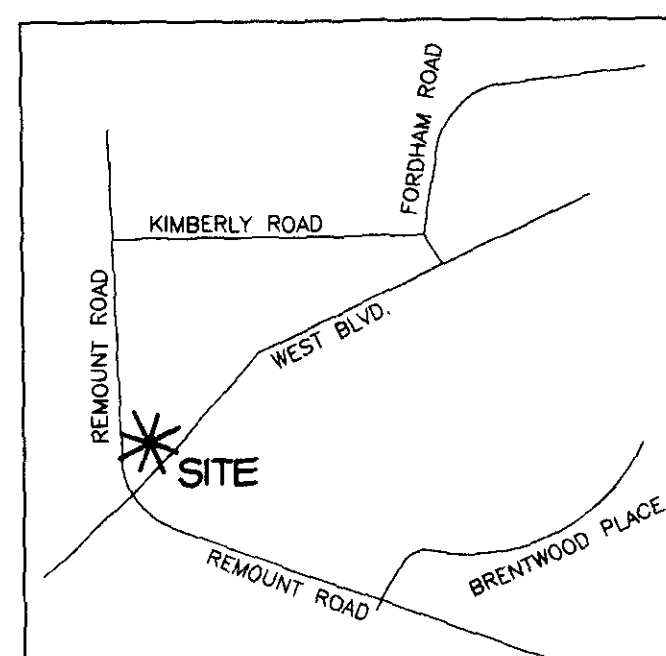
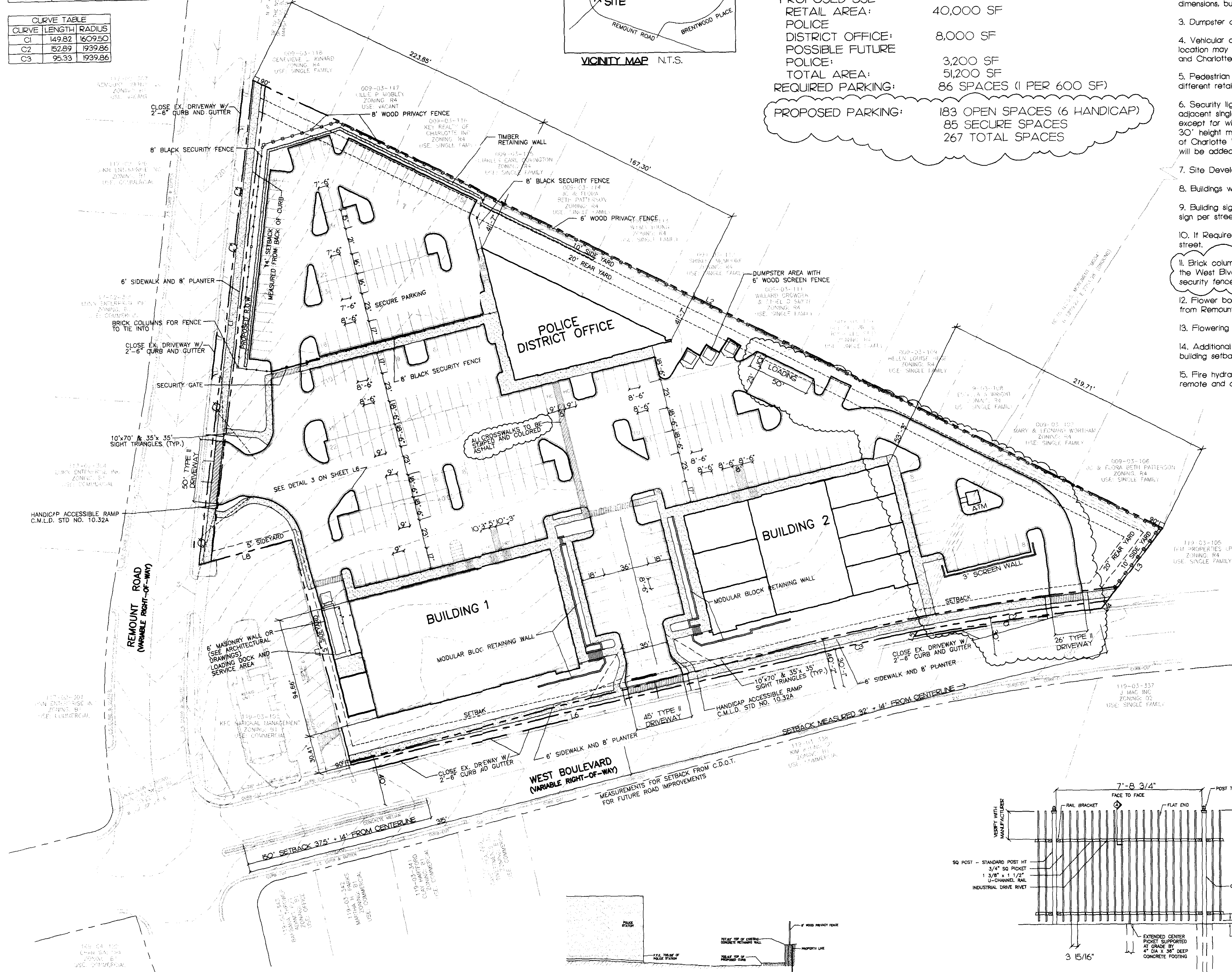


