



**CHARLOTTE HISTORIC DISTRICT COMMISSION  
CERTIFICATE OF APPROPRIATENESS**

**CERTIFICATE NUMBER:** HDCCMI-2019-00527      **DATE:** 23 October 2019

**ADDRESS OF PROPERTY:** 820 East Boulevard

**HISTORIC DISTRICT:** Dilworth

**TAX PARCEL NUMBER:** 12108211

**OWNER(S):** Yipee The One-Eyed Pirate Dog LLC      **APPLICANT:** Emily Clodfelter,  
Robert Johnson Architects

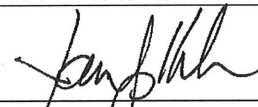
**DETAILS OF APPROVED PROJECT:** The project includes changes to an existing access ramp on the rear elevation. The existing ramp will be removed and replaced with a new wood ramp. A new awning roof will be constructed over a portion of the ramp which will connect to an existing roof on the right elevation. All materials and details are wood to match existing. The non-original rear entry doors on the right elevation will be replaced with new wood doors. On the rear elevation, the dilapidated rear entry door will be replaced with a new wood door. A new double-hung wood window with trim to match existing will be added to the right of the door. A boarded-up window on the right elevation will be uncovered. Under the porte cochere, the access steps to a side entry will remain, with the exception of the non-original plywood bottom step, which will be removed. The other wood steps will be encased by a wood platform and a new metal handrail will be added; these changes are completely reversible and will not remove or damage any of the building's original materials or features. The dilapidated front porch floor will be replaced with new tongue and groove to match existing, run perpendicular to the front door. The dilapidated wood front steps will also be replaced with new wood steps to match existing. The project also includes true repair and maintenance of siding and trim. See attached plans.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval page 2.6, 4.8 Porches, 4.10 Front Doors and Entrances, 4.11 Trim, 4.12-4.14 Windows, 5.2 Wood, and 8.10 Access Ramps.
2. This application is in compliance with the Design Guidelines.

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

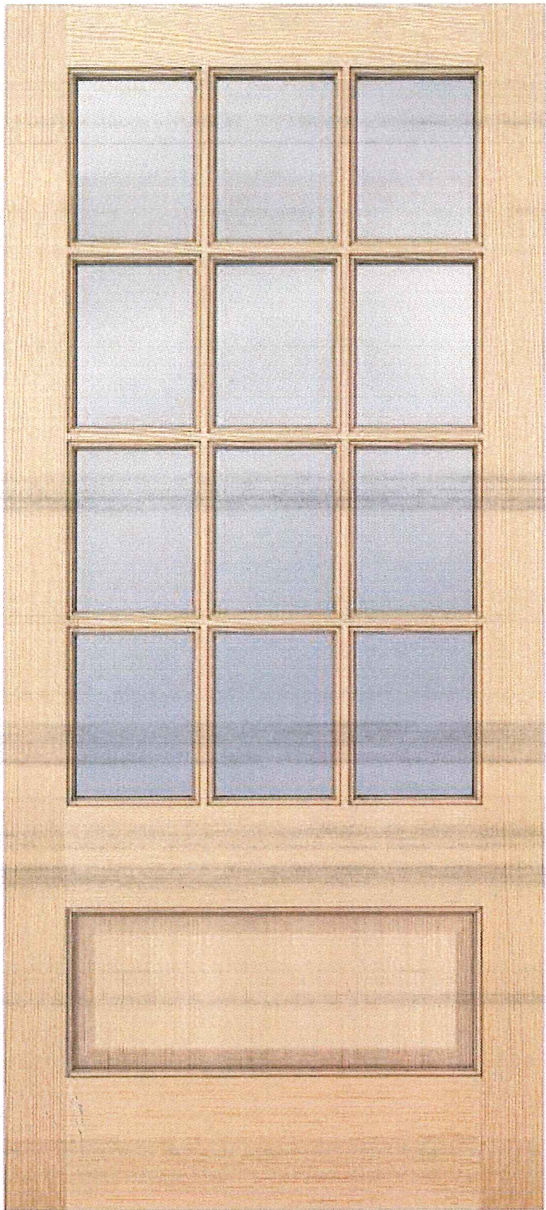
**This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.**

