



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMA-2019-00486

DATE: September 23, 2019

ADDRESS OF PROPERTY: 420 South Summit Avenue

TAX PARCEL NUMBER: 07102409

HISTORIC DISTRICT: Wesley Heights

APPLICANT: Milton Brown


DETAILS OF APPROVED PROJECT: The project is the construction of a new single family house. The proposed front setback is 30 feet from the building as noted in the deed. Total height from finished floor is approximately 27'-10". Materials include wood lap siding and trim and brick foundation. Windows wood Simulated True Divided Light (STDL) with trim noted on sheet A9. Other features include wood hand rails and columns. See attached plans.

The project was approved by the HDC September 11, 2019.

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

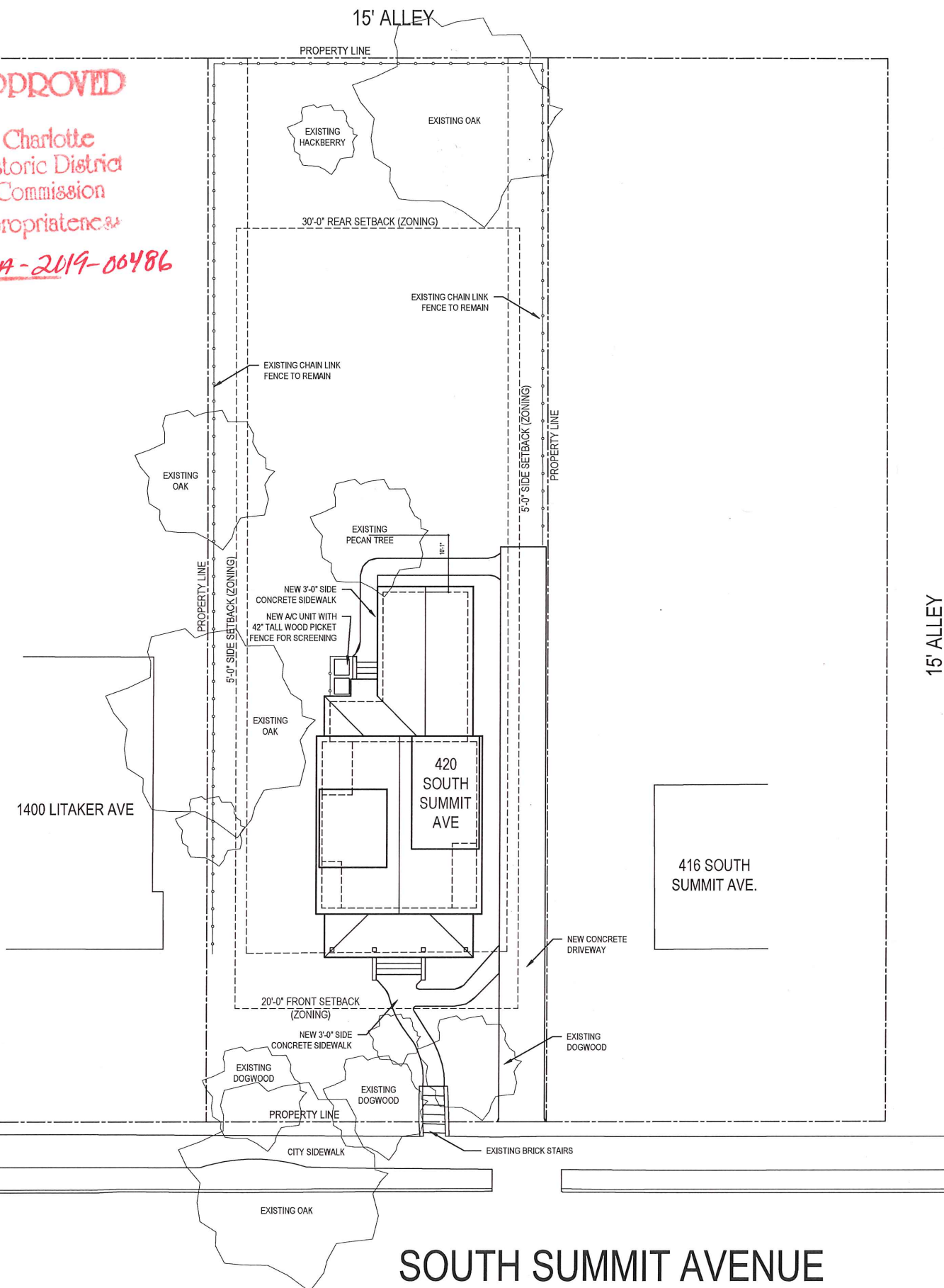
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Hagen, Chairman


Staff



#HDCRMA-2019-00486



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2017-355 DATE: July 21, 2017
ADDRESS OF PROPERTY: 420 South Summit Avenue TAX PARCEL NUMBER: 07102409

HISTORIC DISTRICT: Wesley Heights

APPLICANT: Alicia Ross

DETAILS OF APPROVED PROJECT: The project is the construction of a new single family house. The proposed front setback is 30 feet from the building as noted in the deed. Total height from finished floor is approximately 27'-10". Materials include wood lap siding and trim and brick foundation. Windows wood Simulated True Divided Light (STD) with trim noted on sheet A9. Other features include wood hand rails and columns.

The project was approved by the HDC July 12, 2017.

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Chairman: *[Signature]* Staff: *[Signature]*

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT www.charlotteplanning.org
600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123

A SITE PLAN
SCALE: 3/32" = 1'-0"



RESIDENTIAL STRUCTURES
3410 N. DAVIDSON STREET
CHARLOTTE, NC 28205
SEAL FOR STRUCTURAL ONLY

PRIVATE RESIDENCE

420 SOUTH SUMMIT AVENUE
CHARLOTTE, NC 28208

DATE: 8.5.19

REV #:

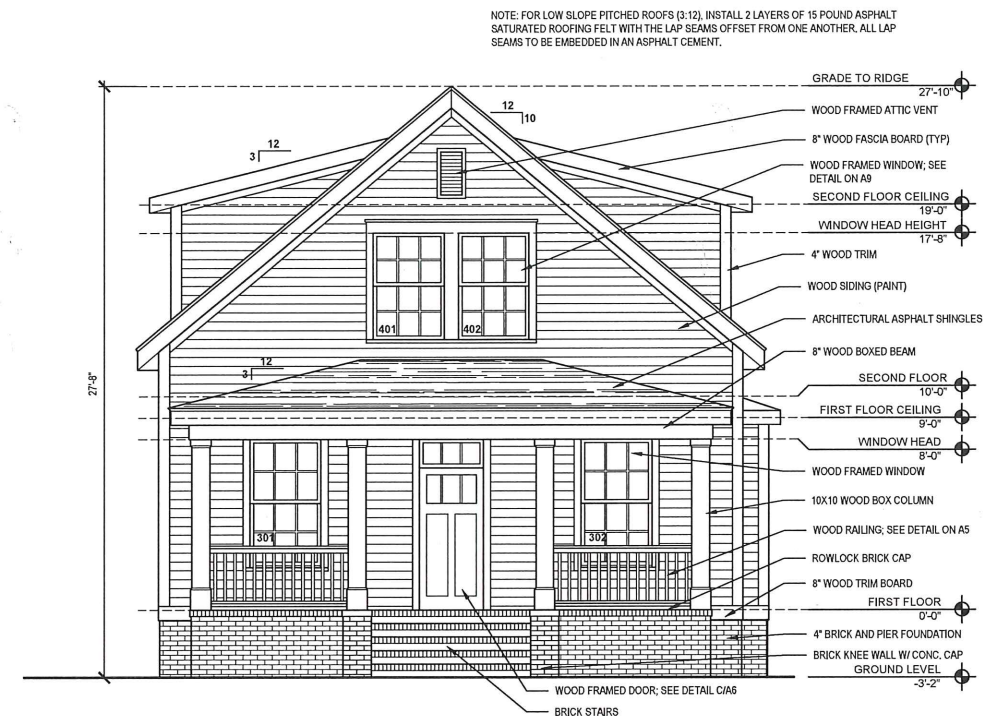
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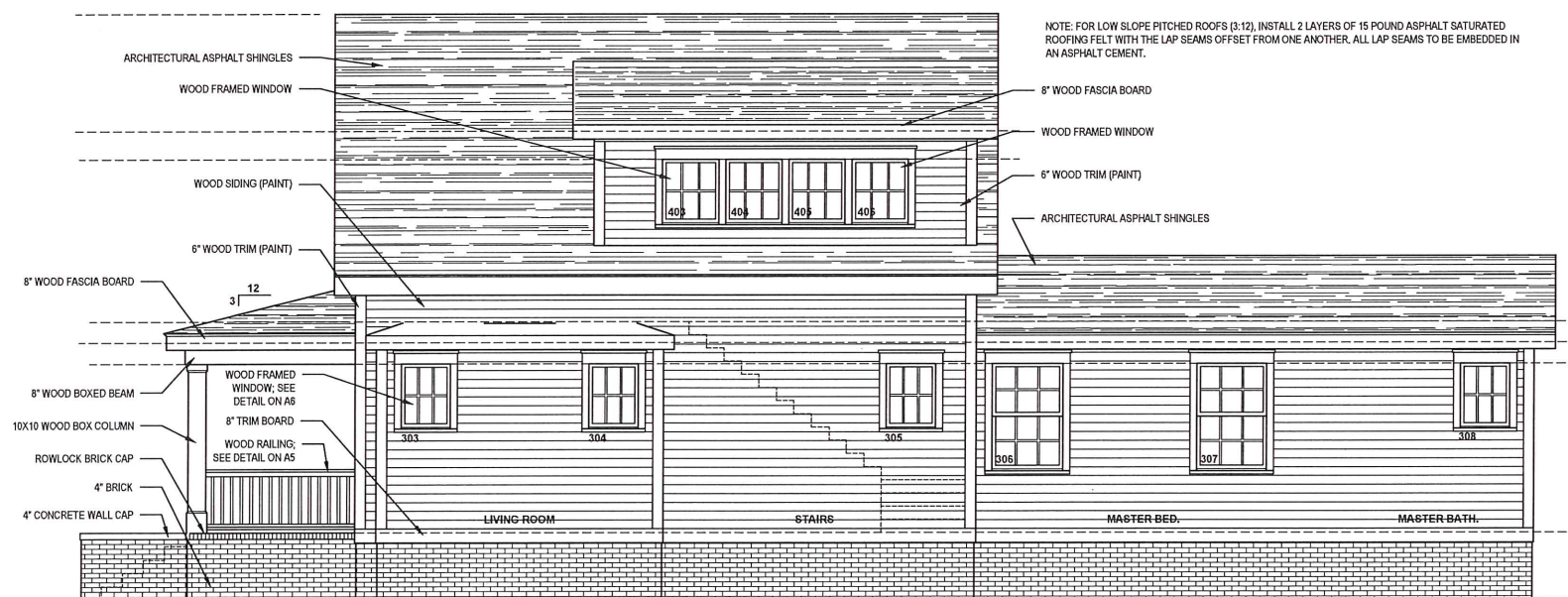
SITE PLAN