CURVE	LENGTH	RADIUS
C1	149.82	1609.50
C2	152.89	1939.86
C3	95.33	1939.86

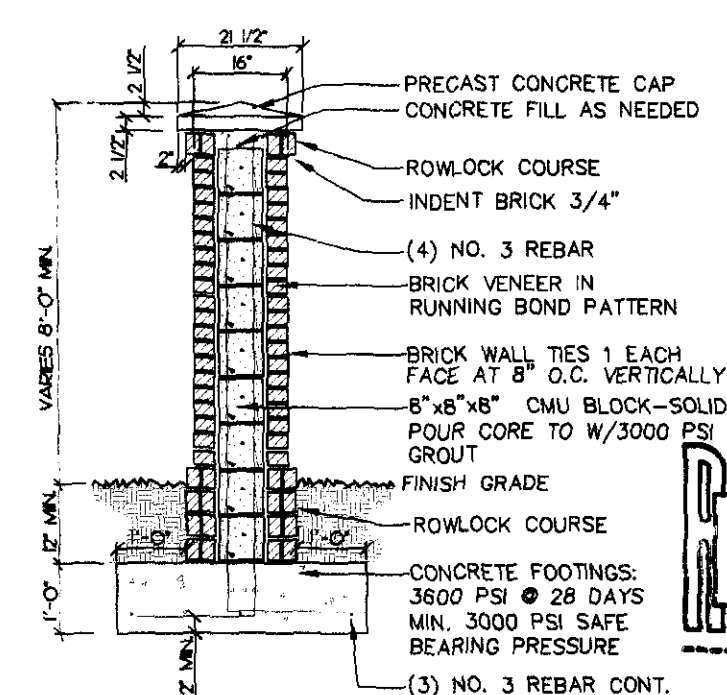


SITE DATA	
TAX PARCEL NO.:	119-03-119 119-03-102
SITE AREA:	4.9248 ACRES
EXISTING ZONING:	B-1
PROPOSED ZONING:	NS
MAX. F.A.R.:	2
ALLOWED SQ. FT.:	426,888 SQ. FT.
PROPOSED USE	
RETAIL AREA:	40,000 SF
POLICE	
DISTRICT OFFICE:	8,000 SF
POSSIBLE FUTURE	
POLICE:	3,200 SF
TOTAL AREA:	51,200 SF
REQUIRED PARKING:	86 SPACES (1 PER 600 SF)
PROPOSED PARKING:	183 OPEN SPACES (6 HAND 85 SECURE SPACES 267 TOTAL SPACES

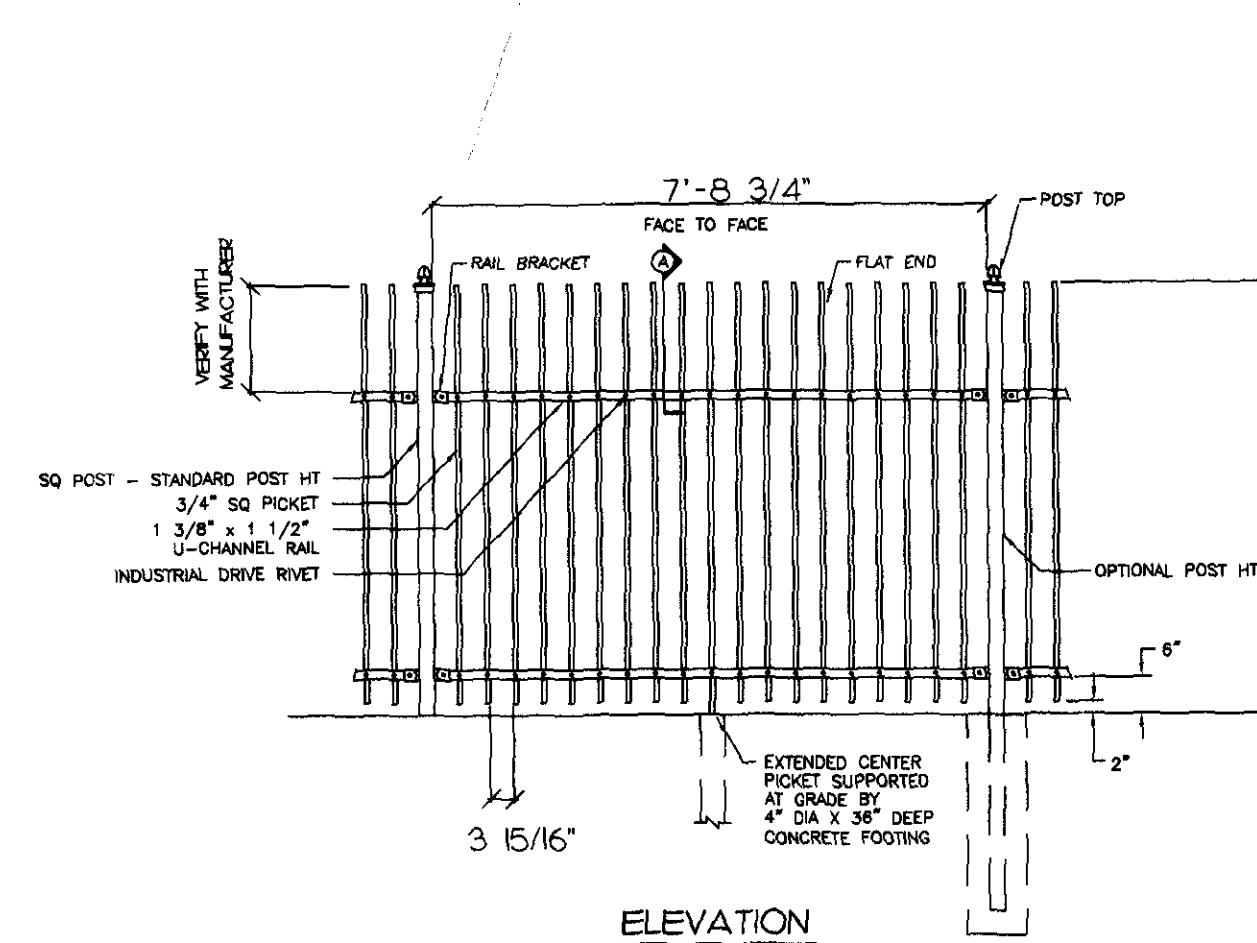
1. The Development of the site will be controlled by the standards depicted on the Site Plan. The development depicted on the Site Plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance and the Technical Data Sheet during the design, development and construction phases.
2. All proposed development on the site shall comply with ordinance requirements regarding the number and arrangement of off-street parking spaces, signage, yard dimensions, buffers, screening and landscaping.
3. Dumpster areas shall be screened within a solid enclosure with fence and gate.
4. Vehicular access points shall be limited to those depicted on the Site Plan. The location may vary somewhat, but shall comply with all applicable North Carolina and Charlotte Department of Transportation regulations.
5. Pedestrian connections consisting of 4' sidewalks will be provided between the different retail portions of the site.
6. Security lighting will be provided throughout the site but directed away from adjacent single family residences and roadways. Wallpack lighting will not be permitted except for within the service area adjacent to building 1. Pole lighting will be limited to 30' height maximum. Pedestrian lighting will be provided along West Blvd. by the City of Charlotte West Blvd. Improvements Program. Pedestrian lighting along Remount Rd. will be added to the extent the development budget will allow.
7. Site Development will meet Charlotte Tree Ordinance Requirements.
8. Buildings will be compatible in color and materials.
9. Building signage will be uniform. Detached signage will be limited to one monument sign per street frontage not exceeding 7' in height and 75 sq. ft.
10. If Required stormwater detention will not be located between the building and street,
 11. Brick columns will be added as shown in security fence along Remount Rd. matching the West Blvd. Design Guidelines. Additional plant material will be added along the security fence to meet all screening requirements.
 12. Flower boxes or plantings will be added along sidewalks leading to police station from Remount Rd.
13. Flowering climbing plant material will be added along the buffer fence.
14. Additional landscaping for color and ornamental value will be added within the building setbacks.
15. Fire hydrants will be provided within 750', as the fire truck travels, of the most remote and accessible point of all buildings.



