



## CHARLOTTE HISTORIC DISTRICT COMMISSION

### CERTIFICATE OF APPROPRIATENESS

**CERTIFICATE NUMBER:** HDCRMI-2019-00565

**DATE:** November 22, 2019

**ADDRESS OF PROPERTY:** 619 Mount Vernon Avenue

**TAX PARCEL NUMBER:** 12305605

**HISTORIC DISTRICT:** Dilworth

**APPLICANT/OWNER(S):** Amanda Bagby and Jamie Mach, Urban Building Group, Inc. / Carla M. Ashton

**DETAILS OF APPROVED PROJECT:** The project is a design change to an existing front portico. The existing broken red-tile landing will be removed and replaced with an all-brick paver landing. The landing will be widened from 6'-1" to 10'-8". The depth will remain the same, 4'-2". A new pediment roof will be supported by 10" square columns. The roof will be asphalt with a metal feature. Materials will be wood with an HDO/MDO composite material used for the columns only. The project also includes a wood replacement front door to match existing. See attached plans.

The project was approved by the HDC November 13, 2019.

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

\_\_\_\_\_  
Jim Haden, Chairman  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

\_\_\_\_\_  
Staff

*Kristina A. Harp*

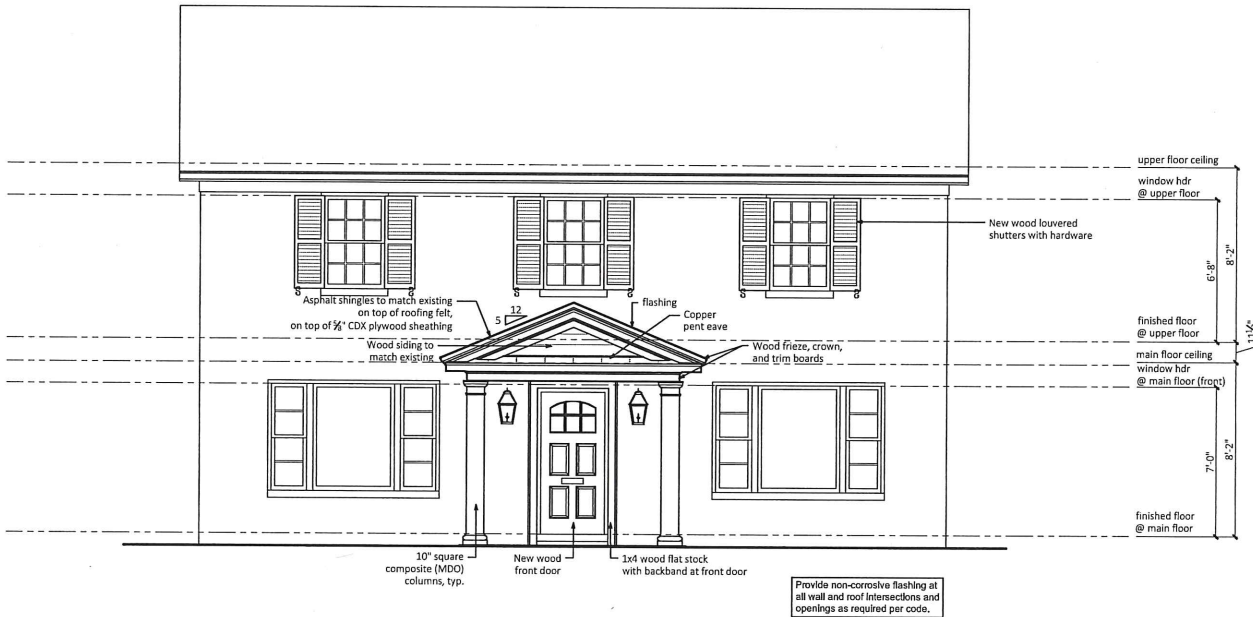
www.charlotteplanning.org  
600 East Fourth Street  
Charlotte, NC 28202-2853  
PH: (704)-336-2205  
FAX: (704)-336-5123

Front Elevations - Existing and Proposed



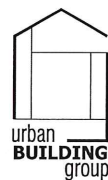
Existing Front Elevation

Scale: 1/4" = 1'-0"



Proposed Front Elevation

Scale: 1/4" = 1'-0"