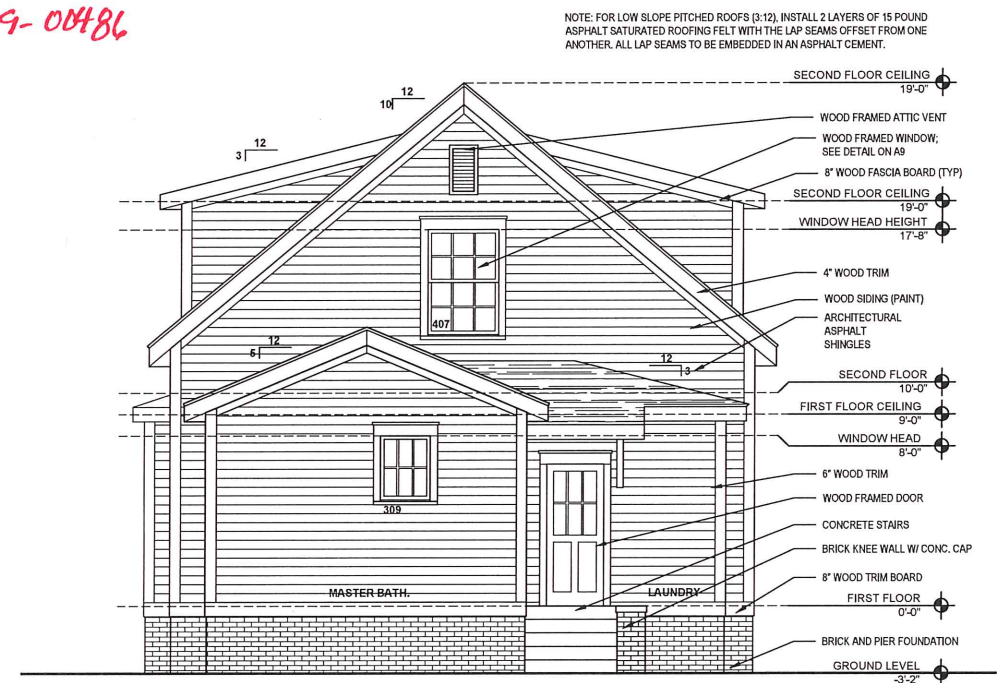
B LEFT ELEVATION
SCALE: 1/4" = 1'-0"



A FRONT ELEVATION
SCALE: 1/4" = 1'-0"



D RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



C REAR ELEVATION
SCALE: 1/4" = 1'-0"



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

HDCRMA-2019-00486

1. ALL RAFTERS TO BE 2"x6" @ 16" U.N.O., SPF #2
2. ALL HIPs, VALLEYS, RIDGES TO BE 2"x10" SPF #2 U.N.O.
3. PROVIDE 2"x6" COLLAR BRACING @48" O.C.
4. ALL ROOF BRACING 2-2"x4" T-POSTS NAILED 9" O.C. INLENGTH.
5. ANY BRACE LONGER / TALLER THAN 10'-0" TO BE BRACED LATERAL W/ ADDITIONAL MEMBER NEAR MID HEIGHT.

 = ROOF BRACE POINT AND BRACE TO LOCATION

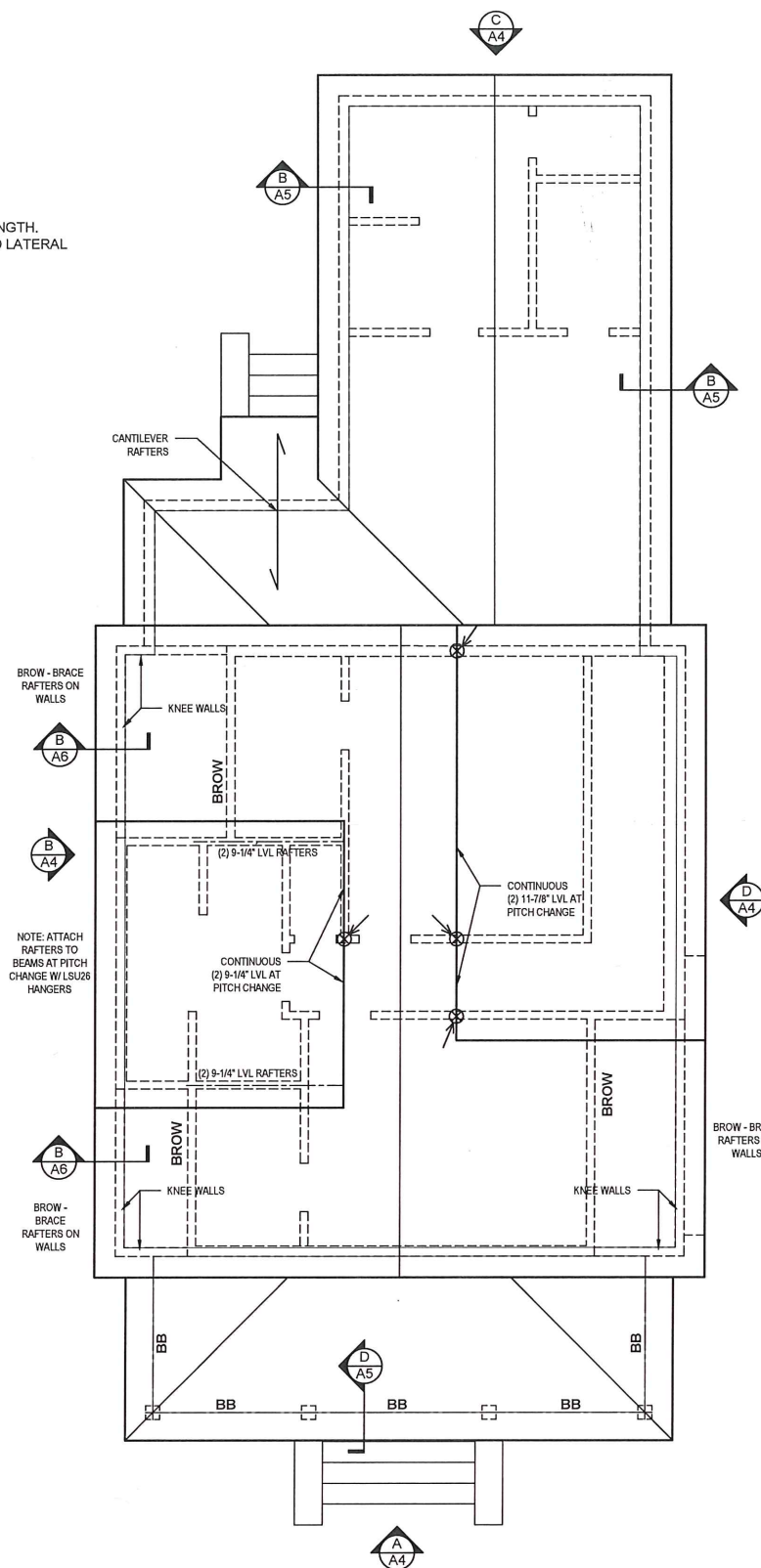
$$1,360 \text{ SQ FT} / 300 = 4.5 \text{ SQ FT OR } 653 \text{ SQ IN REQUIRED}$$