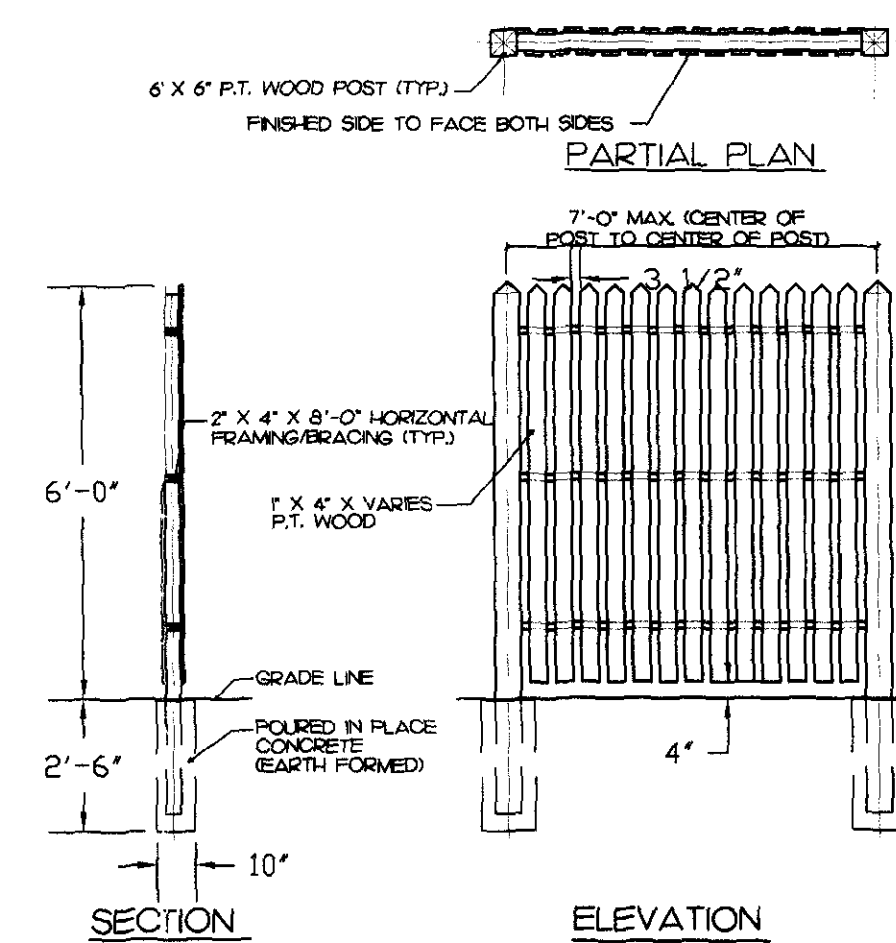
SITE CROSS SECTION ALONG NORTHERN PROPERTY LINE



8' BRICK COLUMN W/ PRECAST CONCRETE CAP



8' BLACK SECURITY FENCE



6' WOOD PRIVACY FENCE

WESTOVER PLAZA
CHARLOTTE, NORTH CAROLINA

C.M.D.C. WESTOVER NO. 1 2000, LLC
3623 LATROBE DRIVE, SUITE 122
CHARLOTTE, NORTH CAROLINA, 28211
PHONE: 704 365-2152 FAX: 704 366-0254

**Design
Resource Group**

1230 West Morehead Street, Suite 214
Charlotte, NC 28208
704.343.0608 fax 704.358.3093
www.drgrp.com

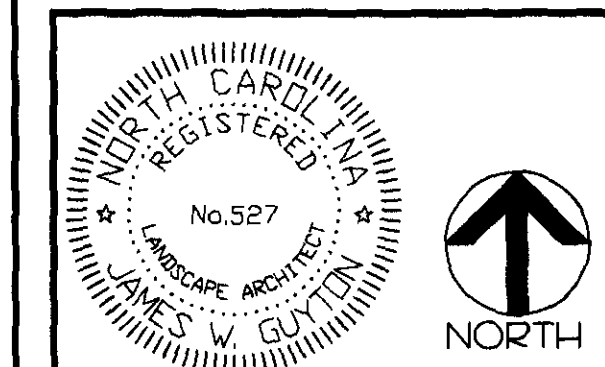
- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning

-DRG

PETITION NO.
2002-02

SITE PLAN

FOR PUBLIC HEARING



Scale: 1" = 40'