  
\_\_\_\_\_  
James Haden, Chairman

  
\_\_\_\_\_  
Staff



# Authentic Wood Exterior Door: 5112 Glass Panel



## Model Overview

**PROJECT TYPE**  
New construction and replacement

**GLASS**  
Energy efficient.

**MATERIALS**  
2 Wood Options



**APPROVED**

Charlotte  
Historic District  
Commission

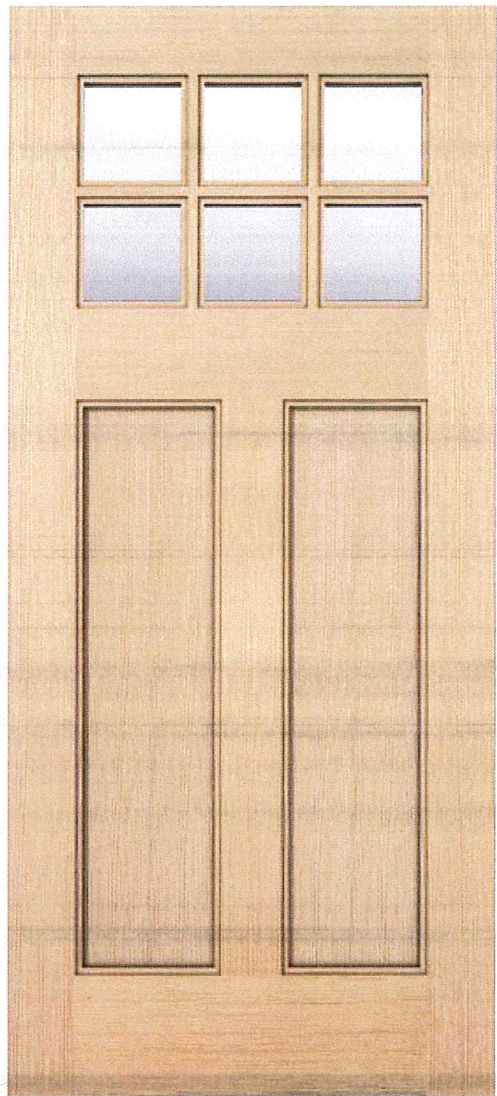
Certificate of Appropriateness

# HDCCMZ-2019-00527

*Real Entry Door*

# Authentic Wood Exterior Door: 6206 Glass Panel

## Model Overview



**PROJECT TYPE**  
New construction and replacement

**GLASS**  
Energy efficient.

**MATERIALS**  
2 Wood Options

*Side Entry Door*



**APPROVED**

Charlotte  
Historic District  
Commission

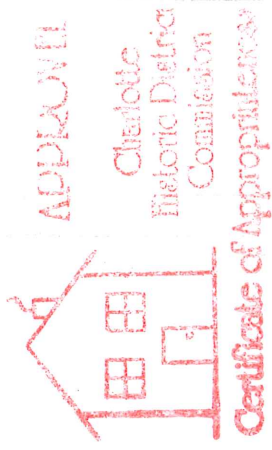
Certificate of Appropriateness

# HPCCMI-2019-00527





non-original to be removed  
metal rail to be removed


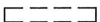


# HCCMI - 2019-00527

non-original plywood step to be removed

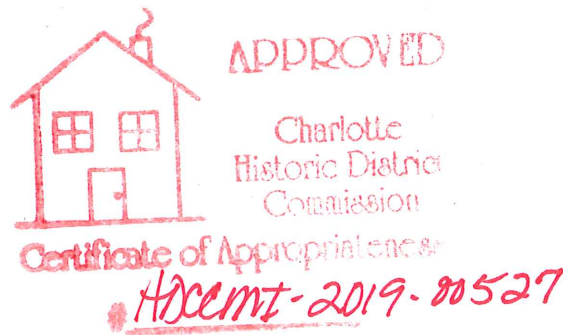
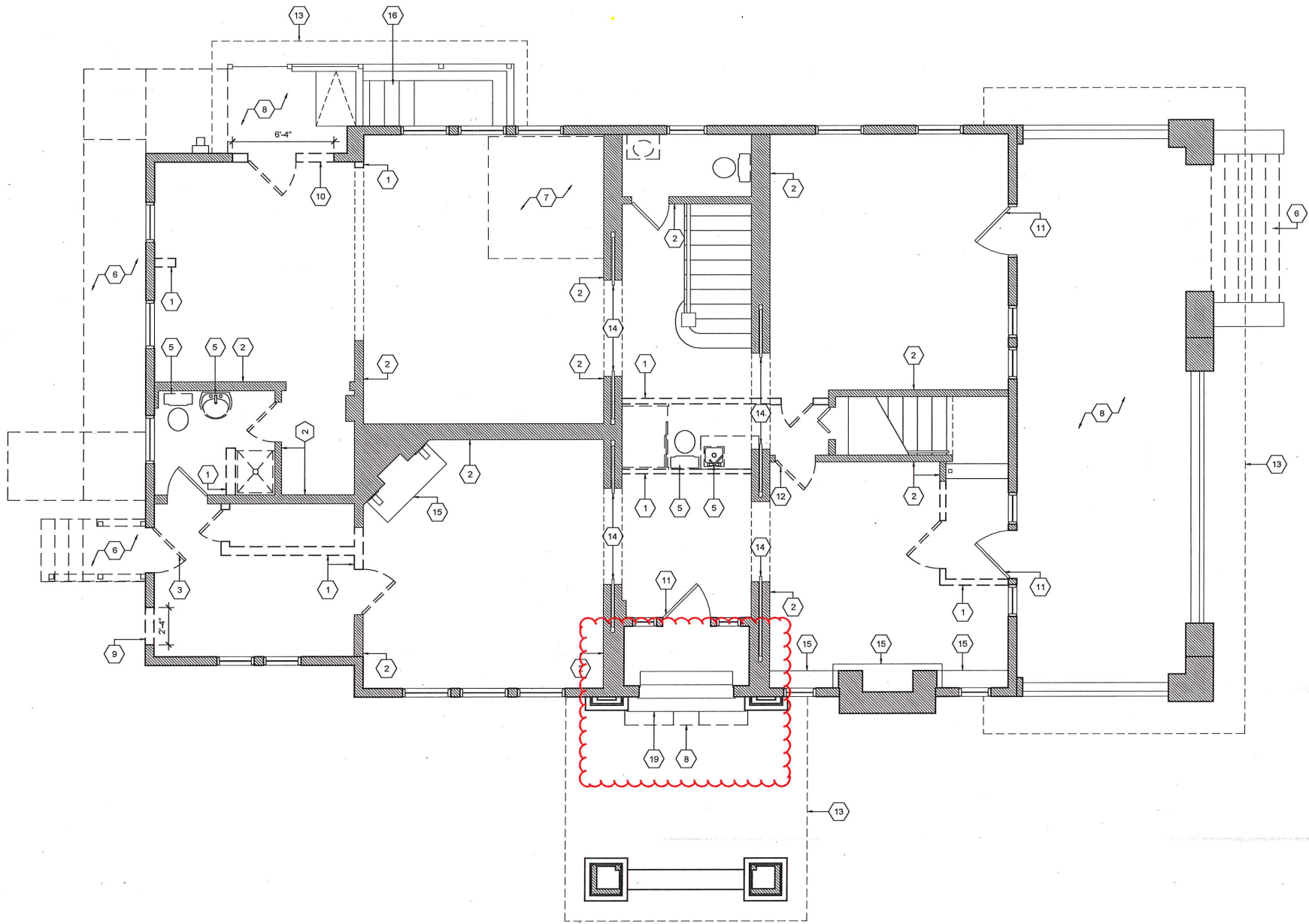
stairs 1, 2, 3 + 4 are to remain.



