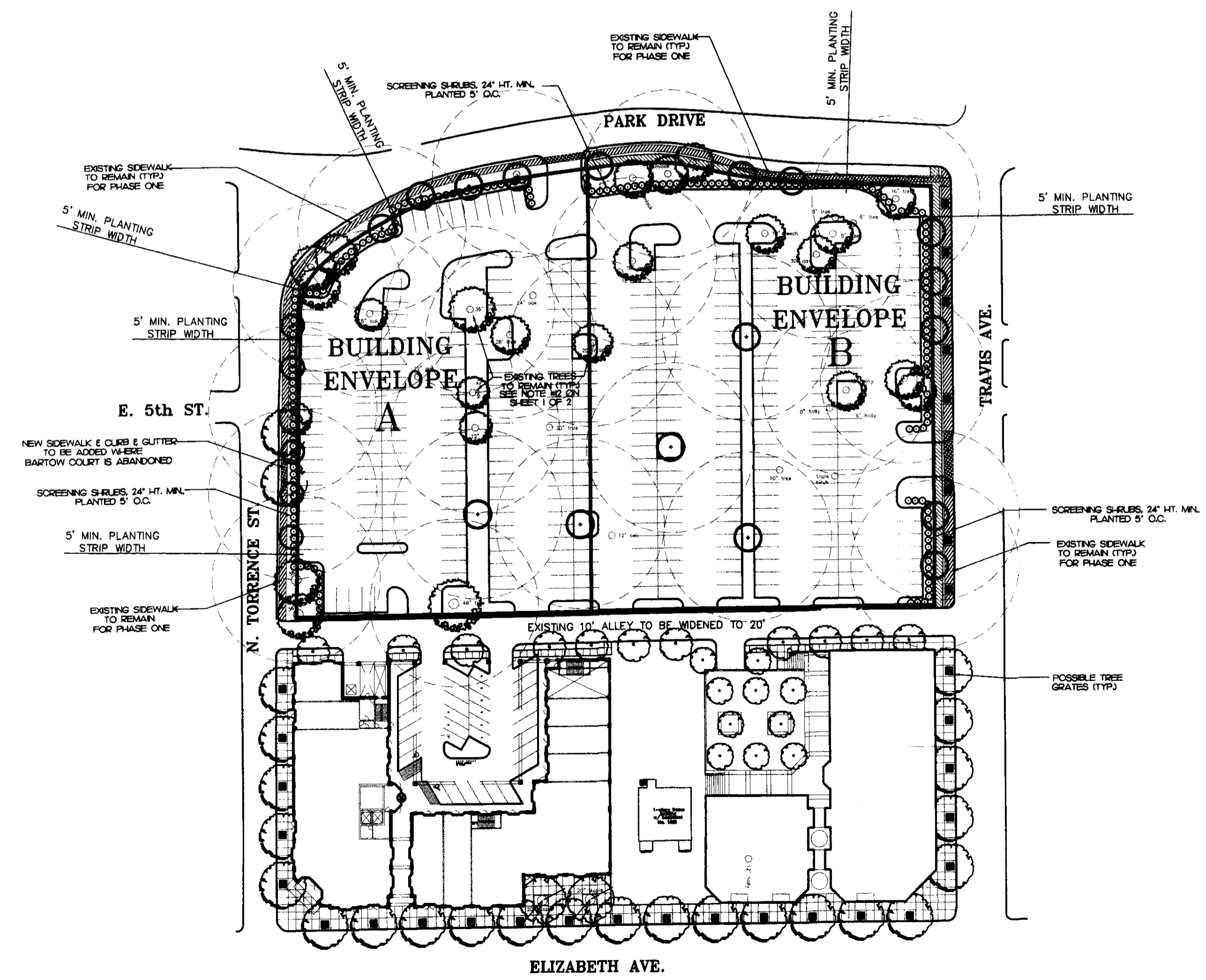
Scale: 1" = 40'  
 Date: 20 FEB. 2002  
 Project No.: O57-005  
 Revisions:  
 1) 4-23-02 PER CMPC REVIEW  
 2) 5-20-02 PER CMPC REVIEW

APPROVED BY CITY COUNCIL  
 DATE: 6/17/02

Sheet 1 of 2

POSSIBLE PHASE ONE DEVELOPMENT SCENARIO

N.T.S.



APPROVED BY CITY COUNCIL  
DATE 6/17/02

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**SCHEMATIC PLAN**  
FOR PUBLIC HEARING  
PETITION # O2-56



Scale: 1" = 40'  
Date: 20 FEB. 2002  
Project No.: O57-005  
Revisions:  
1) 4-23-02 PER CMPC REVIEW  
2) 5-20-02 PER CMPC REVIEW