Date: 21 DEC. 2001

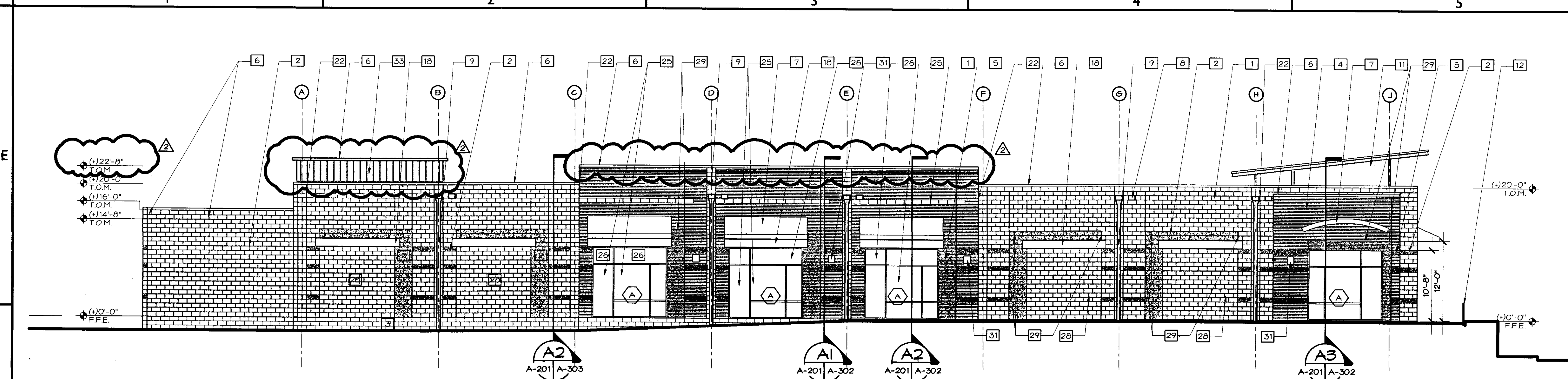
Project No.: O73-002

Revisions:
12/20/01 PER STAFF REVIEW
02/12/02 PER OWNER

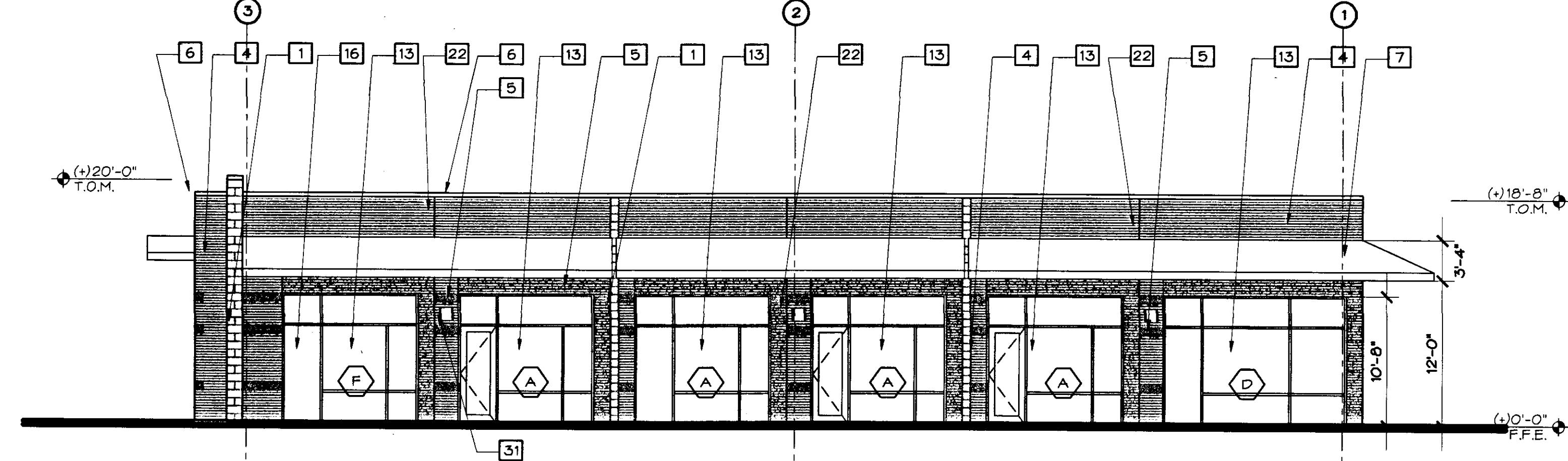
APPROVED BY CITY COUNCIL

DATE 2/18/02