WALL LEGEND	
	EXISTING WALL TO REMAIN
	WALL TO BE REMOVED

- GENERAL NOTES
- G.C. TO REMOVE ALL EXISTING ELECTRICAL COMPONENTS U.O.N. - SEE ELECTRICAL
  - G.C. TO REMOVE ALL EXISTING MECHANICAL COMPONENTS U.O.N. - SEE MECHANICAL
  - G.C. VERIFY DIMENSION OF WALLS PROPOSED TO BE DEMOLISHED PRIOR TO BEGINNING DEMO.
  - G.C. TO PATCH AND REPAIR FLOOR SUBSTRATE AS REQUIRED.
  - G.C. TO COORDINATE DEMO OF ALL WORK TO MAKE SURE STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS INTEGRITY IS MAINTAINED AND PROTECTED FROM WEATHER ELEMENTS.
  - G.C. TO COORDINATE WITH STRUCTURAL ENGINEER FOR ANY TEMPORARY STRUCTURAL BRACING REQUIRED DURING DEMO.
  - EXISTING CONCRETE SLAB IN MECHANICAL AREA TO REMAIN U.O.N.
  - G.C. TO REMOVE ALL INTERIOR DRYWALL TO EXPOSE WALL CAVITY U.O.N.
  - G.C. TO TAKE SPECIAL CAUTION IN REMOVING ANY EXISTING WOOD TRIM. TRIM TO BE REUSED IN ITS ORIGINAL LOCATION.
  - ALL EXISTING WINDOWS TO REMAIN U.O.N. - G.C. TO REMOVE ALL EXISTING STORM WINDOWS

- KEYED NOTES
- G.C. TO REMOVE EXISTING WALL FRAMING, SUBSTRATE, AND FINISH ON INDICATED EXISTING PARTITIONS. BRACE STRUCTURE AS REQUIRED - SEE STRUCTURAL.
  - EXISTING INTERIOR WALLS TO REMAIN. REMOVE EXISTING INTERIOR FINISHES TO EXPOSE EXISTING FRAMING (TYP.)
  - REMOVE EXISTING DOOR AND ALL RELATED MOUNTING HARDWARE AND PREPARE FOR NEW DOOR.
  - EXISTING BATHTUB TO REMAIN. G.C. TO REFINISH AND REGLAZE TUB AS REQUIRED.
  - EXISTING NON-FUNCTIONING PLUMBING FIXTURES TO BE REMOVED. G.C. TO CAP EXISTING DRAIN LINES AND PREP SURFACES TO RECEIVE NEW FIXTURES - SEE PLUMBING.
  - G.C. TO REMOVE EXISTING WOODEN STAIRS AND RAMP AND PREPARE FOR NEW STAIRS AND RAMP.
  - G.C. TO REMOVE PORTION OF EXISTING FLOOR TO PREPARE FOR ELEVATOR SHAFT - SEE STRUCTURAL.
  - G.C. TO REMOVE EXISTING WOODEN STAIRS.
  - G.C. TO REMOVE PORTION OF EXTERIOR WALL FROM +3'-0" A.F.F. TO +8'-0" A.F.F. TO PREPARE FOR NEW WINDOW - SEE FLOOR PLAN FOR ADDITIONAL INFO
  - G.C. TO REMOVE PORTION OF EXTERIOR WALL UP TO +7'-0" A.F.F. TO PREPARE FOR NEW DOOR - SEE FLOOR PLAN FOR ADDITIONAL INFO
  - EXISTING EXTERIOR DOOR TO REMAIN - G.C. TO REPLACE DOOR HARDWARE AS REQUIRED.
  - EXISTING DOOR TO BE REMOVED - G.C. TO REPLACE WITH HISTORIC DOOR SALVAGED FROM ANOTHER AREA IN HOUSE.
  - EXISTING SOFFIT ABOVE TO REMAIN.
  - EXISTING POCKET DOORS TO REMAIN - G.C. TO ENSURE DOORS ARE NOT DAMAGED DURING CONSTRUCTION.
  - EXISTING CASEWORK TO REMAIN - G.C. TO REPAIR AND REFINISH AS REQUIRED.
  - EXISTING CONCRETE STAIRS TO REMAIN
  - EXISTING WOODEN STEPS TO BE REMOVED - G.C. TO PREPARE FOR NEW DECK AND RAILING
  - G.C. TO REMOVE EXISTING WINDOW AND REPLACE WITH COVERED VENT
  - EXISTING WOOD STEPS TO REMAIN - G.C. TO REPLACE DAMAGED MATERIAL AS REQUIRED WITH IN KIND MATERIALS



1

MAIN LEVEL DEMOLITION FLOOR PLAN

Scale: 1/4"=1'-0"

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# DILWORTH ANIMAL HOSPITAL RENOVATION

DEMOLITION FLOOR PLANS - RJa Project #1893 - 10.21.2019



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architects

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E info@rjarchitects.com



DEMO LEGEND

---

TO BE REMOVED

GENERAL NOTES

1. DAMAGED EXTERIOR WOODEN SIDING AND TRIM TO BE REPLACED AS REQUIRED - G.C. TO PREPARE FOR NEW PAINT

2. G.C. TO VERIFY EXTERIOR FACADE MATERIALS MEET THE REQUIREMENTS OF CHARLOTTE HISTORIC DISTRICT GUIDELINES

3. EXISTING DAMAGED ASPHALT ROOF SHINGLES TO BE REMOVED AND REPLACED WITH ASPHALT SHINGLES TO MATCH EXISTING.

4. G.C. TO COORDINATE WITH STRUCTURAL FOR ANY TEMPORARY STRUCTURAL BRACING REQUIRED DURING DEMO.

5. EXISTING WINDOWS AND DOORS TO REMAIN U.O.N. - G.C. TO REMOVE ALL EXISTING STORM WINDOWS.

6. G.C. TO REPAIR EXISTING BRICK AS REQUIRED

7. U.O.N. EXTERIOR FACADE MATERIALS ARE EXISTING TO REMAIN - G.C. TO PATCH AND REPAIR AS REQUIRED

KEYED NOTES

1 G.C. TO INSTALL CLOSED BLIND ON INTERIOR OF WINDOW PRIOR TO INSTALLING INTERIOR DRYWALL

2 EXISTING WOODEN STEPS/DECK/RAILING TO BE REMOVED

3 EXISTING DOOR TO BE REPLACED WITH DOOR OF SIMILAR HISTORICAL DESIGN AESTHETIC

4 EXISTING WOODEN SHAKE SIDING TO BE REPLACED AS REQUIRED WITH IN KIND WOODEN SHAKE SIDING - G.C. TO PREPARE SIDING FOR PAINT

5 EXISTING WOODEN PLANK SIDING TO BE REPLACED AS REQUIRED WITH IN KIND WOODEN PLANK SIDING - G.C. TO PREPARE SIDING FOR PAINT

6 EXISTING WOODEN TRIM TO BE REPLACED AS REQUIRED WITH IN KIND WOODEN TRIM - G.C. TO PREPARE TRIM FOR PAINT

7 PORTION OF EXTERIOR WALL TO BE REMOVED FROM +3'-0" A.F.F. TO +8'-0" A.F.F. - COORDINATE WITH D1.0 AND STRUCTURAL

8 PORTION OF EXTERIOR WALL AND DOOR TO BE REMOVED TO PREPARE FOR NEW DOOR - COORDINATE WITH DEMOLITION FLOOR PLAN AND STRUCTURAL

9 G.C. TO REPLACE EXISTING PLYWOOD WINDOW COVER AND PREPARE TO PLACE PLYWOOD WINDOW COVER FROM THE INTERIOR OF THE BUILDING

10 EXISTING WALKWAY ROOF TO REMAIN

11 EXISTING WOOD STEPS TO REMAIN - G.C. TO REPLACE DAMAGED MATERIAL AS REQUIRED WITH IN KIND MATERIALS

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T.O. EXISTING RIDGE

+29'-1" A.F.F.