RIDGE VENTS: MIN. 24'-0"+ LINEAR FEET OF RIDGE VENT @ 10 SQ IN OF FREE AREA PER LINEAR FT = 1.7 SQ FT OR 240 SQ IN. RIDGE VENT BASED ON 2 1/2" WIDTH AND MIN. 10 SQ IN OF FREE AREA PER LINEAR FT
RIDGE VENT TOTAL 1.7 SQ FT OR 240 INCHES

VENTILATION REQUIRED = 4.5 SQ FT

VENTILATION REQUIRED = 9.6 SQ FT

TYPICAL HANGERS	
MEMBER	HANGER
2X8	LUS28
2X10	LUS210
2X12	LUS212
(2)2X8	HUS28-2
(2)2X10	HUS210-2
(2)2X12	HUS212-2
(3)2X8	LUS28-3
(3)2X10	LUS210-3
(3)2X12	HU212-3
(2)9-1/4"(2)11-7/8" LVL	HGUS410
2-14"(2)18" LVL	HGUS414
(3)9-1/4"(3)11-7/8" LVL	HGUS5, 50/10
3-14"(3)18" LVL	HGUS5, 50/14
(4)9-1/4"(4)11-7/8" LVL	HGUST, 25/10
(4)14"(4)18" LVL	HGUST, 25/14



A ROOF PLAN
SCALE: 1/4" = 1'-0"

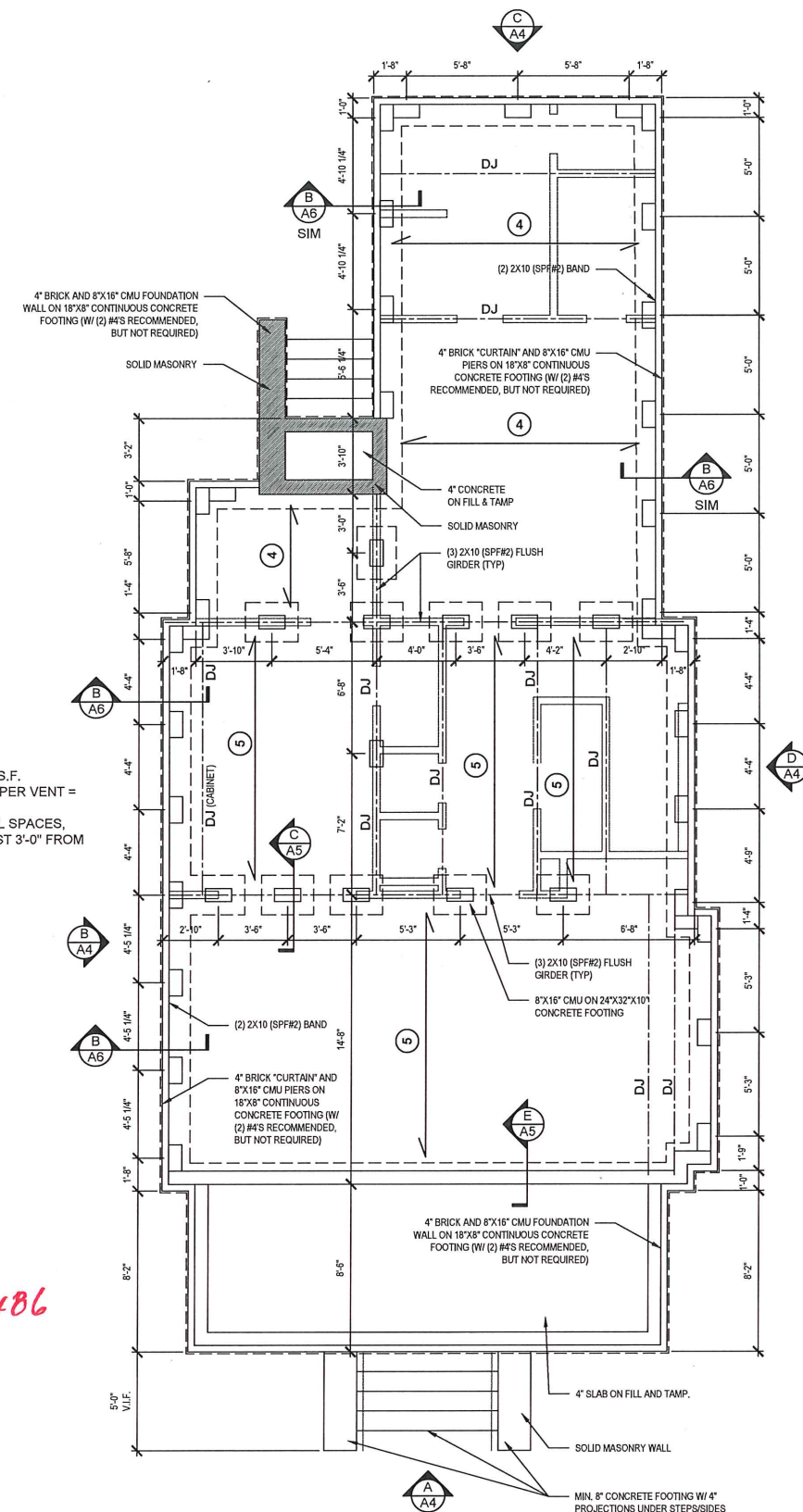
4 2X10 FLOOR JOISTS (SPF#2) @ 16" O.C.
5 2X10 FLOOR JOISTS (SPF#2) @ 12" O.C.

1. PIER SIZES ARE BASED ON HOLLOW CMU CAPPED WITH 8" OF SOLID MASONRY. MORTAR SHALL BE TYPE S.
2. FOOTING SIZES ARE BASED ON 2000 PSF ALLOWABLE SOIL BEARING AND 3000 PSI CONCRETE.
3. CENTERS OF PIERS SHALL BEAR IN THE MIDDLE 1/3 OF THE FOOTINGS, AND GIRDERS SHALL CENTER IN THE MIDDLE 1/3 OF THE PIERS, EXCEPT EXTERIOR GIRDERS. FOOTINGS SHALL BE FULL THICKNESS OVER THE ENTIRE AREA OF THE FOOTING.
4. ALL EXTERIOR PIERS TO BE BONDED TO CURTAIN WALL EVERY OTHER COURSE.
5. TRANSFER ALL POINT LOADS FROM ABOVE THROUGH THE FIRST FLOOR LEVEL W/ AN EQUAL AMOUNT OF STUD MATERIAL U.N.O.

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS
2. DO NOT SCALE DIMENSIONS FROM PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
3. ALL JOIST AND BEAM SPANS DETERMINED FOR THE USE OF #2 SPRUCE PINE FIR. ANY OTHER SPECIES MUST BE VERIFIED.
4. DOUBLE JOIST IN FIRST FLOOR UNDER ALL PARALLEL PARTITIONS.
5. PROVIDE SWITCHED LIGHT AND GFCI RECEPTACLE IN CRAWL SPACE.
6. PROVIDE CONTROL JOINTS IN SLAB EVERY 30' ON CENTER OR AT FOUNDATION OFFSETS
7. FIRST FLOOR JOIST SPANS DETERMINED BY DESIGN LOADS OF 40 PSF. LIVE + 10 PSF DEAD LOAD.
8. ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS ARE TO BE ANCHORED W/ 1/2" DIAMETER BOLTS PLACED 6" O.C. AND NOT MORE THAN 12" FROM CORNERS. BOLTS SHALL EXTEND A MINIMUM OF 15" INTO MASONRY OR 7" INTO CONCRETE. EQUIVALENT ANCHOR STRAPS ARE AN ACCEPTABLE SUBSTITUTE PER MANUFACTURER.
9. SEE SHEET 02 FOR FINISH NOTES.
10. ALL WOOD DECK CONSTRUCTION TO FOLLOW APPENDIX "M" OF THE 2018 NRCR.