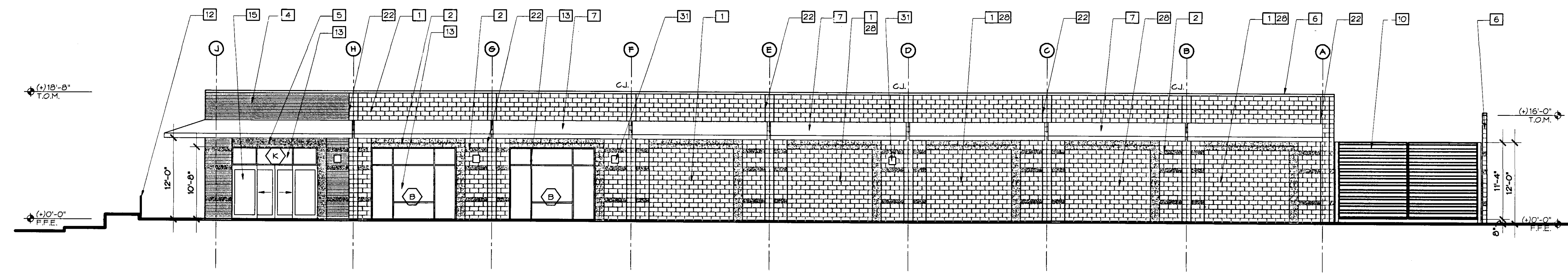
Sheet 1 of



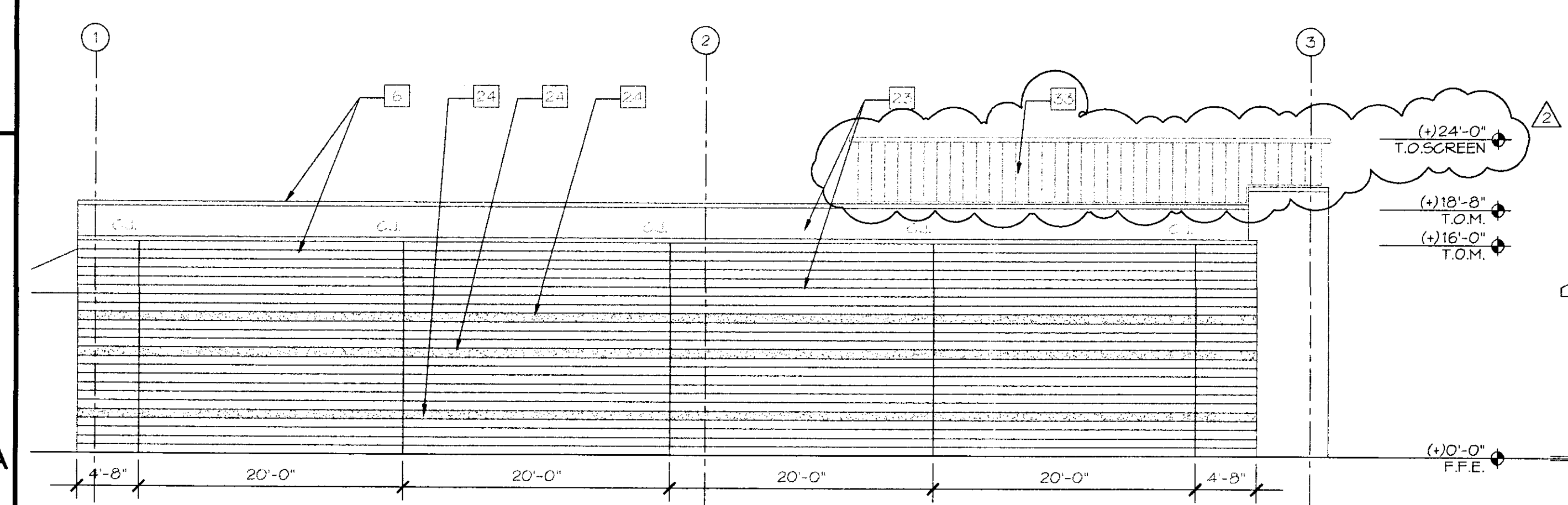
(D) SOUTH ELEVATION
A-101 A-201 SCALE: 1/8" = 1'-0"



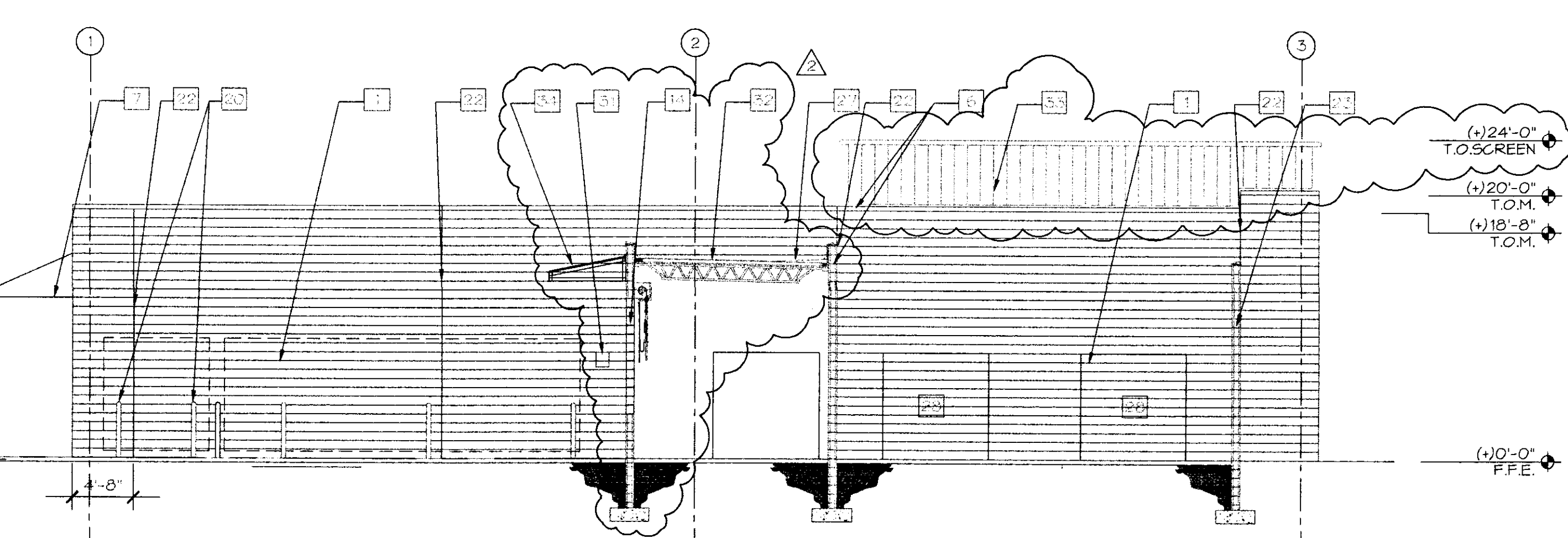
(C) EAST ELEVATION
A-101 A-201 SCALE: 1/8" = 1'-0"