T.O. WALKWAY ROOF

V.I.F. - HEIGHT TO MATCH ADJACENT ROOF

SECOND LEVEL FINISH FLOOR

+10'-11 1/2" A.F.F.

B.O. WALKWAY ROOF

V.I.F. - HEIGHT TO MATCH ADJACENT ROOF

MAIN LEVEL FINISH FLOOR

+0'-0"



1

NORTH DEMOLITION ELEVATION

Scale: 1/4"=1'-0"

T.O. EXISTING RIDGE

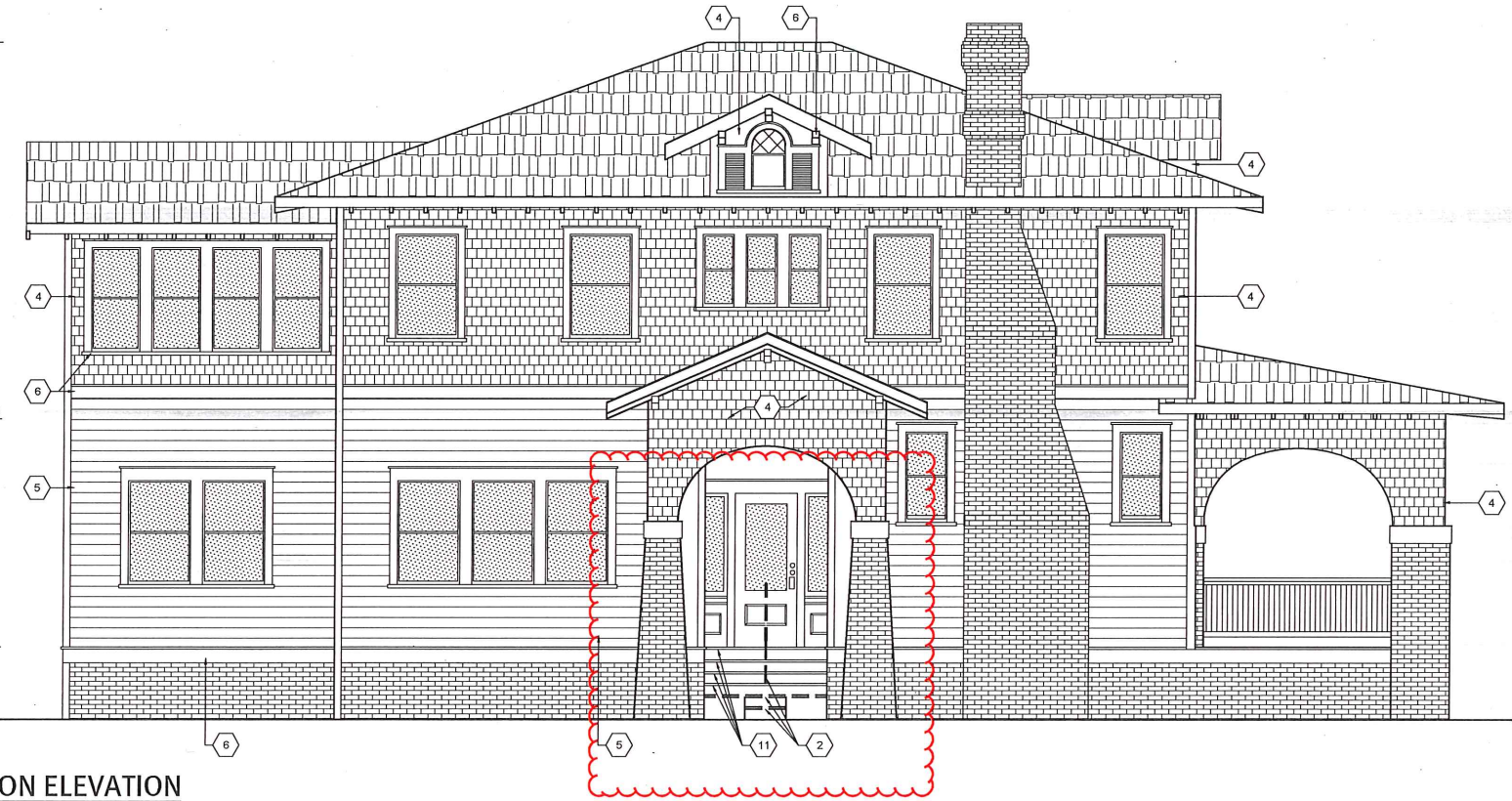
+29'-1" A.F.F.

SECOND LEVEL FINISH FLOOR

+10'-11 1/2" A.F.F.

MAIN LEVEL FINISH FLOOR

+0'-0"



2

EAST DEMOLITION ELEVATION

Scale: 1/4"=1'-0"