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DESIGN CENTER  
342 Circle Avenue  
Charlotte, North Carolina

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Certificate of Appropriateness

HDCRMI-2019-00565

Drawn By:	As Noted
Scale:	November 18, 2019
Print Date:	
Revisions:	

Design For:	Ashton Residence
	619 Mt. Vernon Avenue
	Charlotte, NC 28203

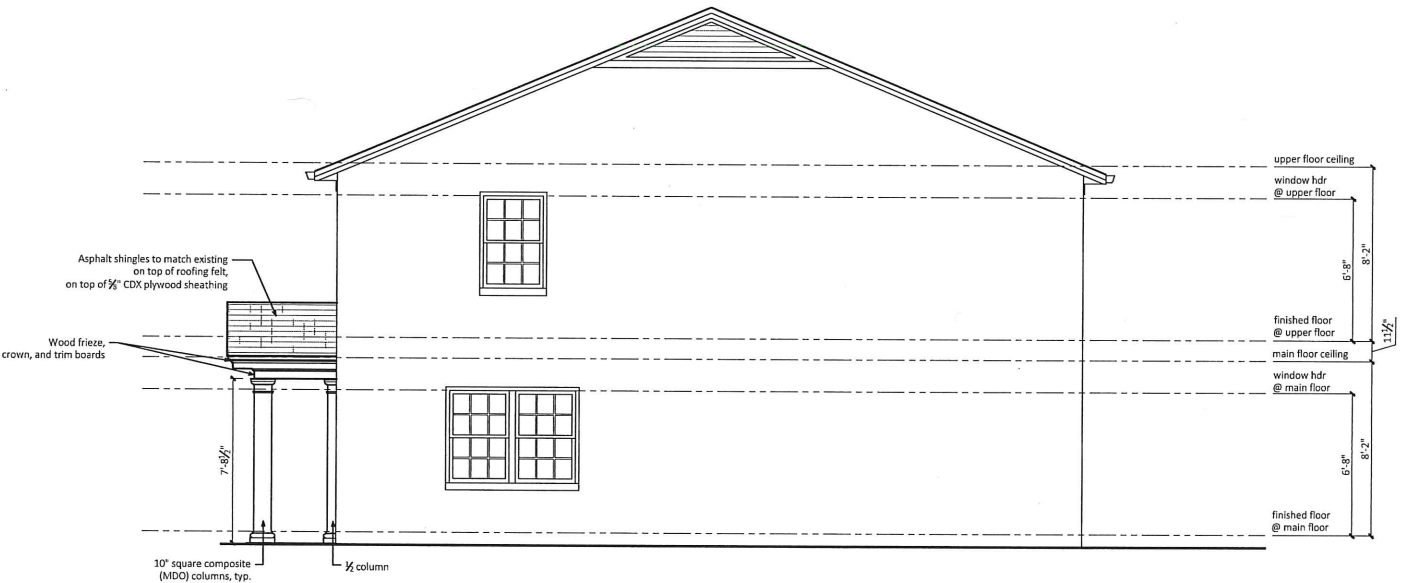
11.18.2019  
**HDC4**  
Elevations

Right Elevations - Existing and Proposed



Existing Right Elevation

Scale: 1/4" = 1'-0"



Proposed Right Elevation

Scale: 1/4" = 1'-0"