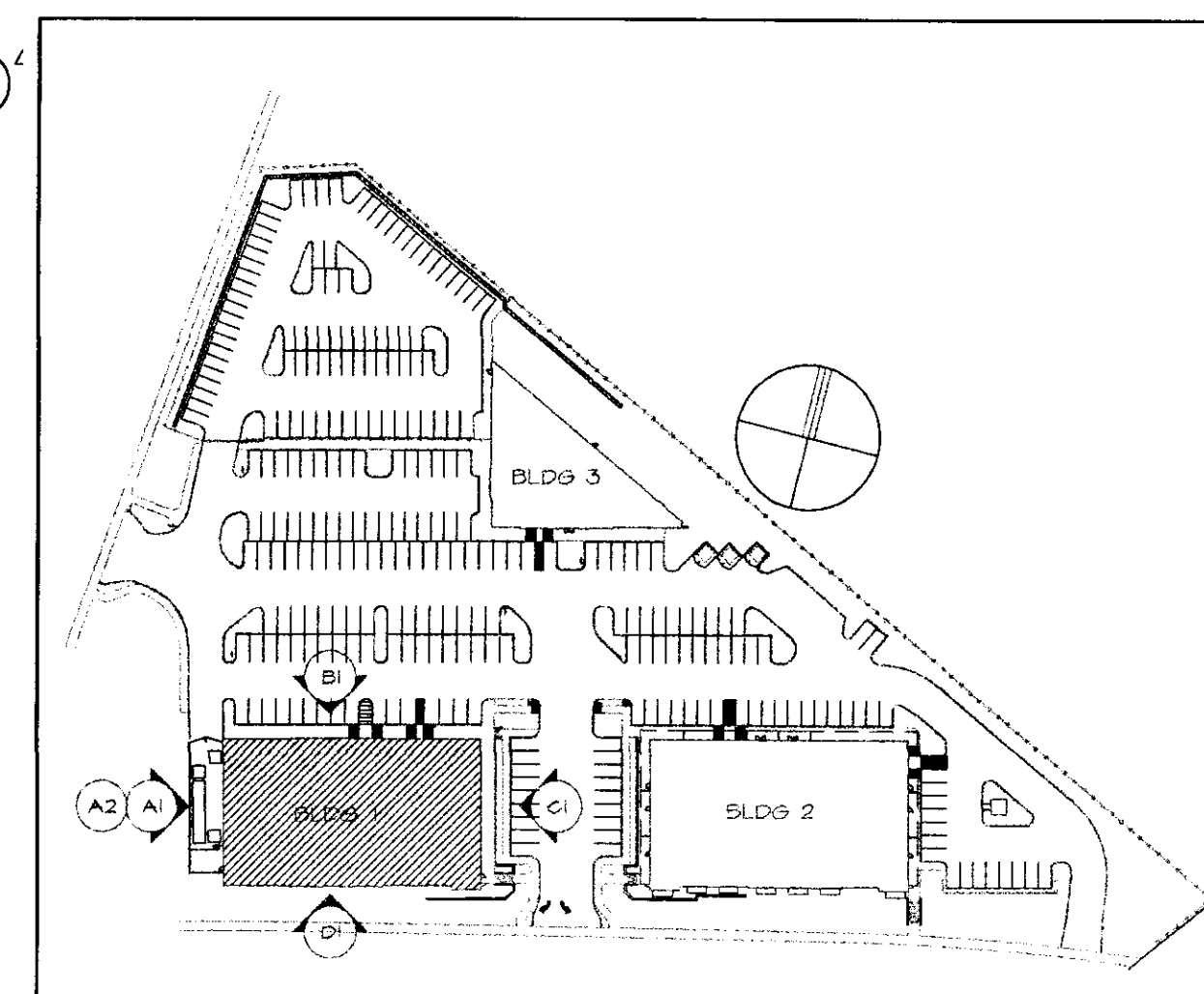
(B) NORTH ELEVATION
A-101 A-201 SCALE: 1/8" = 1'-0"



(A) SCREEN WALL ELEVATION
A-101 A-201 SCALE: 1/8" = 1'-0"



(A2) WEST ELEVATION
A-101 A-201 SCALE: 1/8" = 1'-0"



KEY PLAN

GENERAL NOTES

1. KEEP HOLES 32" O.C. EA. WAY (TYP.), ALL BRICK AND CONCRETE BLOCK CAVITY WALLS
2. PROVIDE SUNBRELLA FIRESTIC CANVAS OR APPROVED EQUAL, SECURELY ATTACH AWNING TO ALUM. FRAME AT ALL EDGES.
3. ALL CANVAS JOINTS/SEAMS TO BE WELDED GRAPHICS AND LETTERING TO BE PAINTED.
4. ALL FRAMING SHALL BE MILL FINISH ALUM. WELD AND GRIND SMOOTH ALL JOINTS. PAINT ALL WELD JOINTS TO MATCH ALUM. FINISH

NOTES THIS SHEET

- 1 4" CMU TYPE 1, ADAMS 611 SMOOTH
- 2 4" CMU TYPE 2, ADAMS 611 SPLIT FACE
- 3 4" CMU TYPE 3, ADAMS A42M CHARCOAL GRAY
- 4 4" MODULAR BRICK TYPE 1, TAYLOR, RED, SMOOTH
- 5 4" MODULAR BRICK TYPE 2, TAYLOR, RED, RIFLE FACE
- 6 PREFINISHED METAL COPING ALIGN JOINTS W/ C.J.
- 7 CANVAS AWNING W/ ALUM. FRAME
- 8 SCUPPERS--SEE ROOF DWS. FOR LOCATIONS.
- 9 ROOF DRAIN LEADERS--SEE ROOF DWS. FOR LOCATIONS.
- 10 LOADING DOCK SCREEN DOORS
- 11 ROOF ACCENT STRUC.
- 12 GUARDRAIL 42" AFF, SEE B3 / A-304
- 13 ANODIZED ALUM. STOREFRONT SEE SCHED. A-601
- 14 ROLLING DOOR, SEE SPECS.
- 15 AUTOMATIC SLIDING DOOR, SEE SPECS.
- 16 DOOR, SEE SCHED. A-601
- 17 FINISH FLOOR ELEVATION
- 18 MTL. LINTEL PAINTED, COLOR BY ARCHITECT
- 19 NOT USED
- 20 4" STEEL BOLLARD, (TYP.) REFER TO A-501
- 21 2" CONTROL JOINT
- 22 MASONRY CONTROL JOINT.
- 23 8" CMU TYPE 1, ADAMS 119, SMOOTH
- 24 8" CMU TYPE 2, ADAMS 119, SPLIT FACE
- 25 SPANDREL GLASS, GLASS TYPE 2
- 26 CLEAR GLASS, GLASS TYPE 1
- 27 PREFINISH METAL FLASHING
- 28 NOCK-OUT PANEL, PROVIDE CONTINUOUS CONTROL JOINT ALL SIDES
- 29 RAKE JOINT
- 30 CMU TYPE 4
- 31 WALL SCORCE
- 32 EPDM ROOF OVER R-20 INSULATION
- 33 PREFINISHED METAL PANEL
- 34 PAINTED STEEL STRUCTURE