# DILWORTH ANIMAL HOSPITAL RENOVATION

EXISTING EXTERIOR ELEVATIONS - RJa Project #1893 - 10.21.2019



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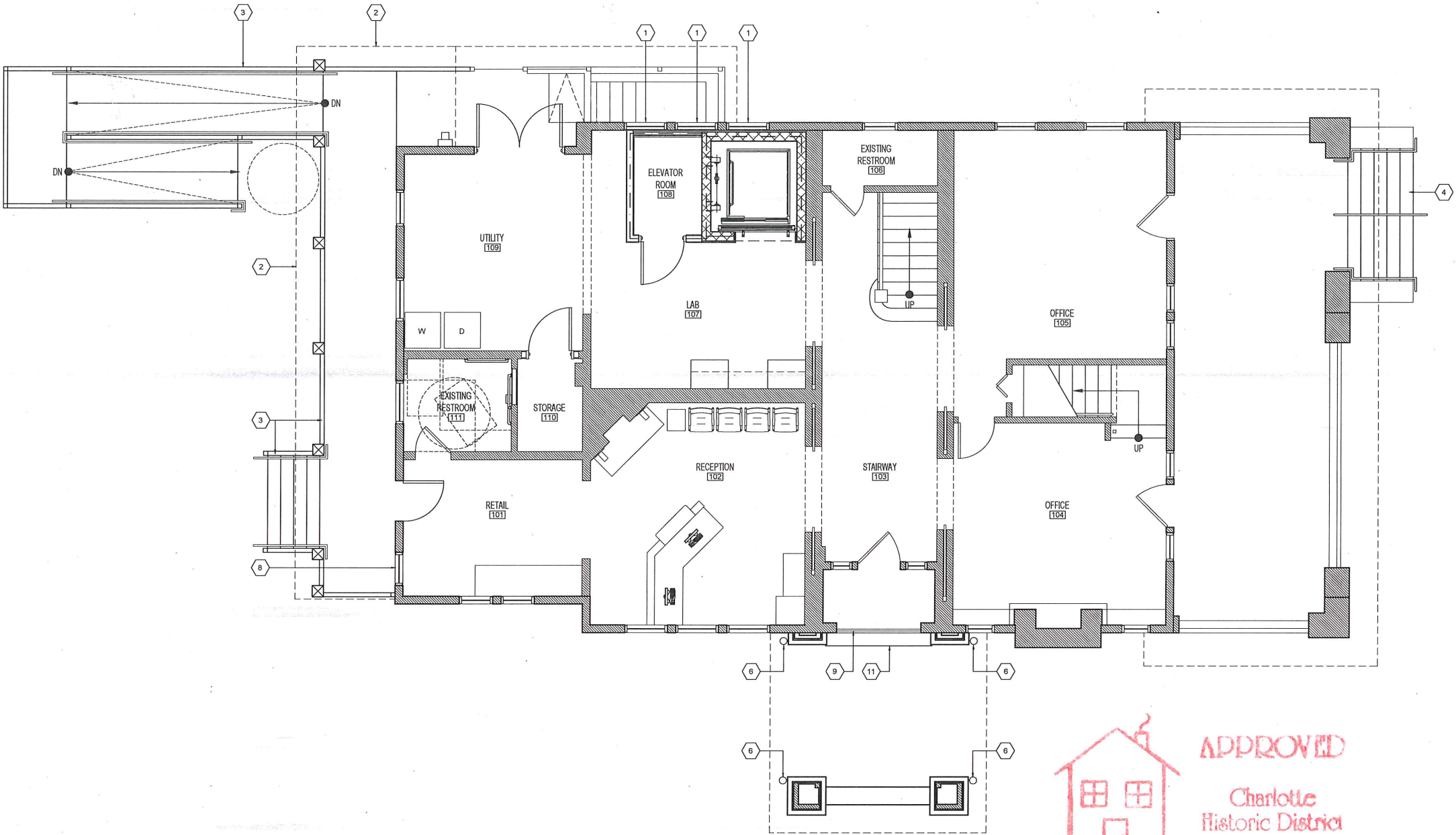
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WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW WOOD STUD INTERIOR WALL
	NEW CMU ELEVATOR SHAFT WALL
	EXTERIOR MASONRY INFILL WALL

- GENERAL NOTES
1. PROPER EQUIPMENT BLOCKING IN WALLS WILL BE DIRECTED BY THE EQUIPMENT SUPPLIER AND MILLWORK MANUFACTURER, THEN COORDINATED AND INSTALLED BY THE G.C.
  2. ALL EQUIPMENT, FURNITURE, MILLWORK, AND PLUMBING FIXTURES TO BE PROVIDED BY OWNER U.O.N.
  3. ALL EXTERIOR DOORS AND WINDOWS ARE EXISTING TO REMAIN U.O.N.

- KEYED NOTES
- 1 G.C. TO INSTALL CLOSED BLIND ON INTERIOR OF WINDOW PRIOR TO INSTALLING INTERIOR DRYWALL
  - 2 NEW PORCH ROOF TO BE A CONTINUATION OF EXISTING ADJACENT ROOF
  - 3 NEW WOODEN RAMP, STAIRS, AND WALKWAY - SEE EXTERIOR ELEVATIONS AND STRUCTURAL FOR MORE INFO
  - 4 G.C. TO REPLACE EXISTING WOODEN STEPS IN KIND REGARDING MATERIAL AND AESTHETICS
  - 5 G.C. TO REPLACE EXISTING DAMAGED DOOR WITH IN KIND DOOR OF SIMILAR HISTORICAL AESTHETIC
  - 6 CONCRETE FILLED STEEL BOLLARD - SEE CIVIL AND STRUCTURAL FOR MORE INFO
  - 7 G.C. TO INFILL EXISTING MASONRY OPENING - G.C. TO ENSURE BRICK MATCHES EXISTING FOUNDATION BRICK
  - 8 NEW WOOD FRAMED WINDOW TO HAVE SIMILAR HISTORICAL DESIGN AESTHETIC AS EXISTING WINDOWS - TO BE PAINTED BENJAMIN MOORE CW-180 BUCKTROUT BROWN
  - 9 NEW WROUGHT IRON RAILING - STYLE TO MATCH REQUIREMENTS OF HISTORIC DISTRICT COMMISSION
  - 10 G.C. TO REPLACE EXISTING WOODEN DECKING IN KIND REGARDING MATERIAL AND AESTHETICS
  - 11 EXISTING WOOD STEPS TO REMAIN - G.C. TO REPLACE DAMAGED MATERIAL AS REQUIRED WITH IN KIND MATERIALS



1

MAIN LEVEL FLOOR PLAN

Scale: 1/4"=1'-0"




APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

# HDCCMI-2019-00527



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DILWORTH ANIMAL HOSPITAL RENOVATION