CRAWL SPACE AREA = 1,190 SF
 CALCULATIONS: TOTAL AREA OF 8"X16" VENT = 128 S.I. = .89 S.F.
 ASSUMED NET FREE AREA = .64 S.F. PER VENT
 TOTAL S.F. OF VENTILATION NEEDED = 1,190 / .150 = 7.9 S.F.
 TOTAL 8"X16" FOUNDATION VENTS NEEDED AT .64 S.F. PER VENT =
 (7.9 SF/.64 SF = 12.4) = **13 FOUNDATION VENTS**
 EXCEPTION: FULL POLY VAPOR BARRIER IS REQUIRED IN ALL CRAWL SPACES,
 AUTOMATIC REDUCTION 1/1500 S.F. WITH VENT AT LEAST 3'-0" FROM
 CORNER.



FOUNDATION & FIRST FLOOR
FRAMING PLAN
SCALE: 1/4" = 1'-0"



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DATE: 8.5.19

REV #:

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FOUNDATION & ROOF PLAN

WALL BRACING NOTES:

1. THE WALL BRACING FOR THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE INTENT OF THE 2018 NCRC
2. THE WALL BRACING SHALL CONSIST OF FULLY SHEATHED EXTERIOR WALLS (CS-WSP). THE CS-WSP SHALL UTILIZE 7/16" ORIENTED STRAND BOARD (OSB) AND SHALL BE ATTACHED WITH 8d NAILS AT 6" O.C. AT THE PANEL EDGES AND AT 12" IN THE PANEL FIELD.

WALL BEARING SYMBOL =

GENERAL NOTES:

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2. DO NOT SCALE DIMENSIONS FROM PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FUTURE CLARIFICATION.
3. BUILDER MAY SUBSTITUTE MATERIALS OR PRODUCTS SPECIFIED FOR THOSE OF EQUAL QUALITY AND MAKE MINOR PLAN CHANGES THAT DO NOT DECREASE VALUE OR STRUCTURAL SOUNDNESS OR MATERIALLY ALTER APPEARANCE. LOCATION OF HOUSE AND IMPROVMENTS ON LOT MAY BE ALTERED DUE TO TOPOGRAPHICAL AND OTHER CONSIDERATIONS.
4. ALL JOIST AND BEAM SPANS DETERMINED FOR THE USE OF THE #2 SOUTHERN YELLOW PINE. ANY OTHER SPECIES MUST BE VERIFIED.
5. DOUBLE JOIST IN SECOND FLOOR UNDER ALL PARALLEL PARTITIONS.
6. FLOOR TO CEILING HEIGHT OF FIRST FLOOR = FLOOR TO WINDOW HEAD HEIGHT OF FIRST FLOOR = FLOOR TO WINDOW HEAD HEIGHT OF SECOND FLOOR = FLOOR TO WINDOW HEAD HEIGHT OF SECOND FLOOR =
7. CEILING JOIST SPANS DETERMINED BY DESIGN LOADS OF 20 PSF. LIVE LOAD, 10 PSF DEAD LOAD.
8. RAFTER SPANS DETERMINED BY DESIGN LOADS OF 20 PSF LIVE LOAD, 15 PSF DEAD LOAD.
9. BRIDGING FOR FLOOR JOISTS SHOULD BE INSTALLED PERPENDICULAR TO JOISTS AT INTERVALS OF 10 FT. OR LESS.
10. DIAGONAL BRIDGING OR SOLID BLOCKING IS ACCEPTABLE.
11. ENGINEERED FLOOR SYSTEMS SHOULD BE BRACED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS NO CONCENTRATED POINT LOADS CAN BE APPLIED TO THESE SYSTEMS UNLESS SPECIFICALLY NOTED.

1ST FLOOR CEILING AND WALL NOTES:

- 1 = 2X8 CEILING JOISTS (SPF#2) @ 16" O.C.
- 2 = 11-7/8" PRI-40 @ 16" O.C.

- A. # = # OF 2X4 JACK STUDS
- B. ALL INTERIOR AND EXTERIOR LOAD BEARING HEADERS TO BE (2) 2X10 U.N.O. W/ (1) JACK AND (1) KING STUD AT EACH END U.N.O.
- C. #J#K@E.E. = # OF JACK STUDS AND # OF KING STUDS AT EACH END OF HEADER
- D. INSTALL AN EXTRA JOIST UNDER ALL PARTITION WALLS GREATER THAN 5'-0" IN LENGTH.
- E. TRANSFER ALL POINT LOADS FROM ABOVE THROUGH CEILING AND FLOOR FRAMING W/ AN EQUAL AMOUNT OF STUD MATERIAL.

2ND FLOOR CEILING NOTES:

- 1 = 2X8 CEILING JOISTS (SPF#2) @ 16" O.C.
- A. # = # OF 2X4 JACK STUDS
- B. ALL INTERIOR AND EXTERIOR LOAD BEARING HEADERS TO BE (2) 2X8 U.N.O. (IN 2X4 WALLS) W/ (1) JACK AND (1) KING STUD AT EACH END U.N.O.
- C. #J#K@E.E. = # OF JACK STUDS AND # OF KING STUDS AT EACH END OF HEADER

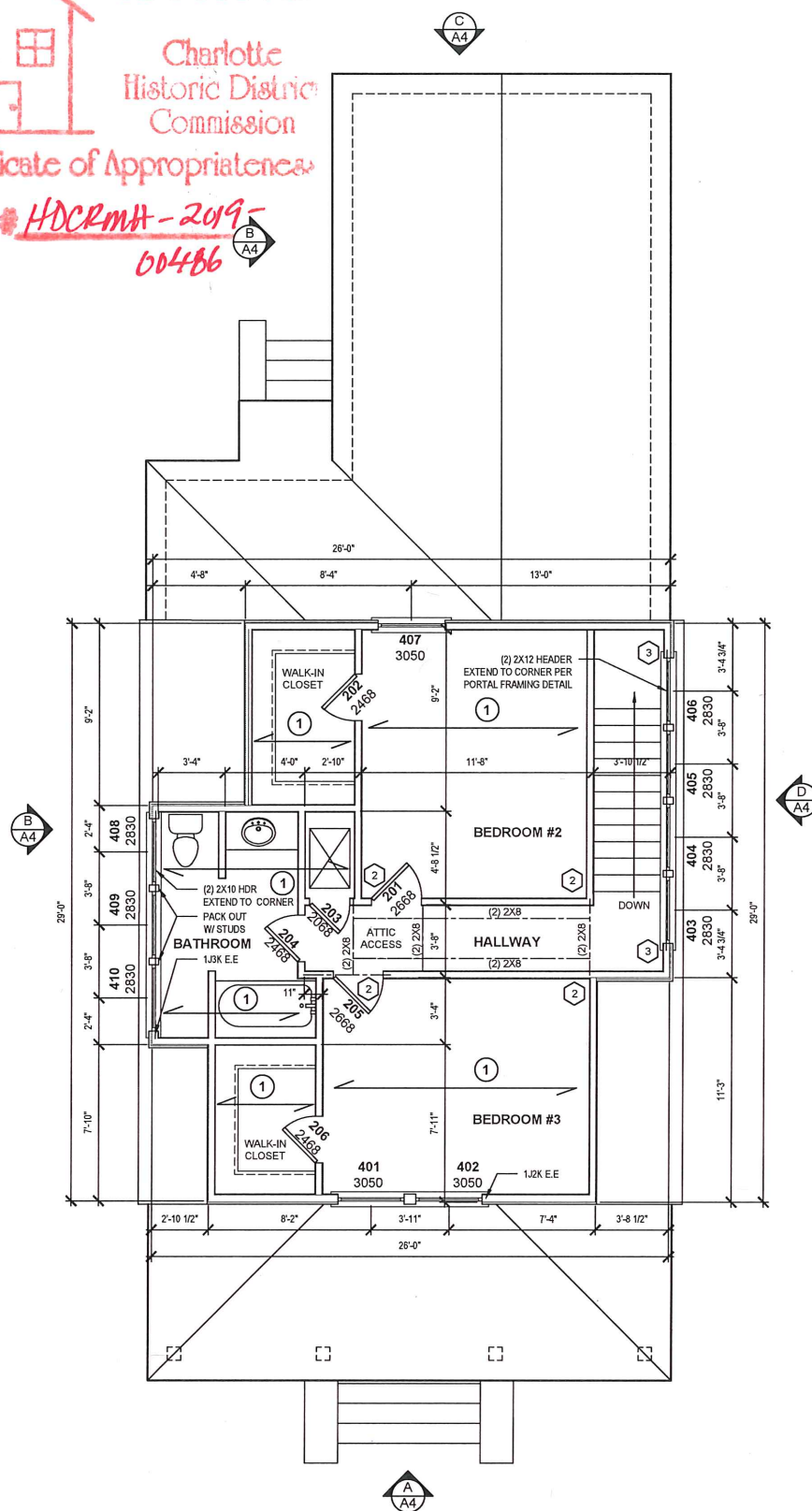
SEE G2 FOR GENERAL NOTES.