CLARK NEXSEN
Architecture & Engineering

1023 West Morehead Street
Suite 150
Charlotte, North Carolina 28208
704-377-8800 FAX 704-358-1037
WWW.CLARKNEXSEN.COM



WESTOVER PLAZA
CHARLOTTE, NORTH CAROLINA
CMDC
CHARLOTTE MECKLENBURG DEVELOPMENT CORPORATION

WESTOVER PLAZA
CHARLOTTE, NC

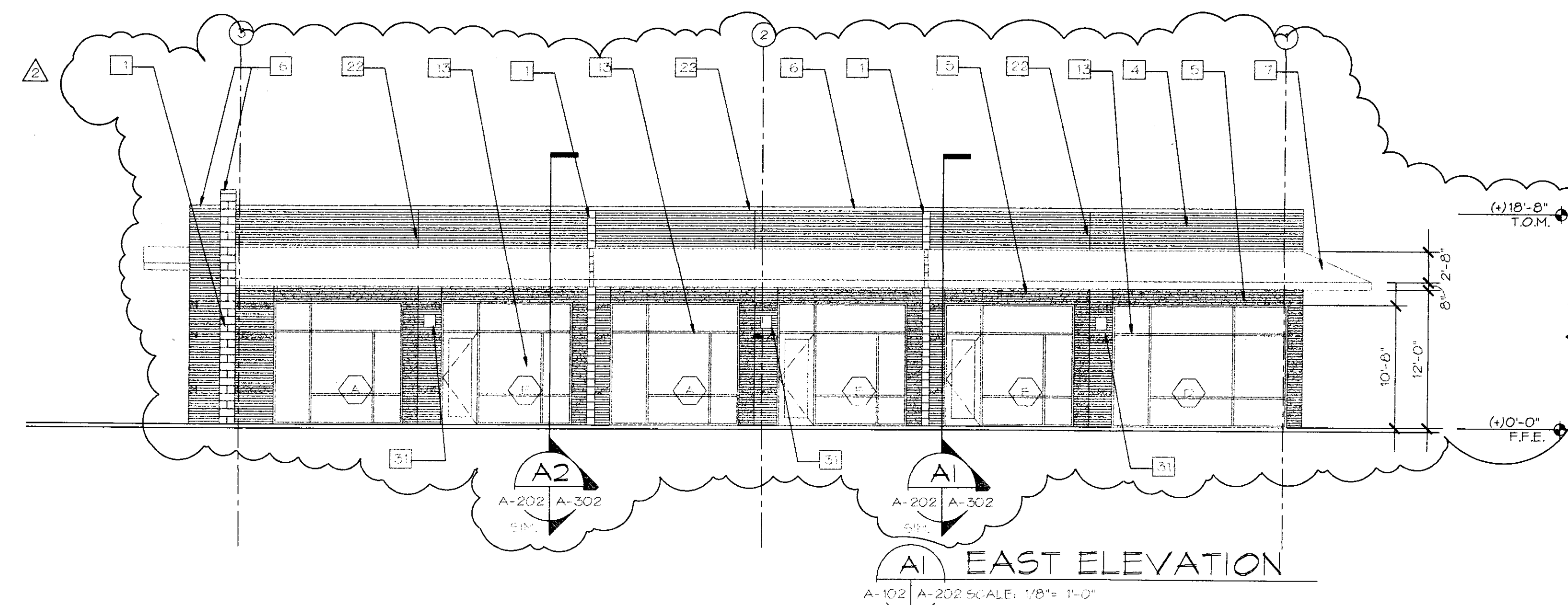
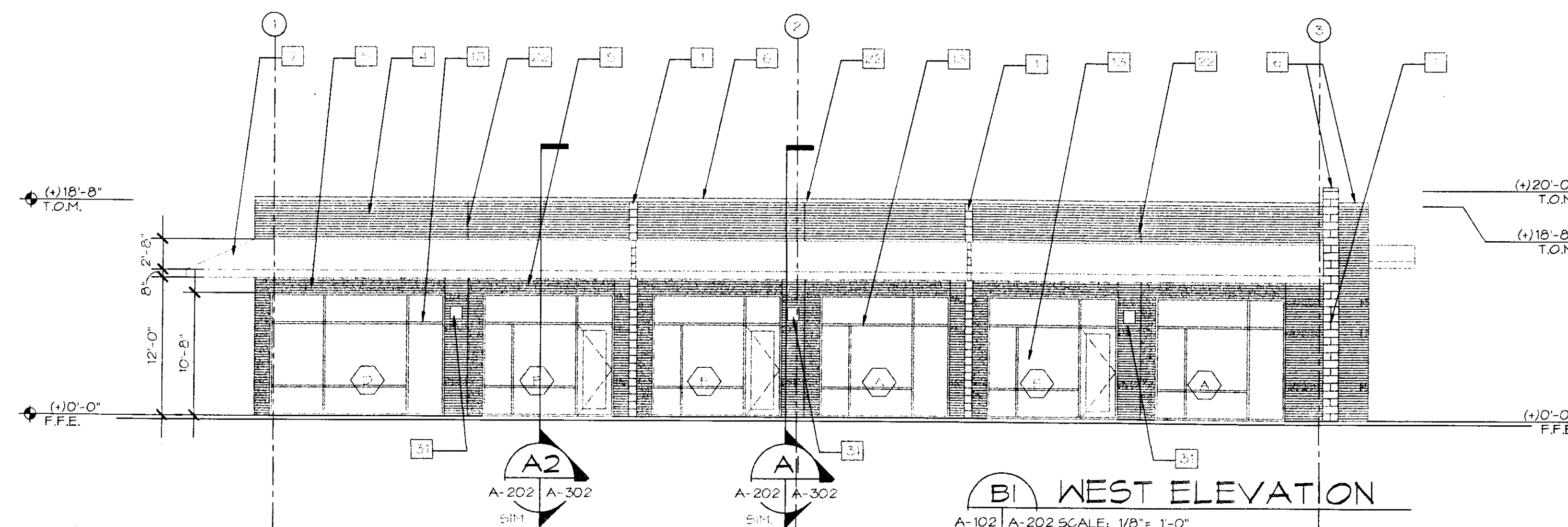
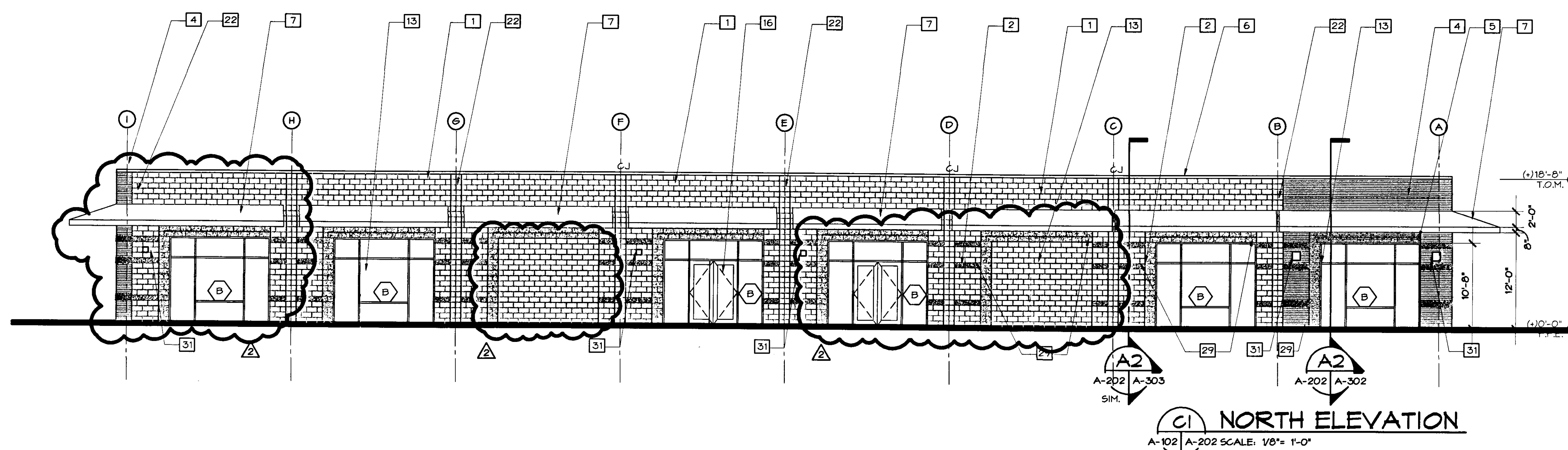
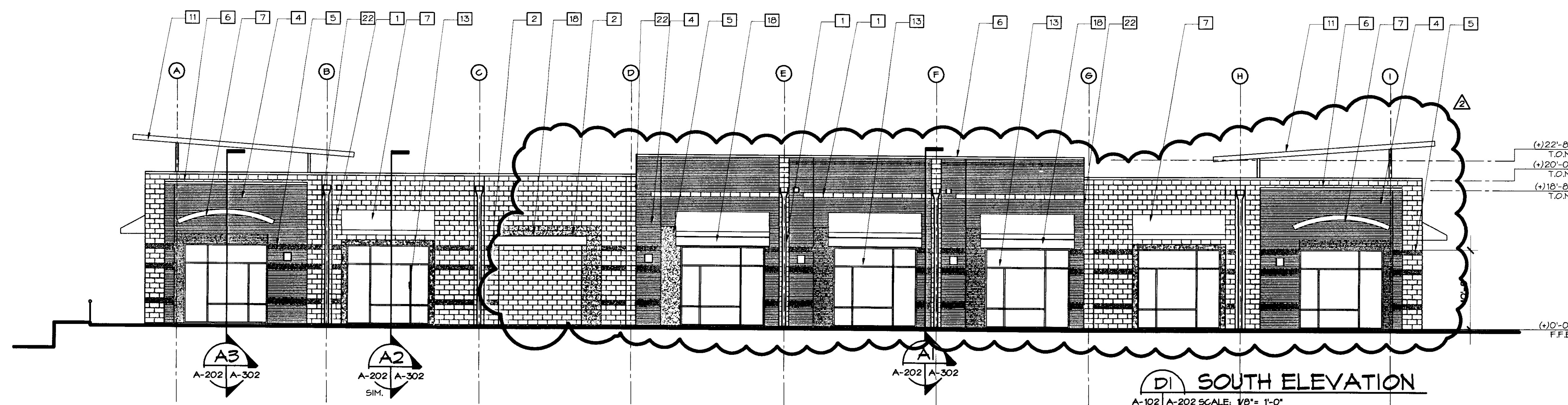
CN NO: 311.4
DATE: 12/04/01
DESIGN: .
DRAWN: .
REVIEW: .