FLOOR PLAN - RJa Project #1893 - 10.21.2019



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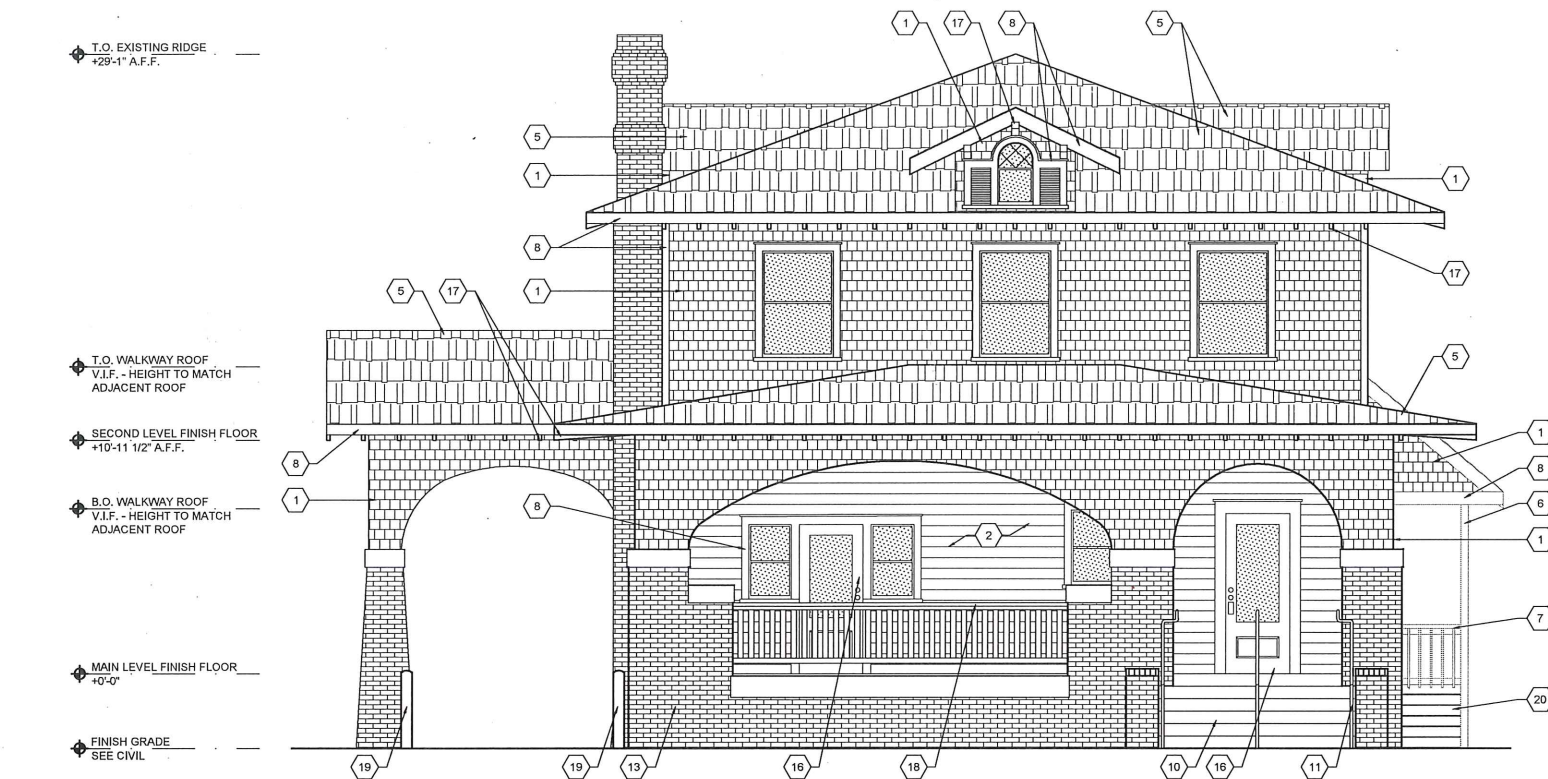
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E info@rjarchitects.com



- GENERAL NOTES**
1. G.C. TO VERIFY EXTERIOR FACADE MATERIALS MEET THE REQUIREMENTS OF CHARLOTTE HISTORIC DISTRICT GUIDELINES
  2. ALL EXTERIOR DOORS AND WINDOWS ARE EXISTING TO REMAIN U.O.N. - G.C. TO REMOVE ALL EXISTING STORM WINDOWS

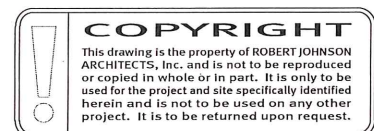
- KEYED NOTES**
- 1 CEDARTOWN OR APPROVED EQUAL CEDAR SHINGLE SIDING TO MATCH PROFILE OF ORIGINAL SHINGLE SIDING - TO BE PAINTED BENJAMIN MOORE CW-185 RANDOLPH BISQUE
  - 2 CEDARTOWN OR APPROVED EQUAL CEDAR LAP SIDING TO MATCH PROFILE OF ORIGINAL LAP SIDING - TO BE PAINTED BENJAMIN MOORE CW-185 RANDOLPH BISQUE
  - 3 NEW EXTERIOR WOODEN DOOR TO HAVE SIMILAR HISTORICAL DESIGN AESTHETIC AS EXISTING DOORS - TO BE PAINTED BENJAMIN MOORE CW-180 BUCKTROUT BROWN
  - 4 NEW WOOD FRAMED WINDOW TO HAVE SIMILAR HISTORICAL DESIGN AESTHETIC AS EXISTING WINDOWS - TO BE PAINTED BENJAMIN MOORE CW-180 BUCKTROUT BROWN
  - 5 NEW ASPHALT ROOF SHINGLES TO MATCH STYLE AND COLOR OF EXISTING ROOF SHINGLES
  - 6 P.T. WOODEN SUPPORT POSTS TO BE PAINTED WHITE - SEE STRUCTURAL
  - 7 P.T. WOOD RAILING TO MATCH PROFILE OF EXISTING FRONT PORCH WOOD RAILING - TO BE PAINTED WHITE
  - 8 WOODEN TRIM BOARD TO BE PAINTED WHITE - PROFILE OF TRIM BOARD TO MATCH ORIGINAL TRIM
  - 9 G.C. TO INSTALL CLOSED BLINDS ON INTERIOR OF WINDOW PRIOR TO INSTALLING INTERIOR DRYWALL
  - 10 G.C. TO REPLACE EXISTING WOODEN STEPS IN KIND REGARDING MATERIAL AND AESTHETICS
  - 11 NEW ALUMINUM HAND RAIL TO BE PAINTED BENJAMIN MOORE CW-180 BUCKTROUT BROWN
  - 12 EXTERIOR LIGHT FIXTURE TO BE SELECTED BY OWNER - SEE ELECTRICAL FOR MORE INFO
  - 13 EXISTING BRICK FOUNDATION TO REMAIN AS IS - G.C. TO CLEAN AND REPAIR AS REQUIRED
  - 14 TREX OR APPROVED EQUAL COMPOSITE WOOD DECKING - COLOR TO BE TREEHOUSE
  - 15 NEW WROUGHT IRON RAILING - STYLE TO MATCH REQUIREMENTS OF HISTORIC DISTRICT COMMISSION
  - 16 EXISTING DOORS AND WINDOWS TO BE PAINTED BENJAMIN MOORE CW-180 BUCKTROUT BROWN
  - 17 ROOF RAFTERS AND SOFFIT BRACKETS TO BE PAINTED BENJAMIN MOORE CW-180 BUCKTROUT BROWN
  - 18 EXISTING WOODEN RAILING TO BE PAINTED WHITE
  - 19 CONCRETE FILLED STEEL BOLLARD TO BE PAINTED BENJAMIN MOORE CW-180 BUCKTROUT BROWN - SEE CIVIL
  - 20 P.T. WOODEN DECK BOARD SKIRT - TO BE PAINTED CW-180 BUCKTROUT BROWN
  - 21 EXISTING GAS METER TO REMAIN - SEE PLUMBING
  - 22 EXISTING ELECTRICAL METER AND PANEL TO REMAIN - SEE ELECTRICAL
  - 23 EXISTING WOOD STEPS TO REMAIN - G.C. TO REPLACE DAMAGED MATERIAL AS REQUIRED WITH IN KIND MATERIALS