WIND BRACING NOTES:

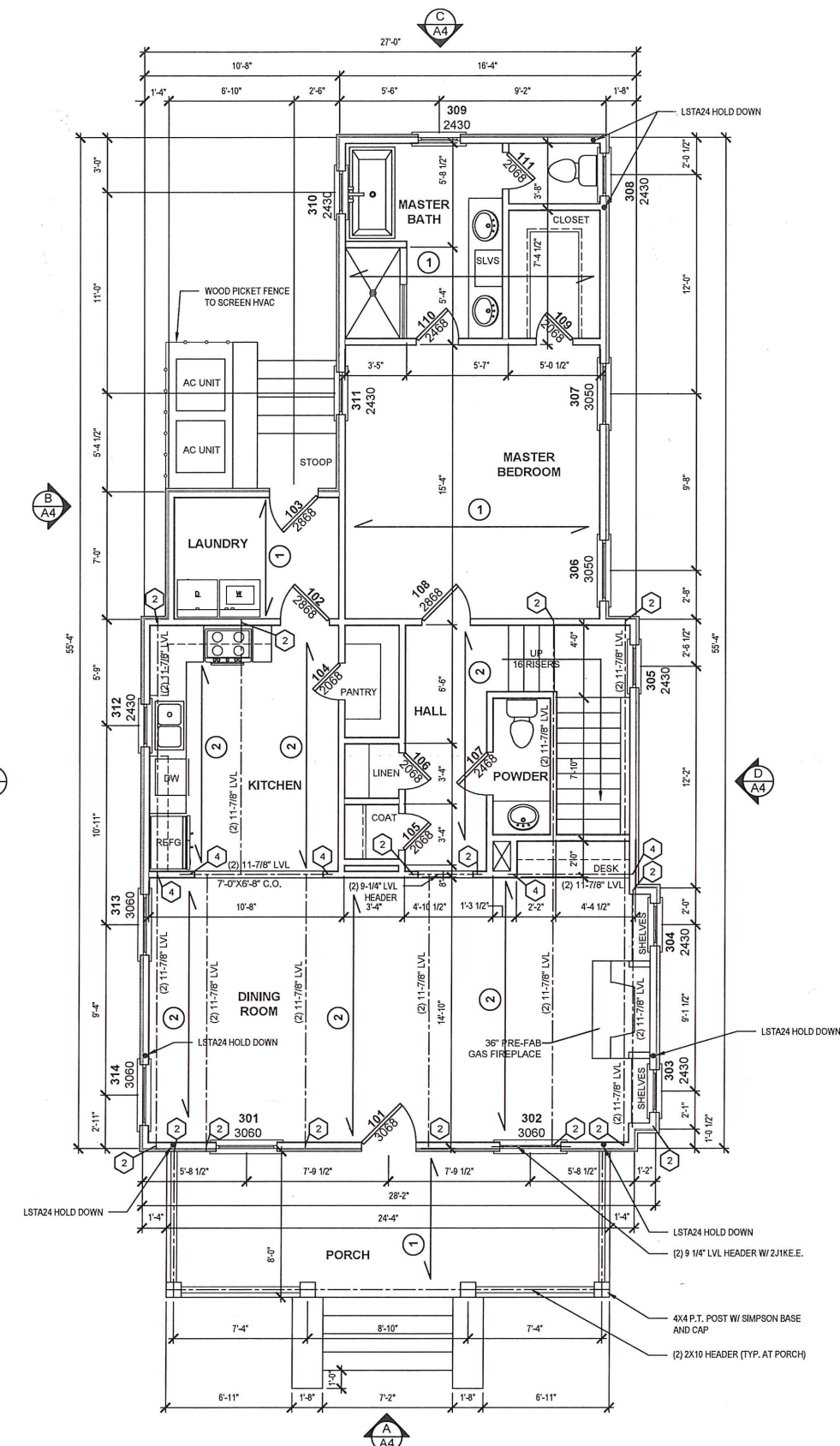
1. 90 MPH WIND ZONE W/ EXP "B"
2. BWL = BRACED WALL LINE, METHODS CS-WSP (U.N.O.)
3. THE ENGINEERED BRACED WALL DESIGN MEETS OR EXCEEDS THE INTENT OF THE 2018 NCRC. INSTALL CONTINUOUS 7/16" OSB W/ 6d NAILS AT 6" O.C. AT PERIMETER AND 12" O.C. AT INTERMEDIATE SUPPORTS.

MIN. WALL STUD REQUIREMENTS	
EXT. WALL HEIGHT	STUD SIZE AND SPACING
h ≤ 10'-0"	2X4 @ 16" O.C.
10'-0" < h ≤ 11'-0"	2X4 @ 12" O.C.
11'-0" < h ≤ 18'-0"	2X6 @ 16" O.C.
h > 18'-0"	CONSULT ENGINEER

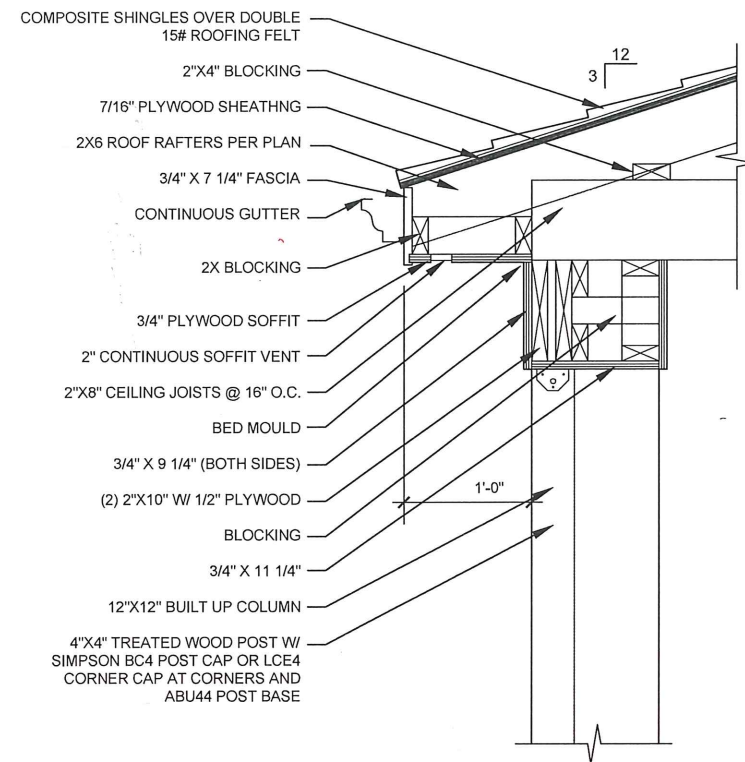
PSL BEARING NOTE
LVL TO BEAR DIRECTLY ON PSL COLUMN
NOTCH / STRAP TOP PLATE WITH 24" L CS-16 STRAP



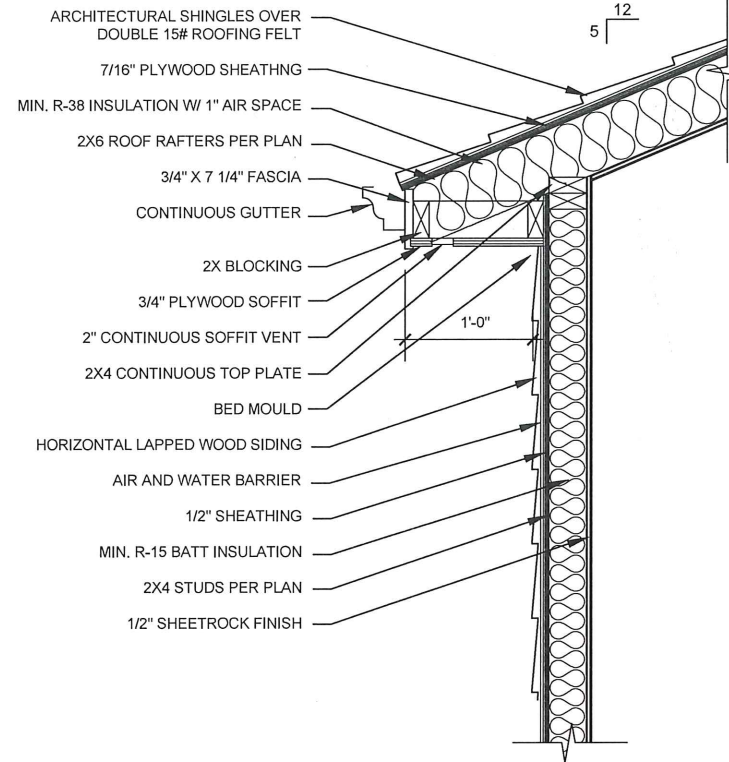
B SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
610 SF (HEATED)



