



CHARLOTTE HISTORIC DISTRICT COMMISSION  
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMI-2019-00534

DATE: 27 August 2019

ADDRESS OF PROPERTY: 519 N Pine Street

HISTORIC DISTRICT: 4<sup>th</sup> Ward

TAX PARCEL NUMBER: 07807423


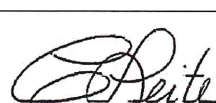
OWNER: Richard & Jennifer Henry

**DETAILS OF APPROVED PROJECT:** The project is a second-floor rear addition that is no taller or wider than the original building with dimensions to match those on the first floor. The new addition footprint measures approximately 10'-9"x 21'-0". The siding will be wood lap to match existing. All corner boards, trim and roof details will be wood. A horizontal wood band will differentiate the first and second floor. The conical roof will be slate to match existing in material and design with the reuse of the spire. The addition will have double-hung all wood windows with Simulated True Divided Lights (STD L) in a 1/1 to match existing. A diamond shape wood window will be added for balance to the right-side and will match the existing in design, detail and trim. See attached plans.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval-Additions, page 2.9.
2. This application is in compliance with the Policy & Design Guidelines for both Additions, page 7.1
3. ***If changes to the approved plans are needed, please contact staff as soon as possible. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines***

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

**This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.**

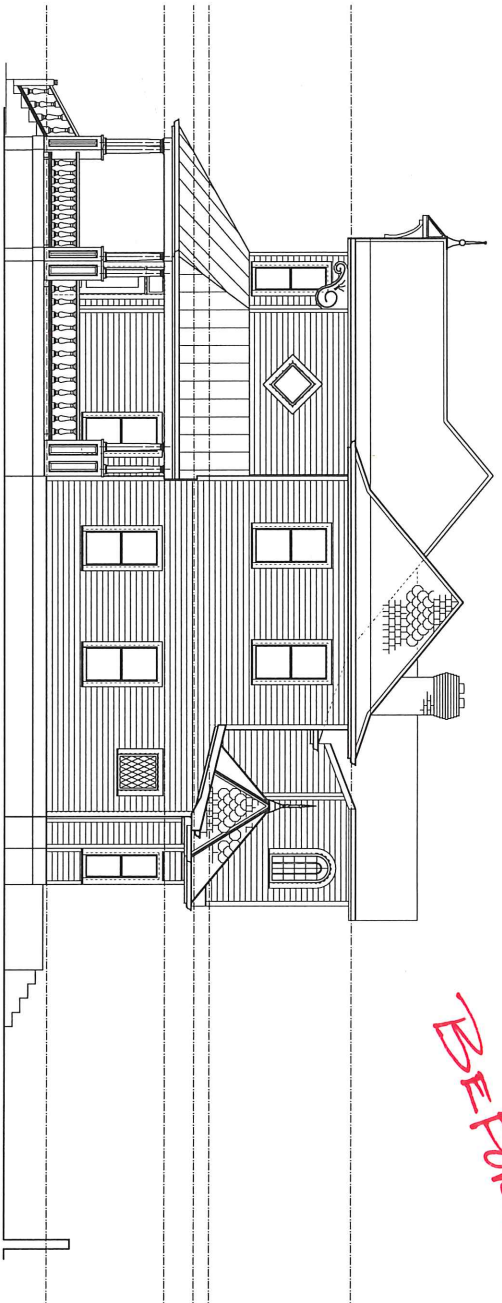
  
James Hader, Chairman  
Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

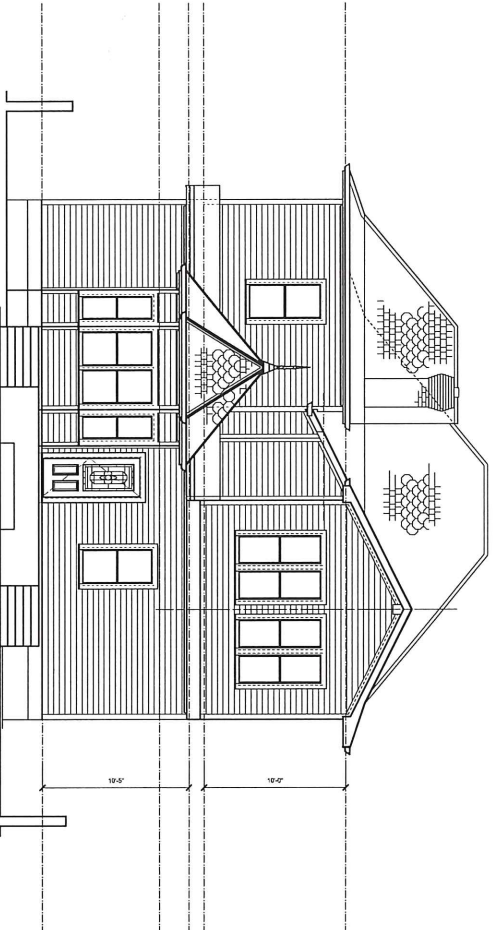
[www.charlotteplanning.org](http://www.charlotteplanning.org)

600 East Fourth Street  
Charlotte, NC 28202-2853  
PH: (704)-336-2205  
FAX: (704)-336-5123

*BEFORE*



1 RIGHT SIDE ELEVATION-EXISTING  
1/8" = 1'-0"



2 REAR ELEVATION-EXISTING  
1/8" = 1'-0"

**APPROVED**  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
HDCAM2W1  
2019 - 00534



FOR REVIEW ONLY

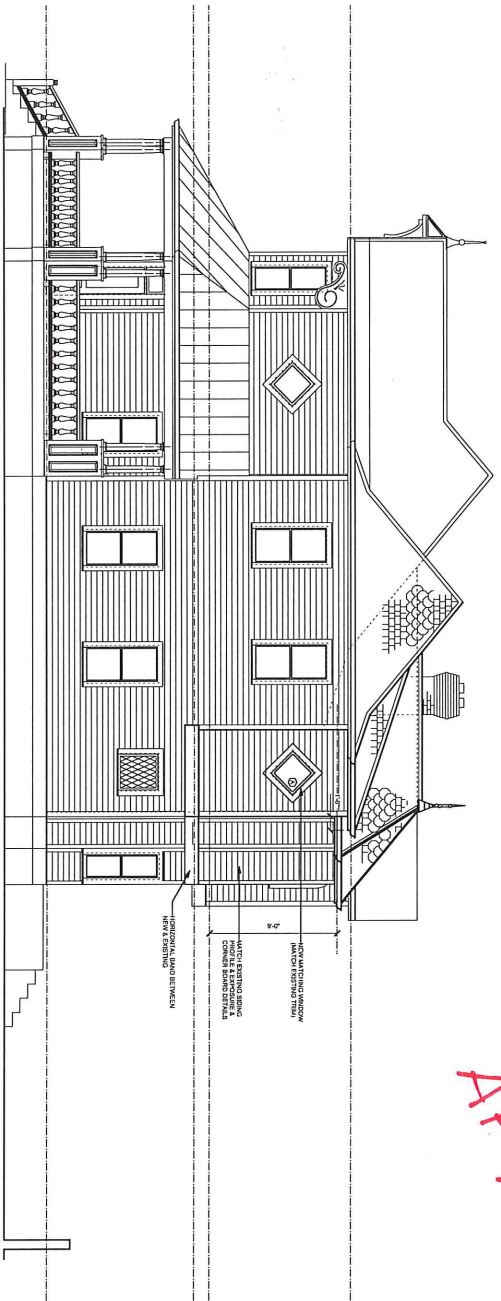
Make Final Print	Exemptions
03 August 2019	
48	
14063	
	D-2.0

