



CHARLOTTE HISTORIC DISTRICT COMMISSION  
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMI-2019-261

DATE: June 14, 2019

ADDRESS OF PROPERTY: 1936 Park Road

TAX PARCEL NUMBER: 12108705

HISTORIC DISTRICT: Dilworth

OWNER/APPLICANT: Debra Glennon

**DETAILS OF APPROVED PROJECT:** The project is the repair of the side entrance, replacement of a gable roof with a flat roof on the left side toward the rear and a front porch addition. The hand rail on the new side roof deck will match existing hand rails. Other features include new entry doors, repair or replacement of stairs and siding on the first floor. On the second floor a new shed roof replaces a gable dormer with new windows and doors. A French door is proposed to replace a window on the rear elevation. On the right elevation a second story window is replaced with two smaller windows. See attached plans.

The project was approved by the HDC June 12, 2018.

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

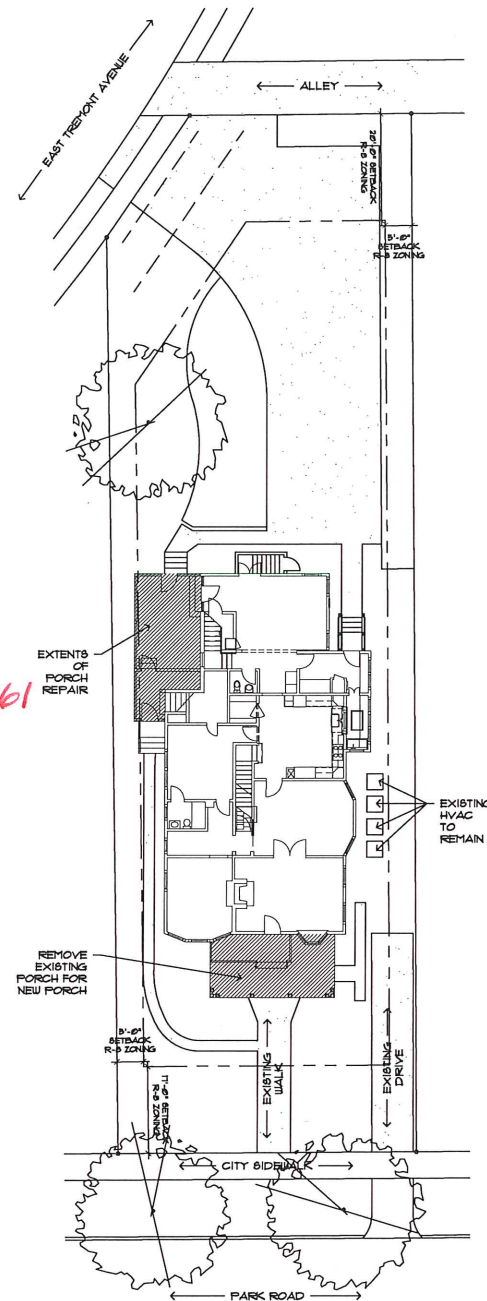
James Haden, Chairman

Staff

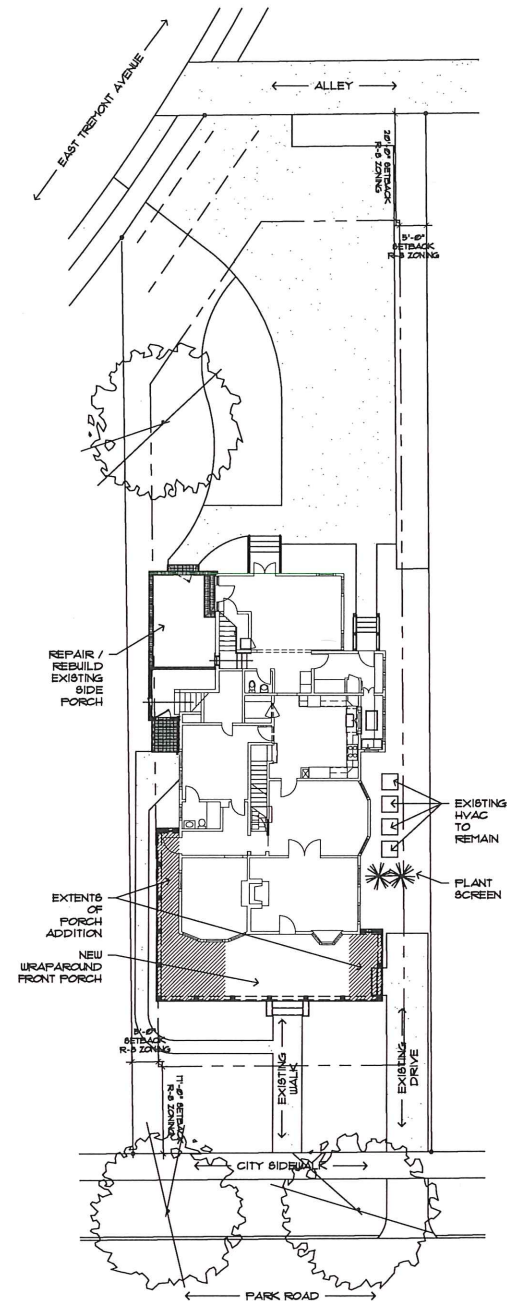
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

[www.charlotteplanning.org](http://www.charlotteplanning.org)

600 East Fourth Street  
Charlotte, NC 28202-2853  
PH: (704)-336-2205  
FAX: (704)-336-5123



2 EXISTING SITE PLAN  
SCALE: 1/16"=1'-0"



1 PROPOSED SITE PLAN  
SCALE: 1/16"=1'-0"



GLENNON  
RENOVATION  
1336 Park Road  
Charlotte, NC 28203

DATE:

Existing  
-  
Schematics (front porch)  
11 Nov 2013  
HDC (front porch)  
22 Nov 2013  
02 Dec 2013  
Progress Drawings  
(front porch)  
28 Mar 2014  
14 Apr 2014  
Progress Drawings  
(rear porch)  
25 Apr 2014  
20 May 2014  
16 Mar 2016  
24 Mar 2016  
HDC  
21 Apr 2016  
Final Pricing  
-  
Revisions  
-