**1 NORTH EXTERIOR ELEVATION**  
Scale: 1/4"=1'-0"



**2 EAST EXTERIOR ELEVATION**  
Scale: 1/4"=1'-0"



# DILWORTH ANIMAL HOSPITAL RENOVATION

EXTERIOR ELEVATIONS - RJa Project #1893 - 10.21.2019



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- GENERAL NOTES**
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  2. ALL EXTERIOR DOORS AND WINDOWS ARE EXISTING TO REMAIN U.O.N. - G.C. TO REMOVE ALL EXISTING STORM WINDOWS

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  - 3 NEW EXTERIOR WOODEN DOOR TO HAVE SIMILAR HISTORICAL DESIGN AESTHETIC AS EXISTING DOORS - TO BE PAINTED BENJAMIN MOORE CW-180 BUCKTROUT BROWN
  - 4 NEW WOOD FRAMED WINDOW TO HAVE SIMILAR HISTORICAL DESIGN AESTHETIC AS EXISTING WINDOWS - TO BE PAINTED BENJAMIN MOORE CW-180 BUCKTROUT BROWN
  - 5 NEW ASPHALT ROOF SHINGLES TO MATCH STYLE AND COLOR OF EXISTING ROOF SHINGLES
  - 6 P.T. WOODEN SUPPORT POSTS TO BE PAINTED WHITE - SEE STRUCTURAL
  - 7 P.T. WOOD RAILING TO MATCH PROFILE OF EXISTING FRONT PORCH WOOD RAILING - TO BE PAINTED WHITE
  - 8 WOODEN TRIM BOARD TO BE PAINTED WHITE - PROFILE OF TRIM BOARD TO MATCH ORIGINAL TRIM
  - 9 G.C. TO INSTALL CLOSED BLINDS ON INTERIOR OF WINDOW PRIOR TO INSTALLING INTERIOR DRYWALL
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  - 12 EXTERIOR LIGHT FIXTURE TO BE SELECTED BY OWNER - SEE ELECTRICAL FOR MORE INFO
  - 13 EXISTING BRICK FOUNDATION TO REMAIN AS IS - G.C. TO CLEAN AND REPAIR AS REQUIRED
  - 14 TREX OR APPROVED EQUAL COMPOSITE WOOD DECKING - COLOR TO BE TREEHOUSE
  - 15 NEW WROUGHT IRON RAILING - STYLE TO MATCH REQUIREMENTS OF HISTORIC DISTRICT COMMISSION
  - 16 EXISTING DOORS AND WINDOWS TO BE PAINTED BENJAMIN MOORE CW-180 BUCKTROUT BROWN
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**1 SOUTH EXTERIOR ELEVATION**  
 Scale: 1/4"=1'-0"



