



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCADMRM-2019-00547

ISSUED DATE: 12 September 2019

ADDRESS OF PROPERTY: 809 Mt. Vernon Ave

TAX PARCEL NUMBER: 12305106

HISTORIC DISTRICT: Dilworth

OWNER: Jonathan & Laura Olson

DETAILS OF APPROVED PROJECT: Rear Yard Additions. This project is the addition of a pool, patio, retaining wall and astro-turf area. The pool measures approximately 17'-0" x 34'-0" and the attached patio is approximately 242sqft. Both the pool coping and patio will be travertine or natural stone. The uncovered pool will be set back approximately 13'-0" from rear of the structure and will meet all required zoning setbacks. The retaining wall will be added around the pool and astro-turf area due to rear yard topography issues. The wall will be brick to match the main structure and will be no taller than necessary to level the land. The new astro-turf area measures approximately 19'-0" x 47'-0" and will be 100% permeable. Post-completion the rear yard impermeable space will be 49.18 %. No other changes will be made to the existing garage, driveway or main structure. No trees will be removed. See attached exhibit 'Plan – Sept. 2019'

1. Applicable Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 2.6: Landscape & Site Features.
2. The applicable Design Guidelines for Landscaping and Yards (page 8.4) have been met.

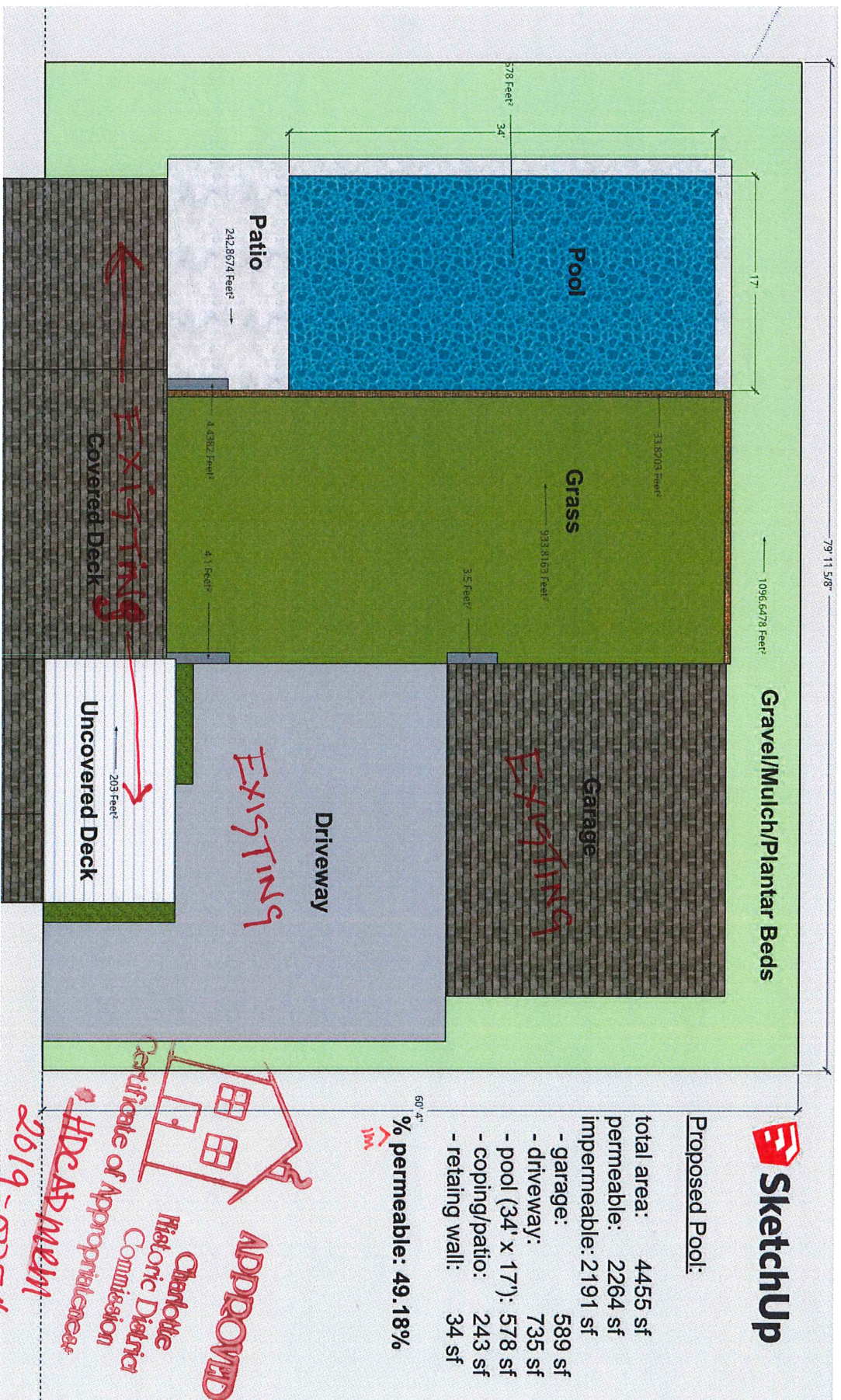
If changes to the approved plans are needed, please contact staff as soon as possible. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