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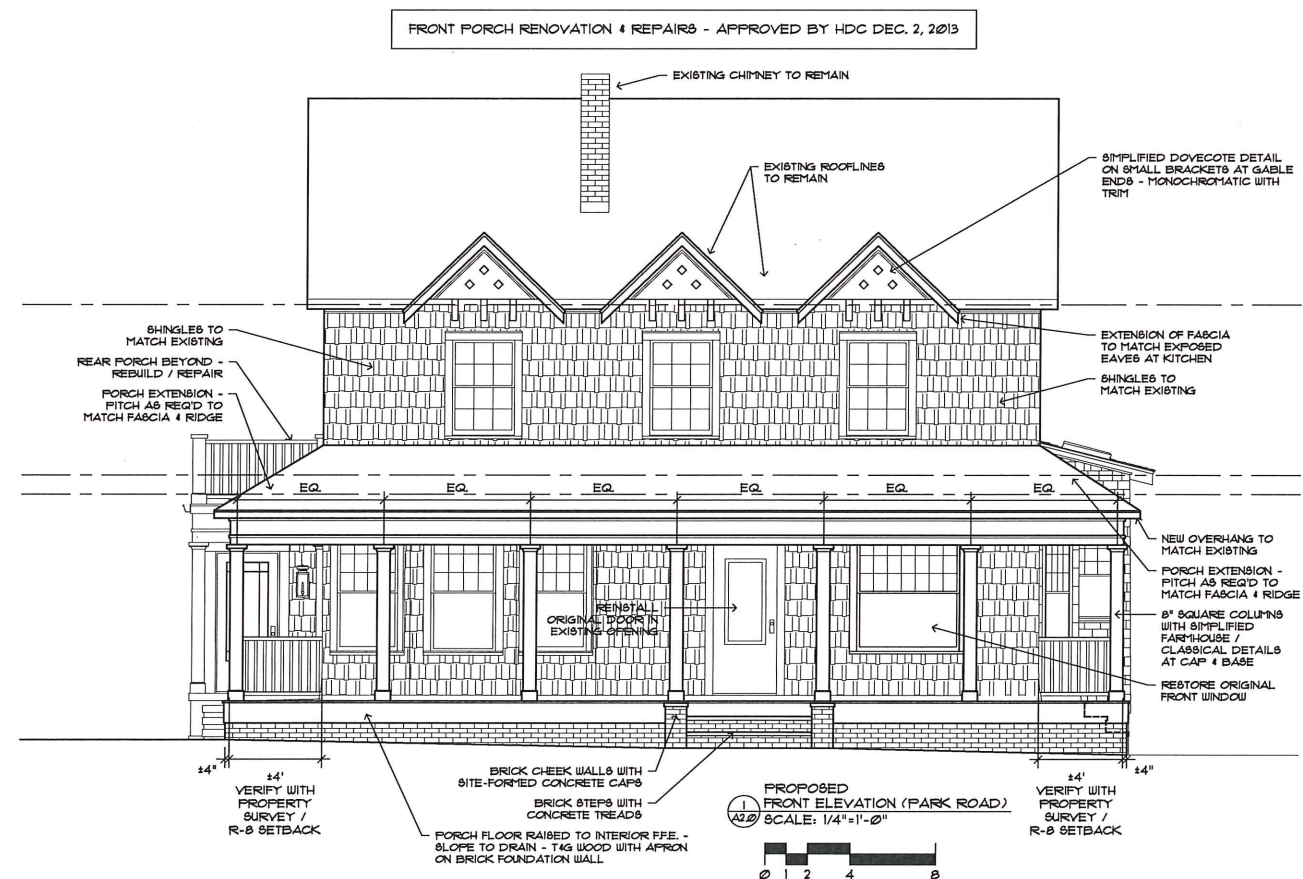
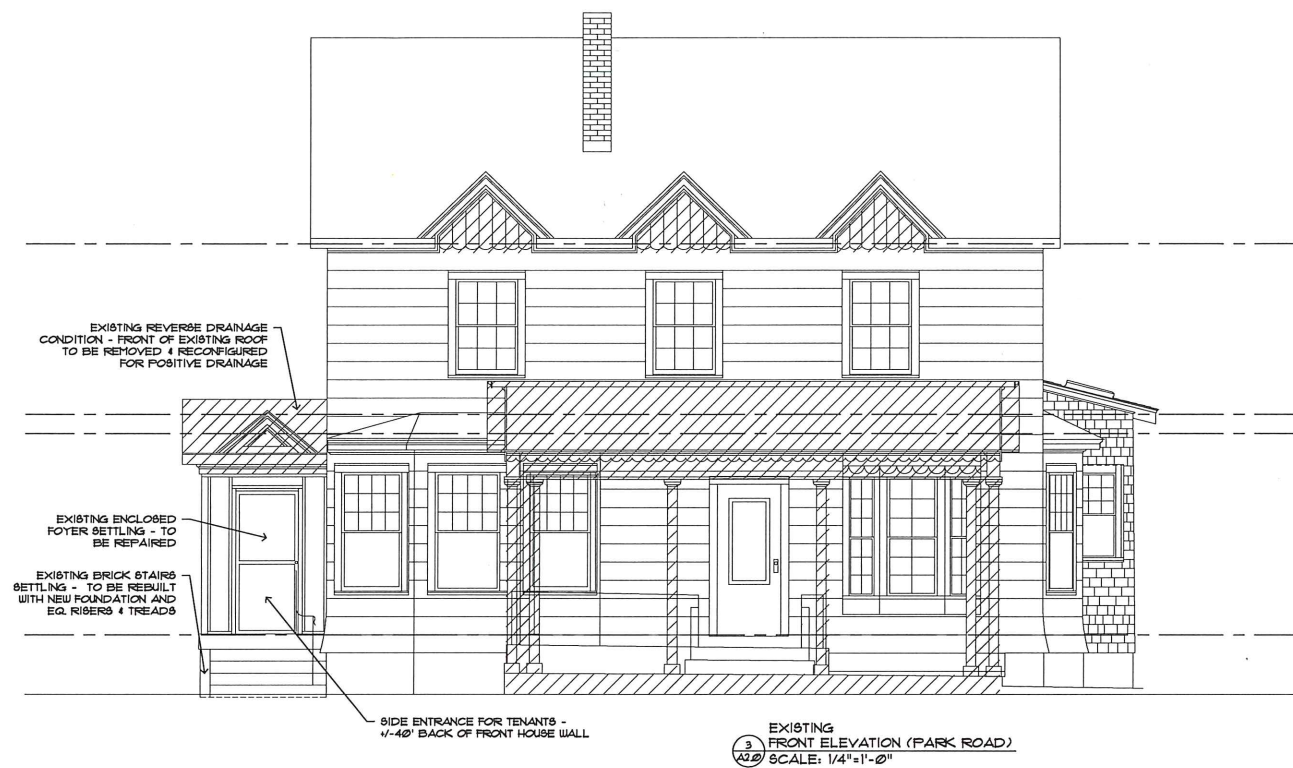
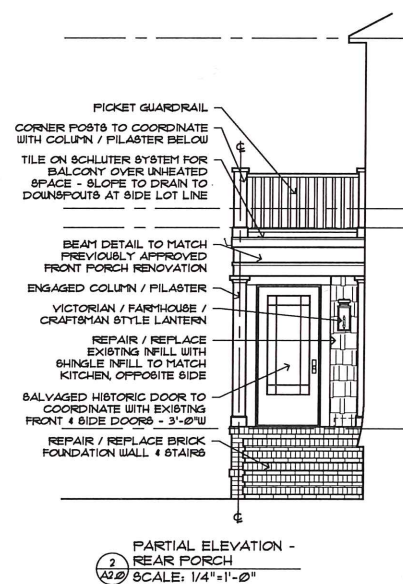
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SITE PLAN