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*HDCRMT-2019-00565*



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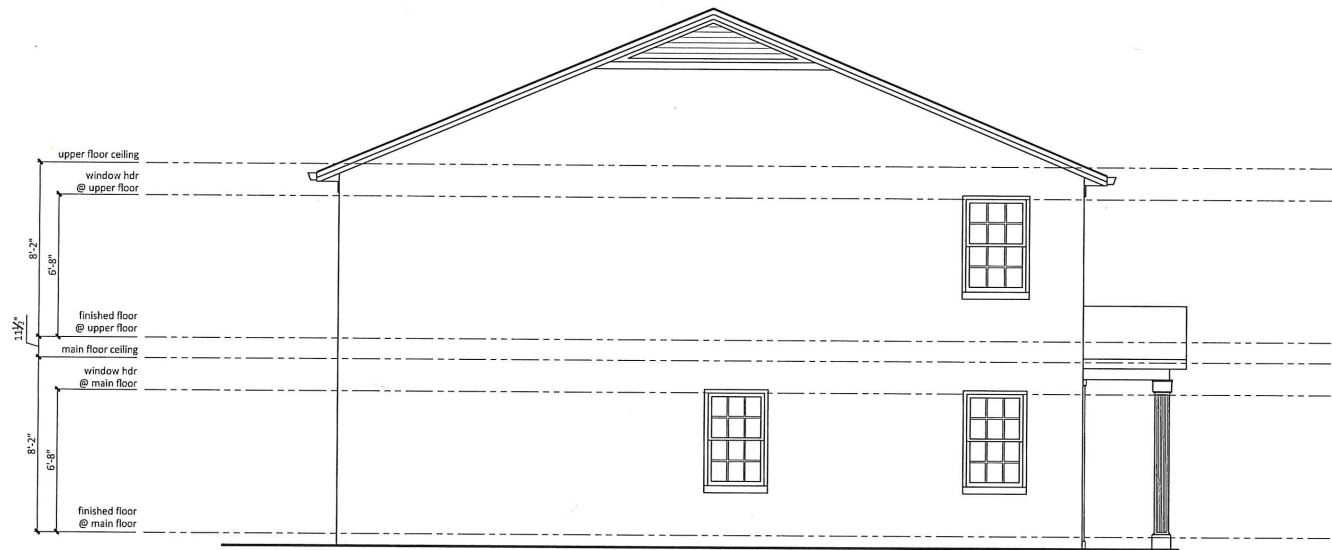
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**Ashton Residence**  
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Charlotte, NC 28203

11.18.2019  
**HDC5**  
Elevations

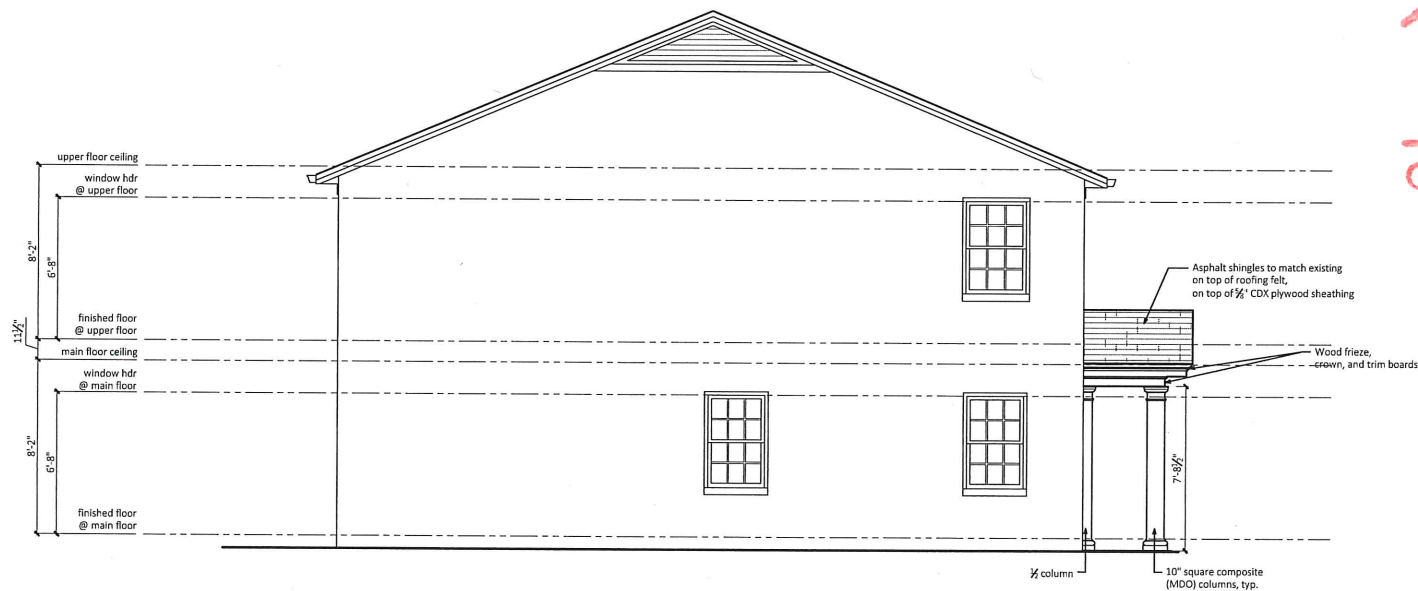


Left Elevations - Existing and Proposed



Existing Left Elevation

Scale: 1/4" = 1'-0"