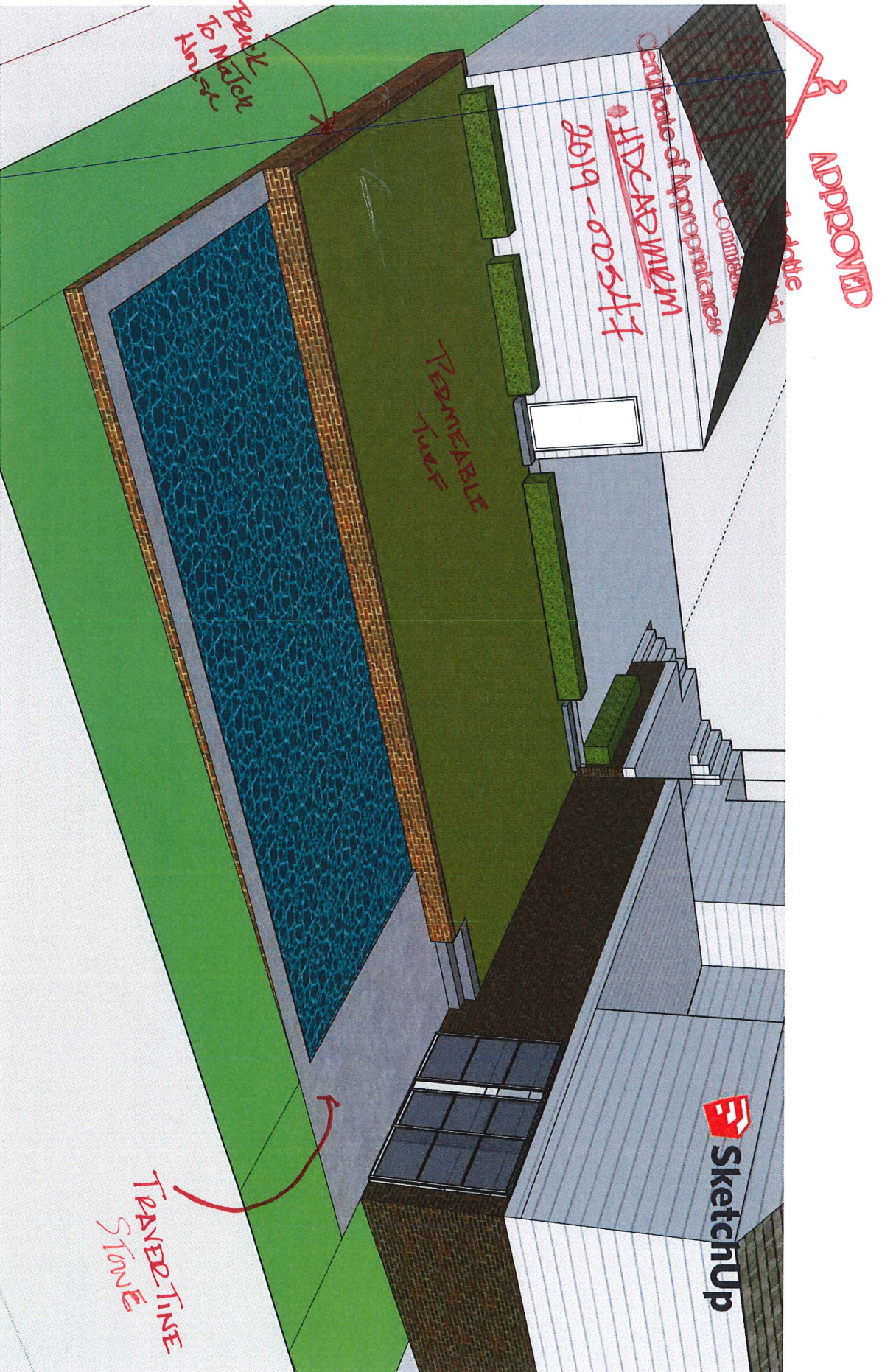
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman


Staff



Plan - SEPT 2019



Plan - Sept 2019