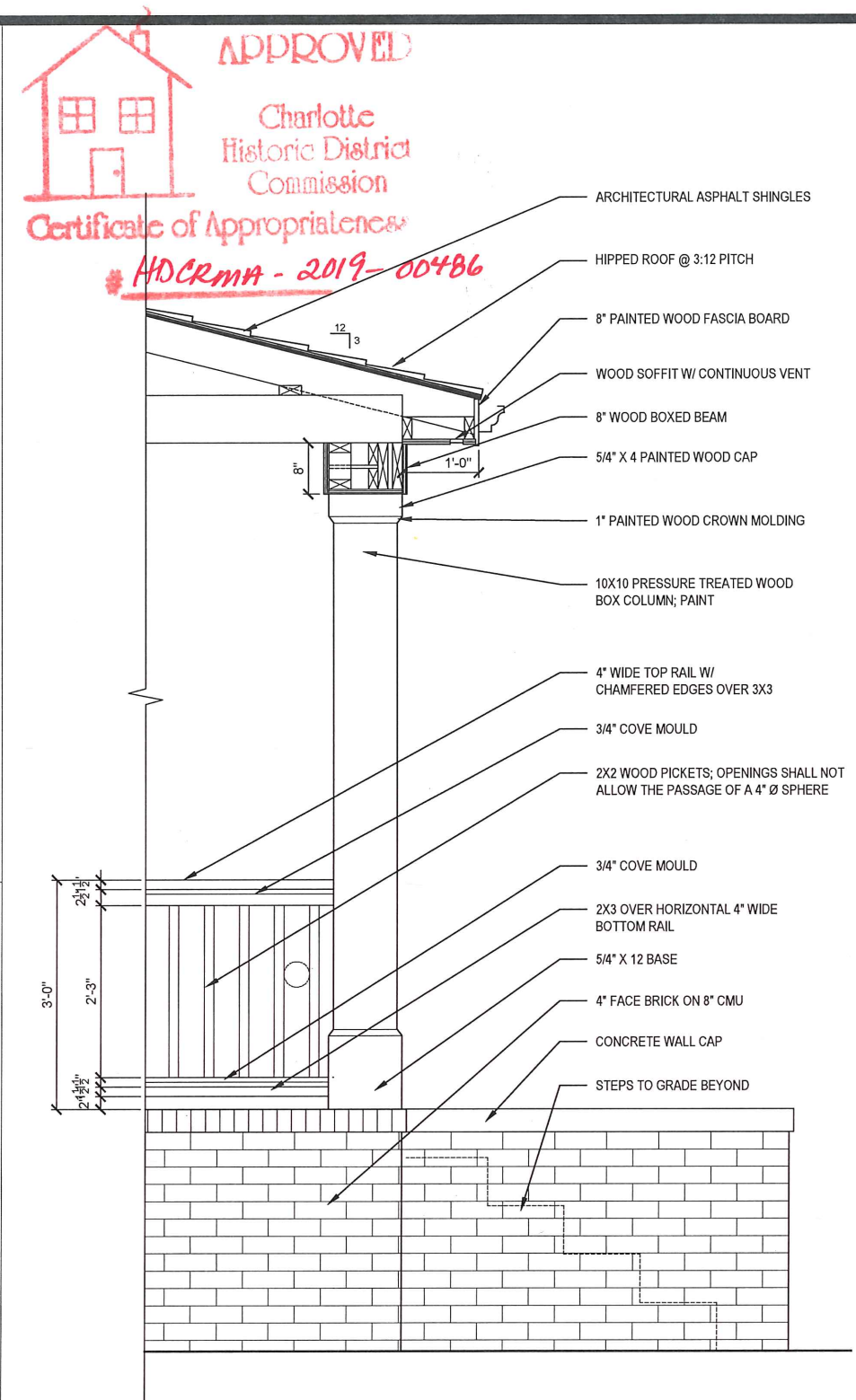
A FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
1240 SF (HEATED)
190 SF (PORCH)



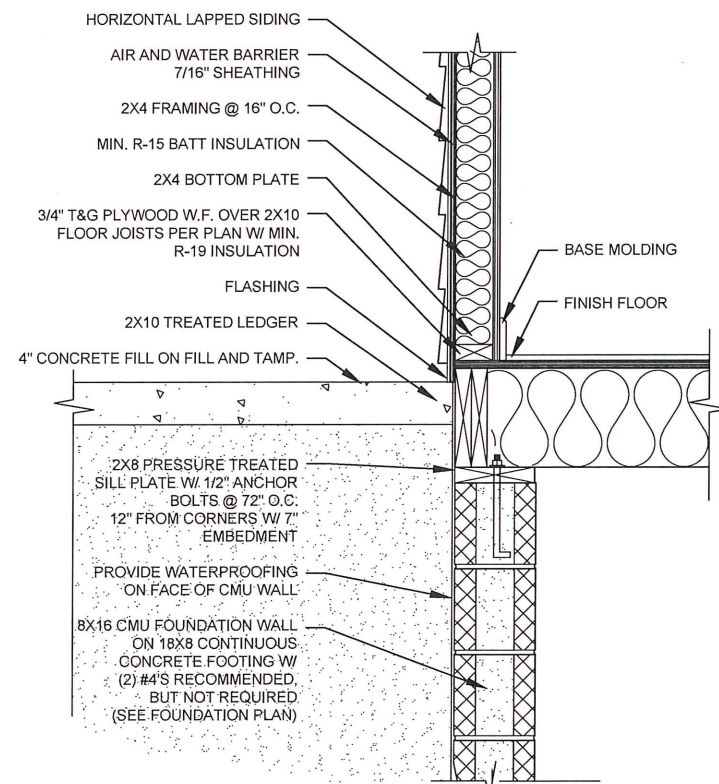
D PORCH BEAM DETAIL
SCALE: 1" = 1'-0"



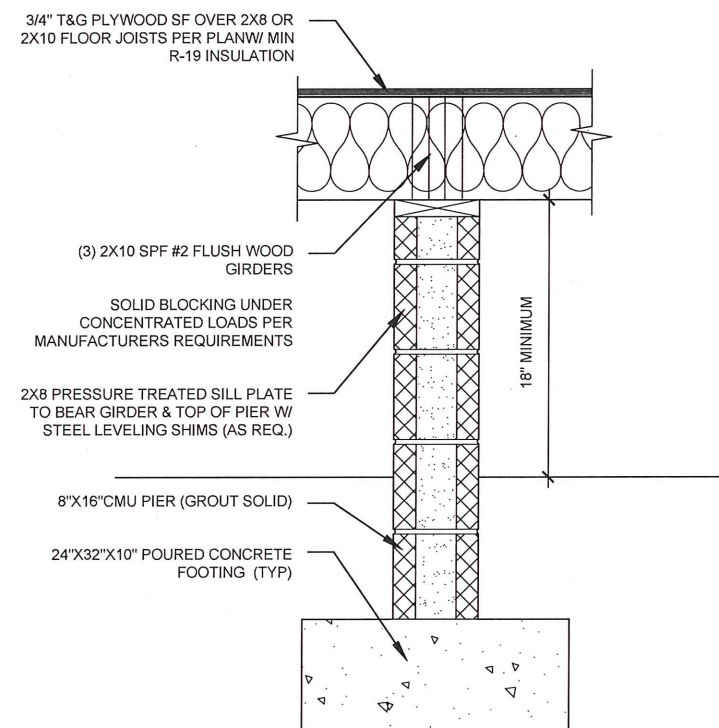
B SOFFIT DETAIL
SCALE: 1" = 1'-0"



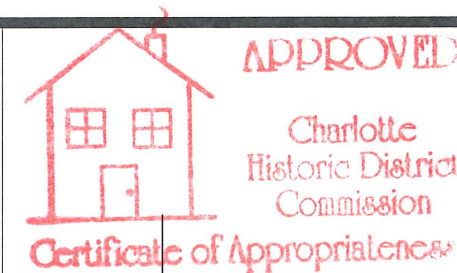
A PATIO DETAIL
SCALE: 1" = 1'-0"



E PORCH FOUNDATION DETAIL
SCALE: 1" = 1'-0"



C PIER DETAIL
SCALE: 1" = 1'-0"