Proposed Left Elevation

Scale: 1/4" = 1'-0"



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Design For:  
**Ashton Residence**  
619 Mt. Vernon Avenue  
Charlotte, NC 28205

11.18.2019  
**HDC6**  
Elevations

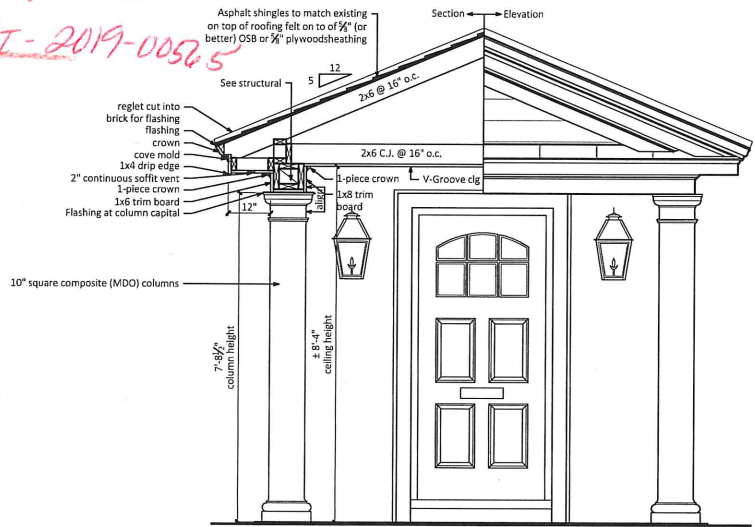


Architectural Details - Existing and Proposed



Existing Materials

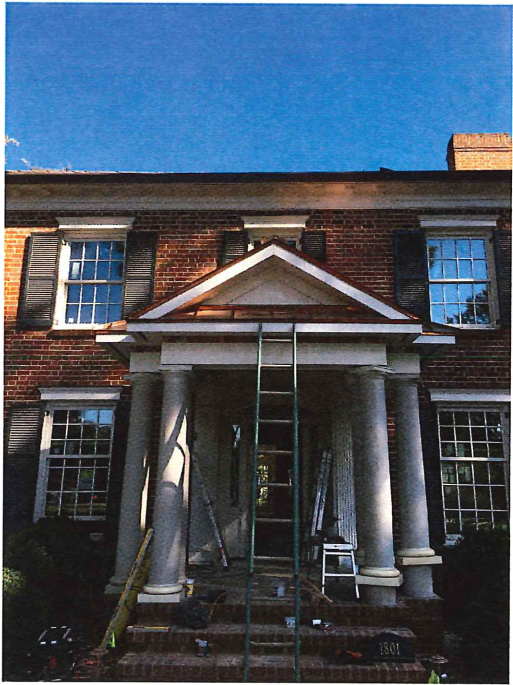
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HDCRMT-2019-0052.5



Proposed Elevation/Section

Scale: 1/2" = 1'-0"

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Proposed Materials - Paintable Composite -  
exterior unfinished



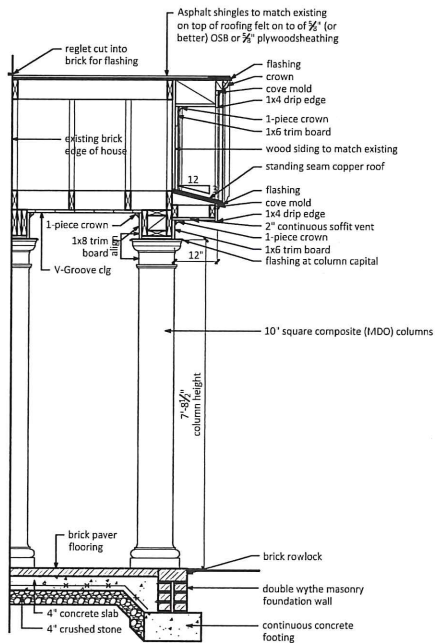
Proposed Materials - Paintable Composite -  
Finished and painted trim color



Proposed Materials - Brick Pavers  
Rowlock Inset with Herringbone



Proposed Materials - Wood Front Door



Proposed Side Elevation/Section

Scale: 1/2" = 1'-0"