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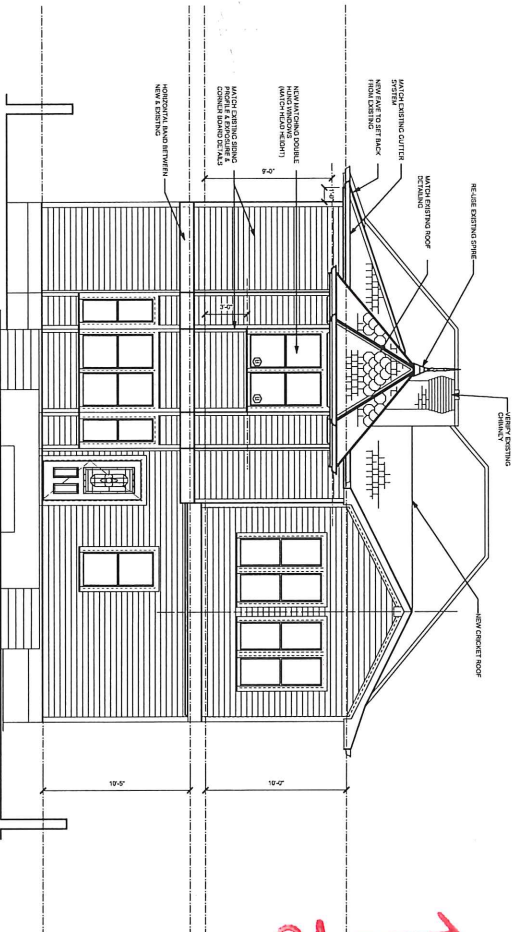
Meyer | Green | Paulin | Benson  
Architecture | Interior Design  
2020-2021 Project: 14063 N. Pine Street, Charlotte, NC  
2019-2020 Project: 14063 N. Pine Street, Charlotte, NC

Henry Residence  
519 N. Pine Street  
Charlotte, North Carolina

AFTER



1.39 RIGHT SIDE ELEVATION-EXISTING  
1/4"=1'-0"



1.38 REAR ELEVATION-EXISTING  
1/4"=1'-0"

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Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
HDCDDMCM  
2019 - 00534



FOR REVIEW ONLY

Examination	Reviewer
03 August 2019	
CP	
10/03	
A-2.0	

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Meyer | Gresson | Paulin | Benson  
ARCHITECTURAL INTERIORS DESIGN

2000 South Tryon Street, Suite 100, Charlotte, NC 28203  
704.375.1000 | 704.375.1001 | 704.375.1002

Henry Residence  
519 N. Pine Street  
Charlotte, North Carolina



Referred

Meier | Cresson | Paulin | Benson  
ARCHITECTURAL INTERIOR DESIGN

200 South Tryon Street, Suite 202, Charlotte, NC  
704.375.3000 | info@mcprb.com | www.mcprb.com

Henry Residence  
519 N. Pine Street  
Charlotte, North Carolina

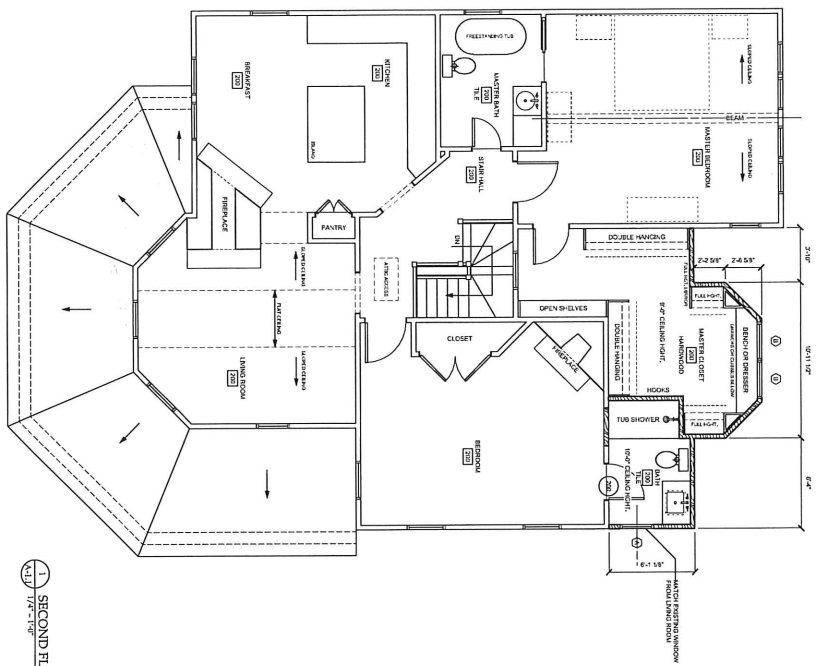
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Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
#HDC AD mjm  
2019 - 02534