PRIVATE RESIDENCE

420 SOUTH SUMMIT AVENUE
CHARLOTTE, NC 28208

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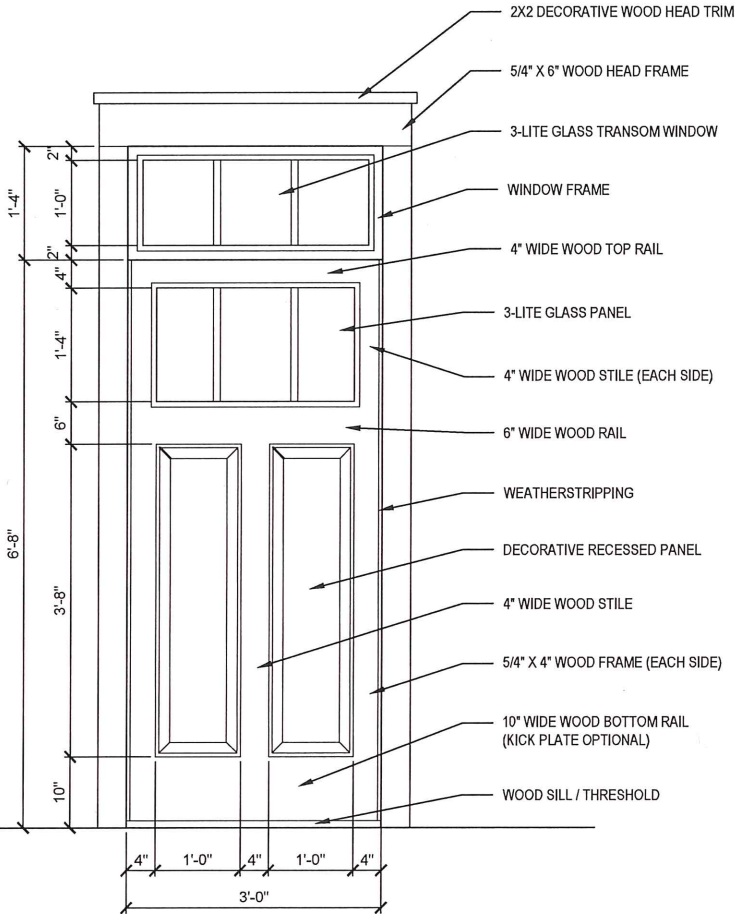
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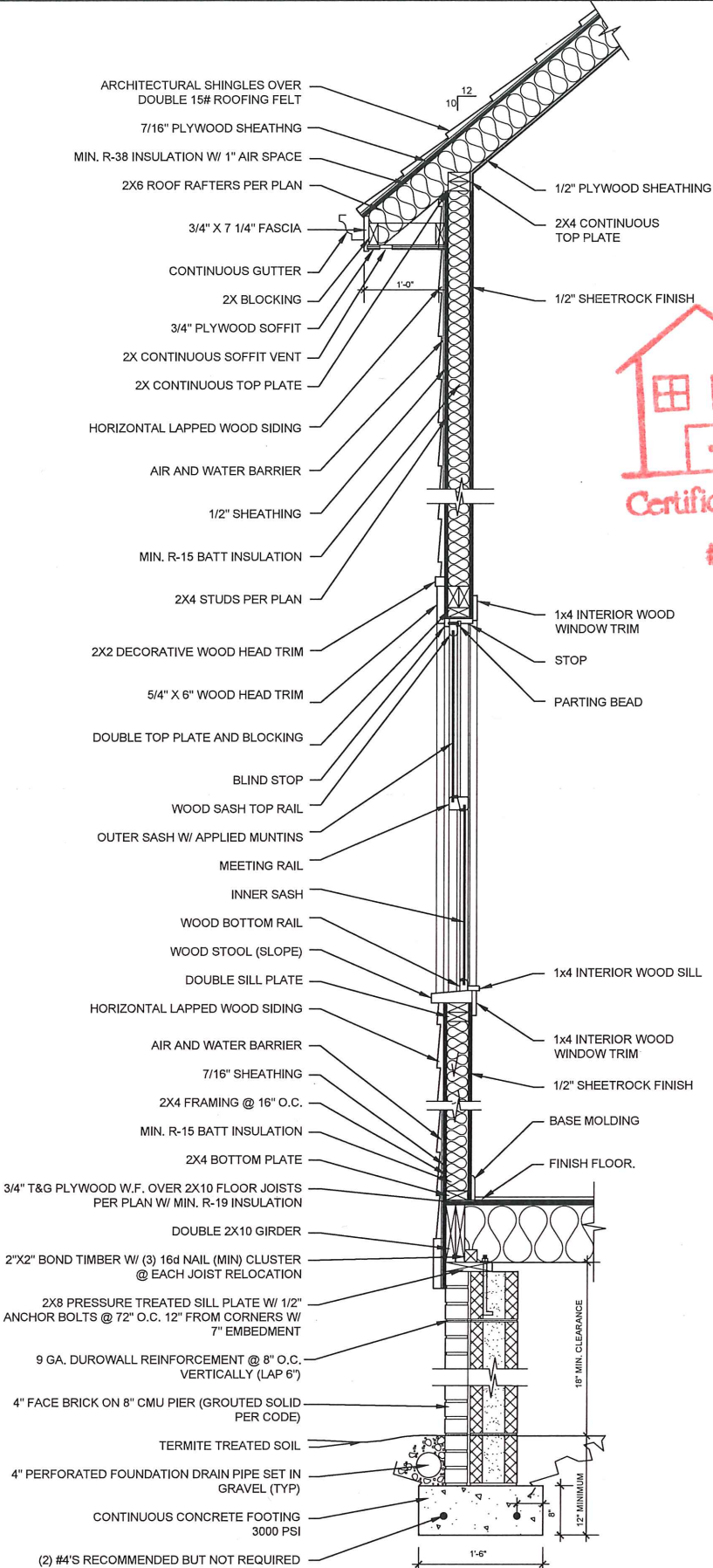
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DETAILS

DOOR SCHEDULE				
1ST FLOOR			2ND FLOOR	
101	3'-0"X6'-8"	SC	201	2'-6"X6'-8"
102	2'-8"X6'-8"	HC	202	2'-4"X6'-8"
103	2'-8"X6'-8"	SC	203	2'-0"X6'-8"
104	2'-0"X6'-8"	HC	204	2'-4"X6'-8"
105	2'-0"X6'-8"	HC	205	2'-6"X6'-8"
106	2'-0"X6'-8"	HC	206	2'-4"X6'-8"
107	2'-4"X6'-8"	SC		
108	2'-8"X6'-8"	SC		
109	2'-0"X6'-8"	HC		
110	2'-4"X6'-8"	HC		
111	2'-0"X6'-8"	HC		

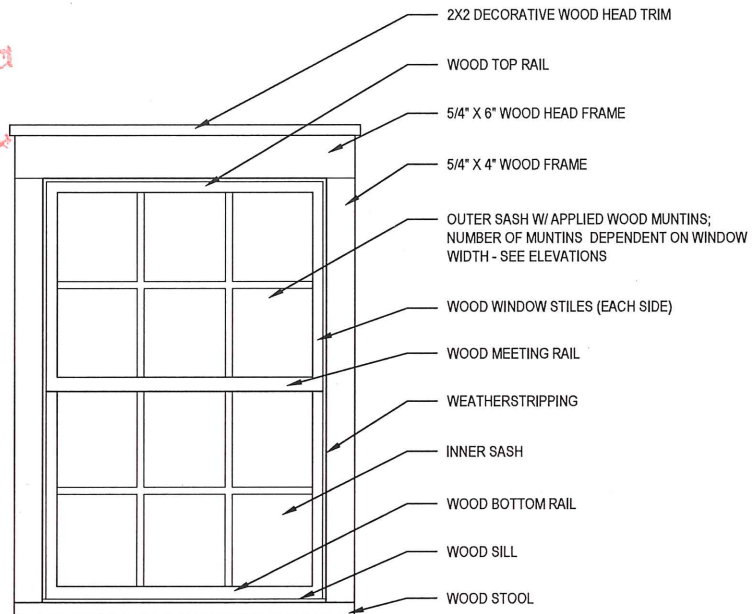
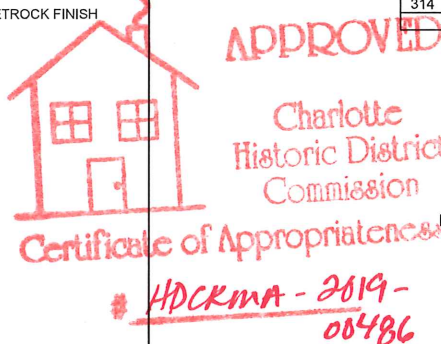


C FRONT DOOR DETAIL
SCALE: 1" = 1'-0"