Drawn By: As Noted  
Scale: November 18, 2019  
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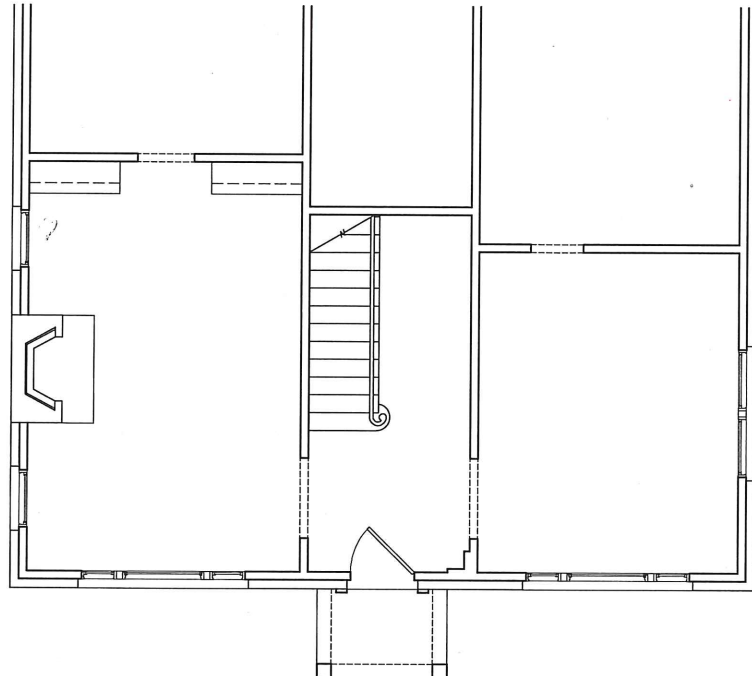
Design For:  
Ashton Residence  
619 Mt. Vernon Avenue  
Charlotte, NC 28203

11.18.2019  
HDC7  
Details



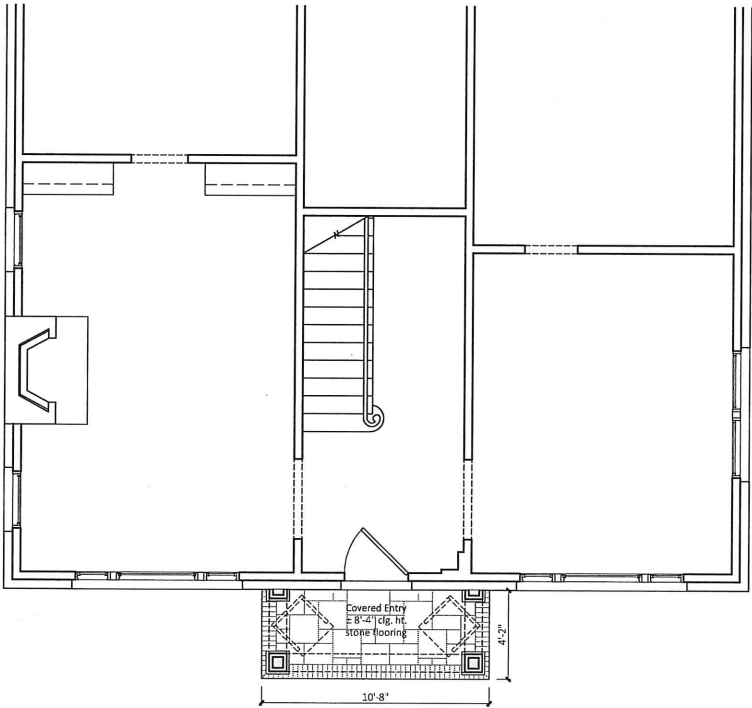
Floor Plans - Existing and Proposed

  
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# HDCRMI - 2019-00565



Existing 1st. Floor Plan

Scale: 1/4" = 1'-0"



Proposed 1st. Floor Plan

Scale: 1/4" = 1'-0"



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Residential Design/Build Specialists

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Charlotte, North Carolina

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Scale:	September 5, 2019
Print Date:	
Revisions:	

Design For:  
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619 Mt. Vernon Avenue  
Charlotte, NC 28203

09.05.2019  
**HDC8**  
Plans