FOR REVIEW ONLY

Meals Floor Plan	Revisions
05 August 2019	
CPH	
19063	
	A-1.0

After



**1 SECOND FLOOR PLAN-RENOVATION**  
 1/4" = 1'-0"

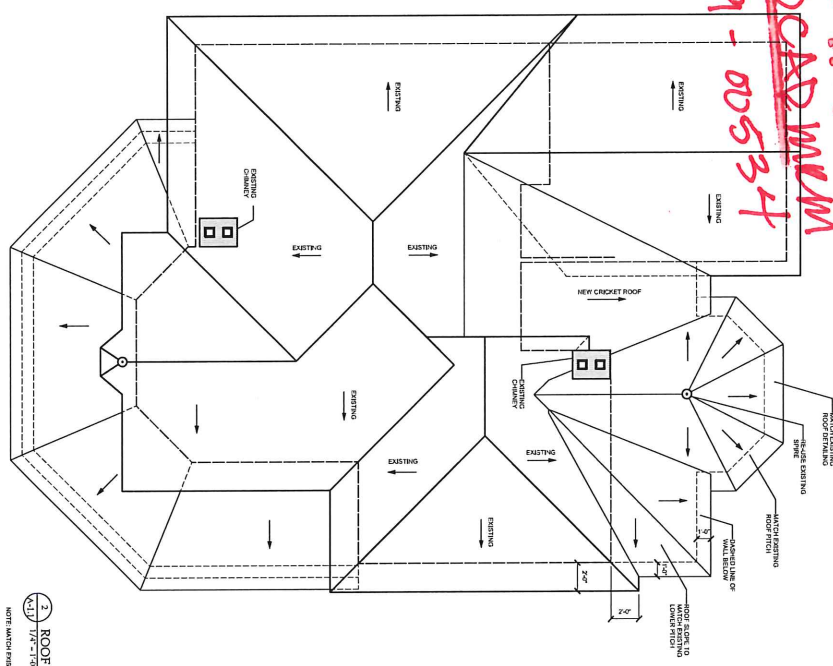
- EXISTING WALL
- NEW WOOD WALL
- ADDED HEATED SQUARE FEET: 145 sq. ft.

**General Notes:**

1. The renovation shall include the removal of existing walls, doors, windows, and fixtures, and the installation of new walls, doors, windows, and fixtures, as shown on the plans.
2. The renovation shall include the removal of existing walls, doors, windows, and fixtures, and the installation of new walls, doors, windows, and fixtures, as shown on the plans.
3. The renovation shall include the removal of existing walls, doors, windows, and fixtures, and the installation of new walls, doors, windows, and fixtures, as shown on the plans.
4. The renovation shall include the removal of existing walls, doors, windows, and fixtures, and the installation of new walls, doors, windows, and fixtures, as shown on the plans.



0 HD CAD MCM  
 2019 - 00534



**2 ROOF PLAN-RENOVATION**  
 1/4" = 1'-0"

NOTE: MATCH EXISTING ROOF MATERIAL & PATTERN



FOR REVIEW ONLY

Second Floor Plan	Revision
01	Original
02	Revised
03	Revised
04	Revised
05	Revised
06	Revised
07	Revised
08	Revised
09	Revised
10	Revised
11	Revised
12	Revised
13	Revised
14	Revised
15	Revised
16	Revised
17	Revised
18	Revised
19	Revised
20	Revised
21	Revised
22	Revised
23	Revised
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87	Revised
88	Revised
89	Revised
90	Revised
91	Revised
92	Revised
93	Revised
94	Revised
95	Revised
96	Revised
97	Revised
98	Revised
99	Revised
100	Revised

A-1.1

Henry Residence  
 519 N. Pine Street  
 Charlotte, North Carolina

Meret Grieson | Paulin Benson  
 ARCHITECTURE | INTERIOR DESIGN

100 South Tryon Street, Suite 200, Charlotte, NC 28202  
 704.333.1000 | www.meretgrieson.com