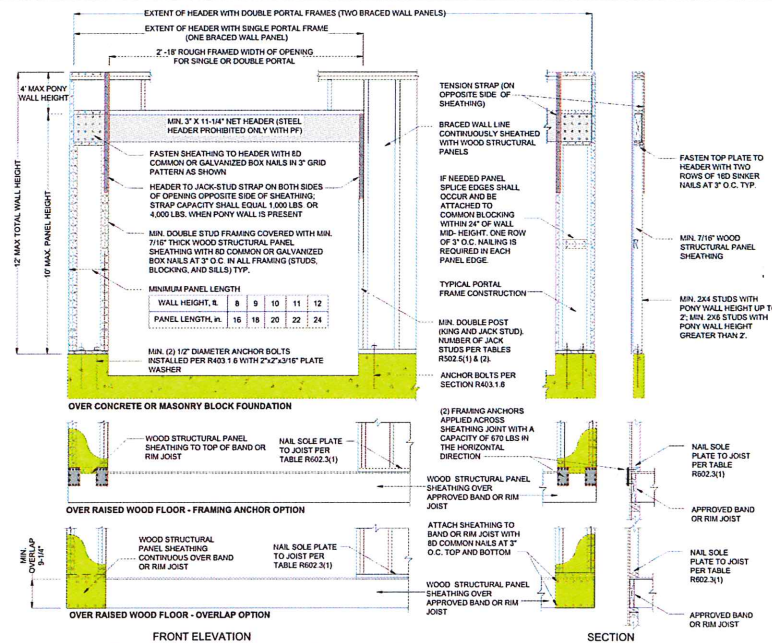


B DETAILED WALL SECTION
SCALE: 1" = 1'-0"

WINDOW SCHEDULE				
1ST FLOOR			2ND FLOOR	
301	3'-0"X6'-0"	D.H.	401	3'-0"X5'-0" D.H.
302	3'-0"X6'-0"	D.H.	402	3'-0"X5'-0" D.H.
303	2'-4"X3'-0"	FIXED	403	2'-8"X3'-0" FIXED
304	2'-4"X3'-0"	FIXED	404	2'-8"X3'-0" FIXED
305	2'-4"X3'-0"	FIXED	405	2'-8"X3'-0" FIXED
306	3'-0"X5'-0"	D.H.	406	2'-8"X3'-0" FIXED
307	3'-0"X5'-0"	D.H.	407	3'-0"X5'-0" D.H.
308	2'-4"X3'-0"	FIXED	408	2'-8"X3'-0" FIXED
309	2'-4"X3'-0"	FIXED	409	2'-8"X3'-0" FIXED
310	2'-4"X3'-0"	FIXED	410	2'-8"X3'-0" FIXED
311	2'-4"X3'-0"	FIXED		
312	2'-4"X3'-0"	FIXED		
313	3'-0"X6'-0"	D.H.		
314	3'-0"X6'-0"	D.H.		



A TYPICAL WINDOW DETAIL
SCALE: 1" = 1'-0"



For SI: 1 inch = 25.4 mm, 1 foot = 305 mm, 1 lb = 4.45 N

Figure R602.10.1
Method PF – Portal Frame Construction



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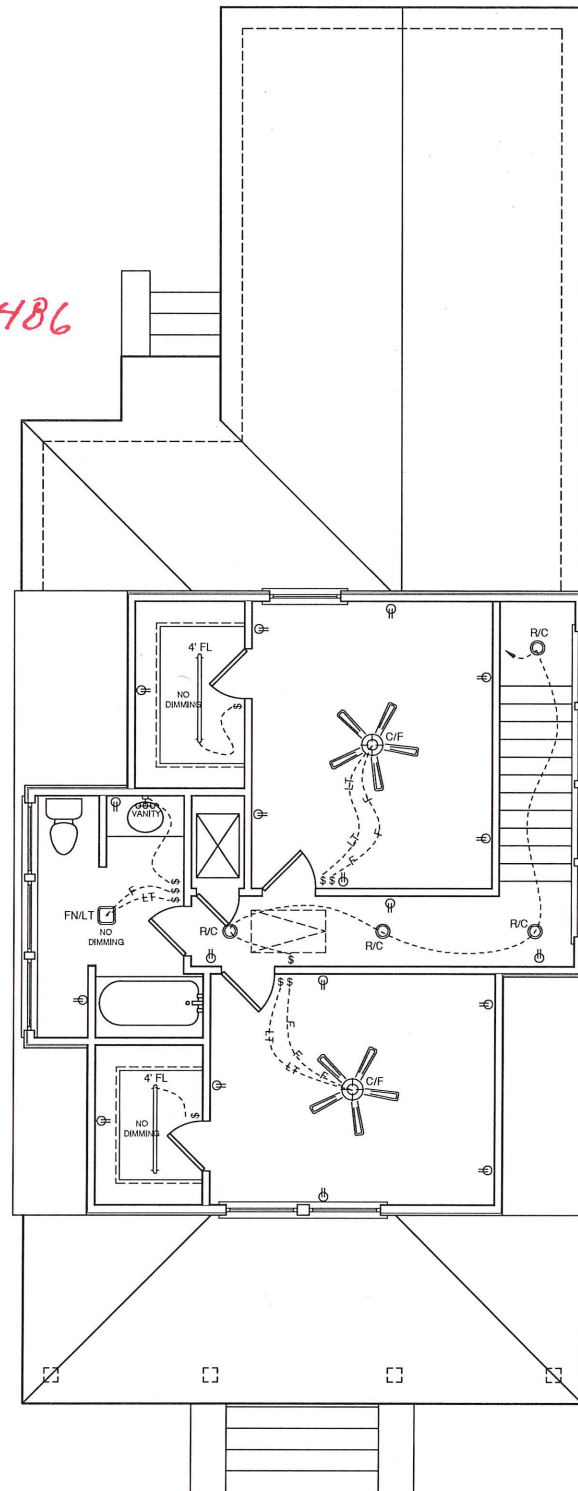
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DETAILS

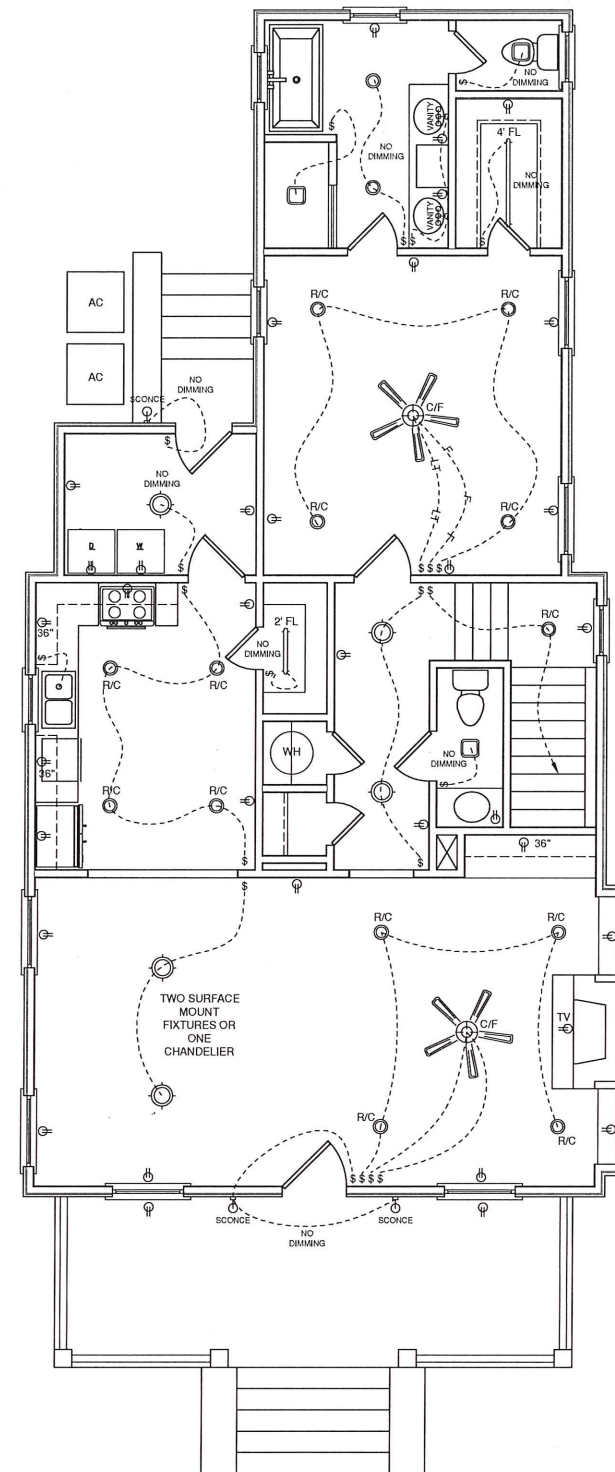


SYMBOL	DESCRIPTION
2' FL	FLORESCENT LIGHT (2' OR 4')
CAB	UNDER CABINET LIGHT
VANITY	VANITY
C/F	CEILING FAN W/ LIGHT
R/C	6" RECESSED CAN LIGHT
FLUSH	FLUSH MOUNT
V.F.M.T	VENT FAN W/ LIGHT
SCONCE	WALL SCONCE (INTERIOR/EXTERIOR)
W.S.O.	WALL SOCKET POWER OUTLET (DESIRED LOCATION)

NOTE:
1. ALL LIGHTING TO INCLUDE DIMMING SWITCHES UNLESS OTHERWISE NOTED.
2. FIXTURE SELECTIONS BY OWNER.



B SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



A FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



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ELECTRICAL
PLANS