REVISIONS
No. Date Description By
1 02.28.02 OWNER REVISIONS JD

APPROVED BY CITY COUNCIL
DATE: 2/13/02

**ELEVATIONS
BUILDING I**

A-201
SHEET 14 OF



GENERAL NOTES

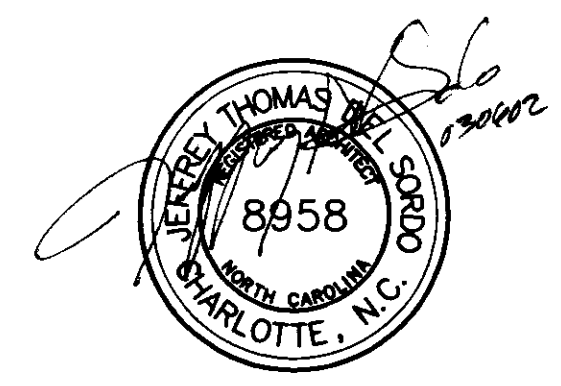
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WESTOVER PLAZA

CHARLOTTE, NORTH CAROLINA



WESTOVER PLAZA

CHARLOTTE, NC

CN NO: 311.4
DATE: 12/04/01
DESIGN: .
DRAWN: .
REVIEW: .

REVISIONS	No.	Date	Description	By
	02.28.02		OWNER REVISIONS	JD

APPROVED BY CITY COUNCIL
DATE: 1/18/02

ELEVATIONS
BUILDING 2

A-202

SHEET 15 OF