A0.3





GLENNON  
RENOVATION  
1936 Park Road  
Charlotte, NC 28203

#### DATES:

Existing  
-  
Schematics (front porch)  
11 Nov 2013  
HDC (front porch)  
22 Nov 2013  
22 Dec 2013  
Progress Drawings  
(front porch)  
28 Mar 2014  
14 Apr 2014  
Progress Drawings  
(rear porch)  
25 Apr 2014  
20 May 2014  
16 Mar 2016  
24 Mar 2016  
HDC  
21 Apr 2016  
Final Pricing  
-  
Revisions  
-

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ELEVATIONS  
FRONT  
(EAST)

A2.0



DATES:

Existing  
-  
Schematics (front porch)  
11 Nov 2013  
HDC (front porch)  
22 Nov 2013  
28 Dec 2013  
Progress Drawings  
(front porch)  
28 Mar 2014  
14 Apr 2014  
Progress Drawings  
(rear porch)  
25 Apr 2014  
28 May 2014  
16 Mar 2016  
24 Mar 2016  
HDC  
21 Apr 2016  
Final Pricing  
-  
Revisions  
-

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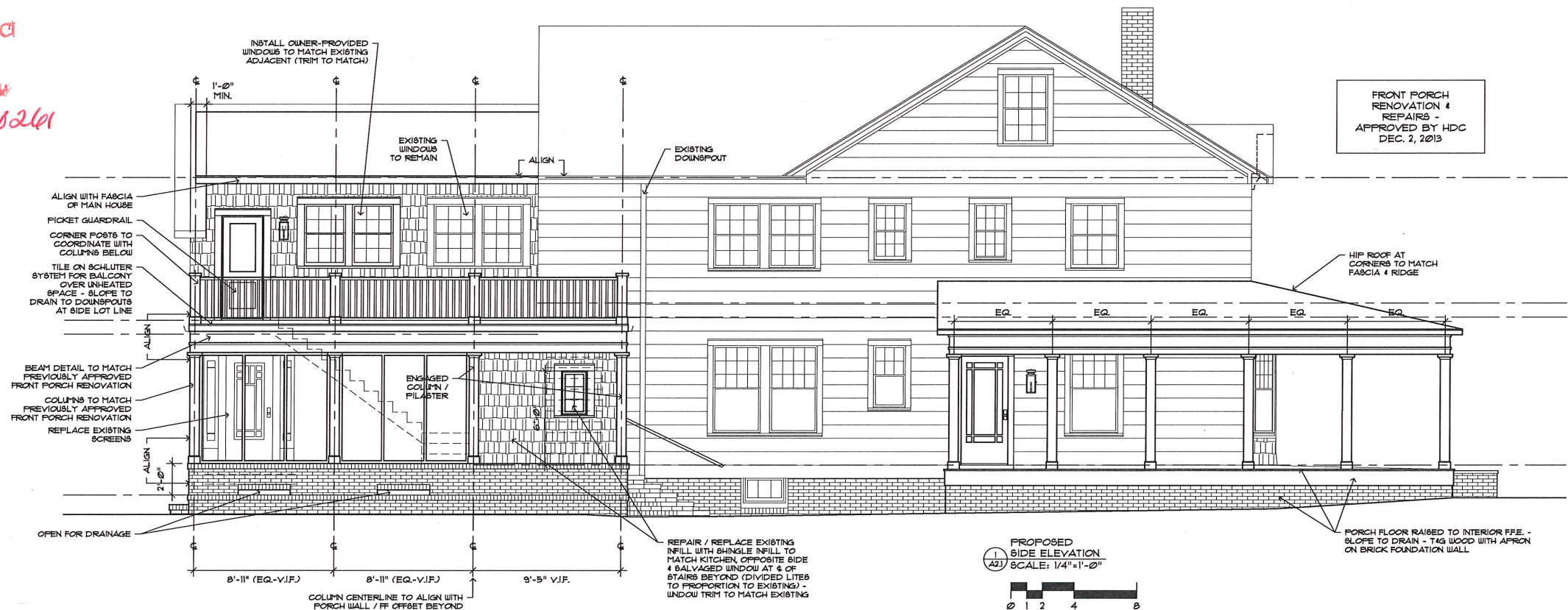
ELEVATIONS

LEFT  
(SOUTH)

A2.1



APPROVED  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
#HDCRMI-2019-00261





DATES:

Existing  
-  
Schematics (front porch)  
11 Nov 2013  
HDC (front porch)  
22 Nov 2013  
29 Dec 2013  
Progress Drawings  
(front porch)  
28 Mar 2014  
14 Apr 2014  
Progress Drawings  
(rear porch)  
25 Apr 2014  
28 May 2014  
16 Mar 2016  
24 Mar 2016  
HDC  
21 Apr 2016  
Final Pricing  
-  
Revisions  
-