**2 WEST EXTERIOR ELEVATION**  
 Scale: 1/4"=1'-0"

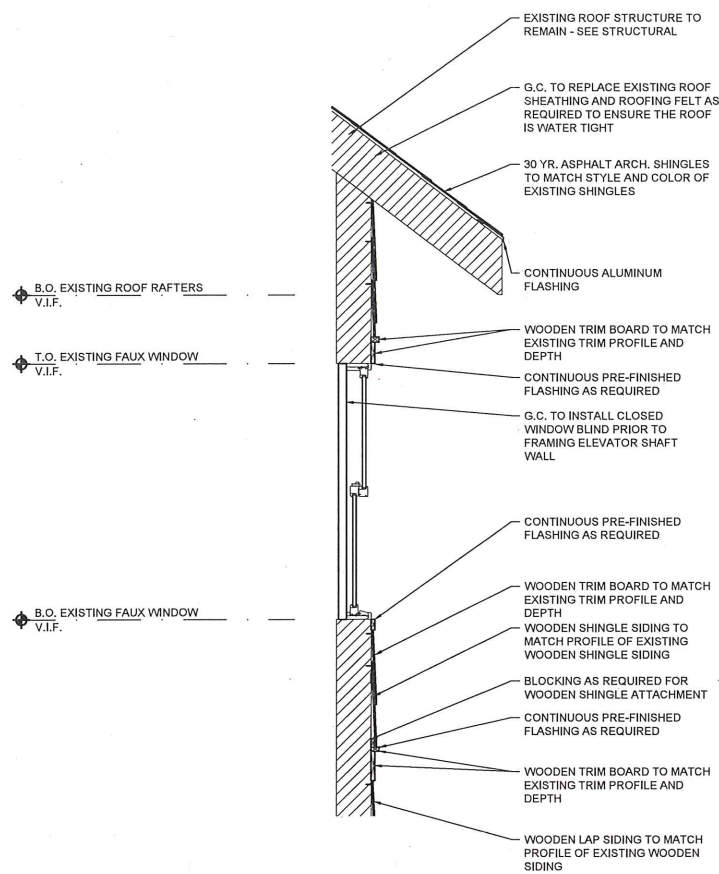
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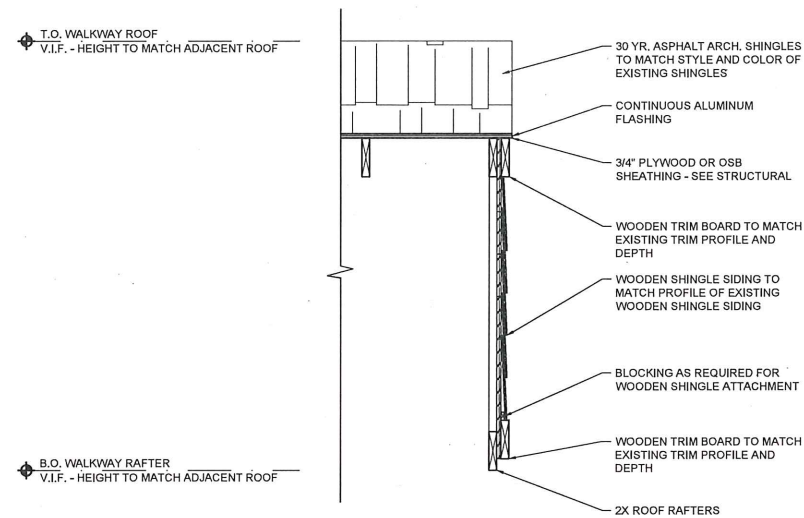
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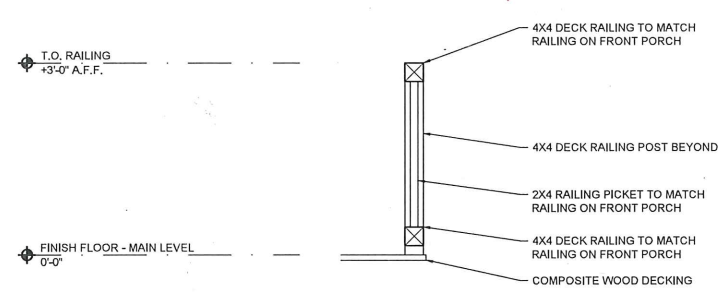




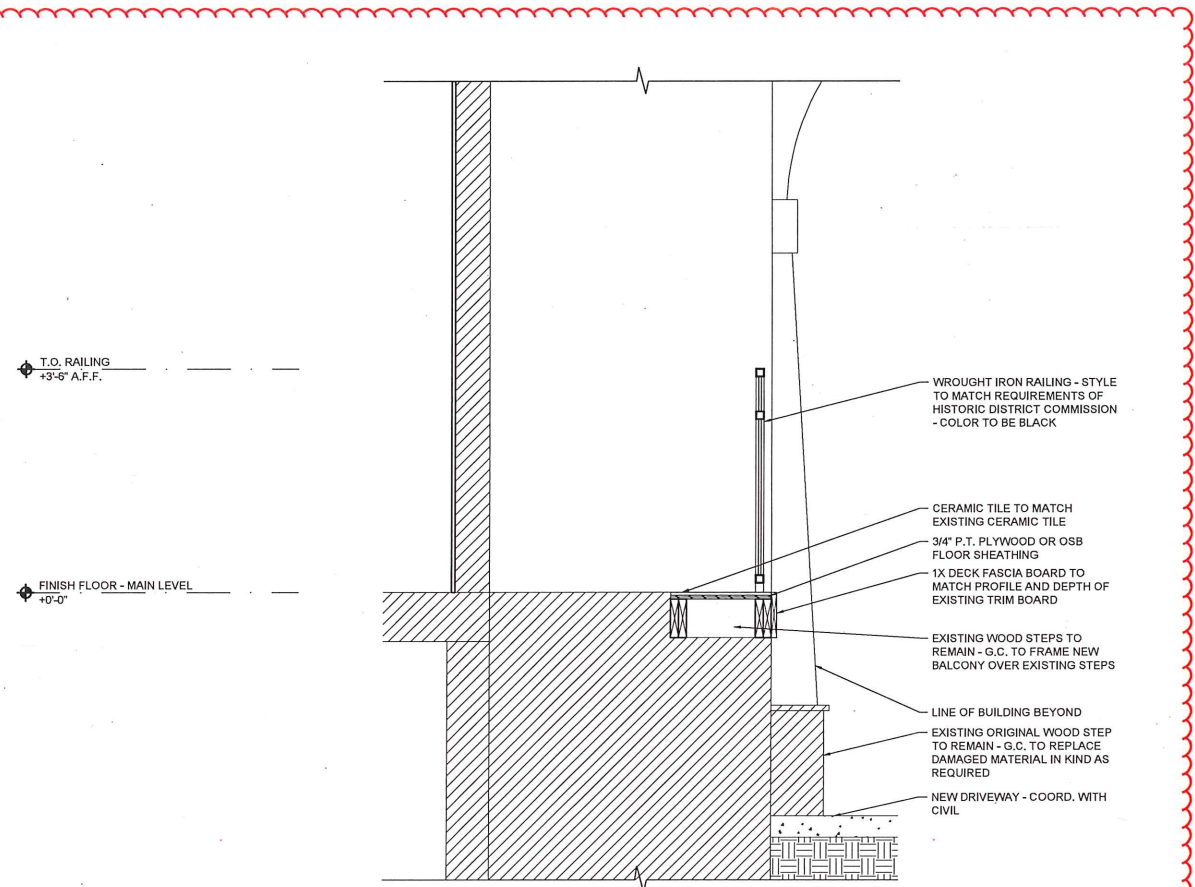
1 EXISTING FAUX WINDOW DETAIL  
Scale: 3/4"=1'-0"



2 PORCH END PANEL DETAIL  
Scale: 3/4"=1'-0"



3 PORCH RAILING DETAIL  
Scale: 3/4"=1'-0"



4 SIDE BALCONY INFILL DETAIL  
Scale: 3/4"=1'-0"

APPROVED

Charlotte Historic District Commission

Certificate of Appropriateness

#HDCENT-2019-10527

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# DILWORTH ANIMAL HOSPITAL RENOVATION

SECTION DETAILS - RJa Project #1893 - 10.21.2019



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