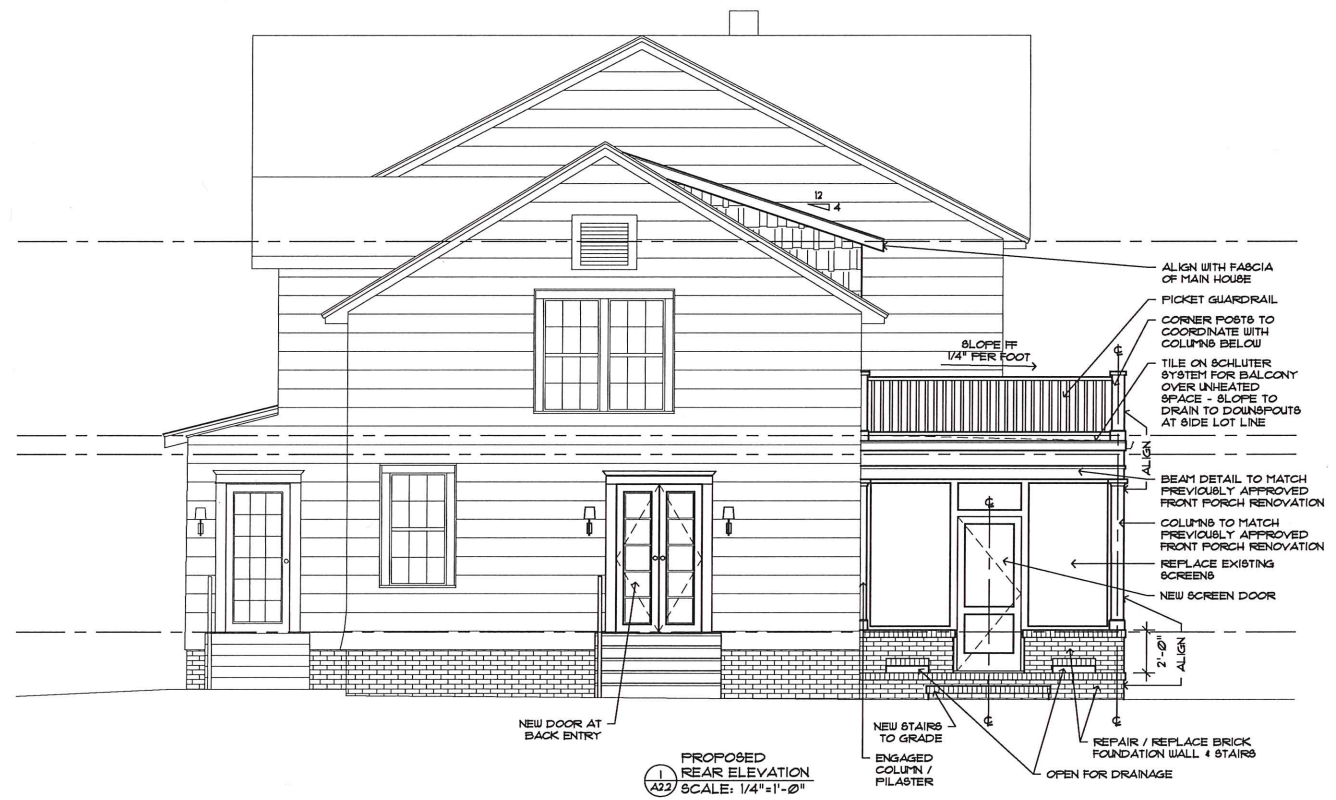
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ELEVATIONS

REAR  
(WEST)

A2.2



DATES:

Existing  
-  
Schematics (front porch)  
11 Nov 2013  
HDC (front porch)  
22 Nov 2013  
23 Dec 2013  
Progress Drawings  
(front porch)  
28 Mar 2014  
14 Apr 2014  
Progress Drawings  
(rear porch)  
25 Apr 2014  
20 May 2014  
16 Mar 2016  
24 Mar 2016  
HDC  
21 Apr 2016  
Final Pricing  
-  
Revisions  
-

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ELEVATIONS

RIGHT  
(NORTH)

A2.3



EXISTING  
SIDE ELEVATION  
A2.3 SCALE: 1/4"=1'-0"



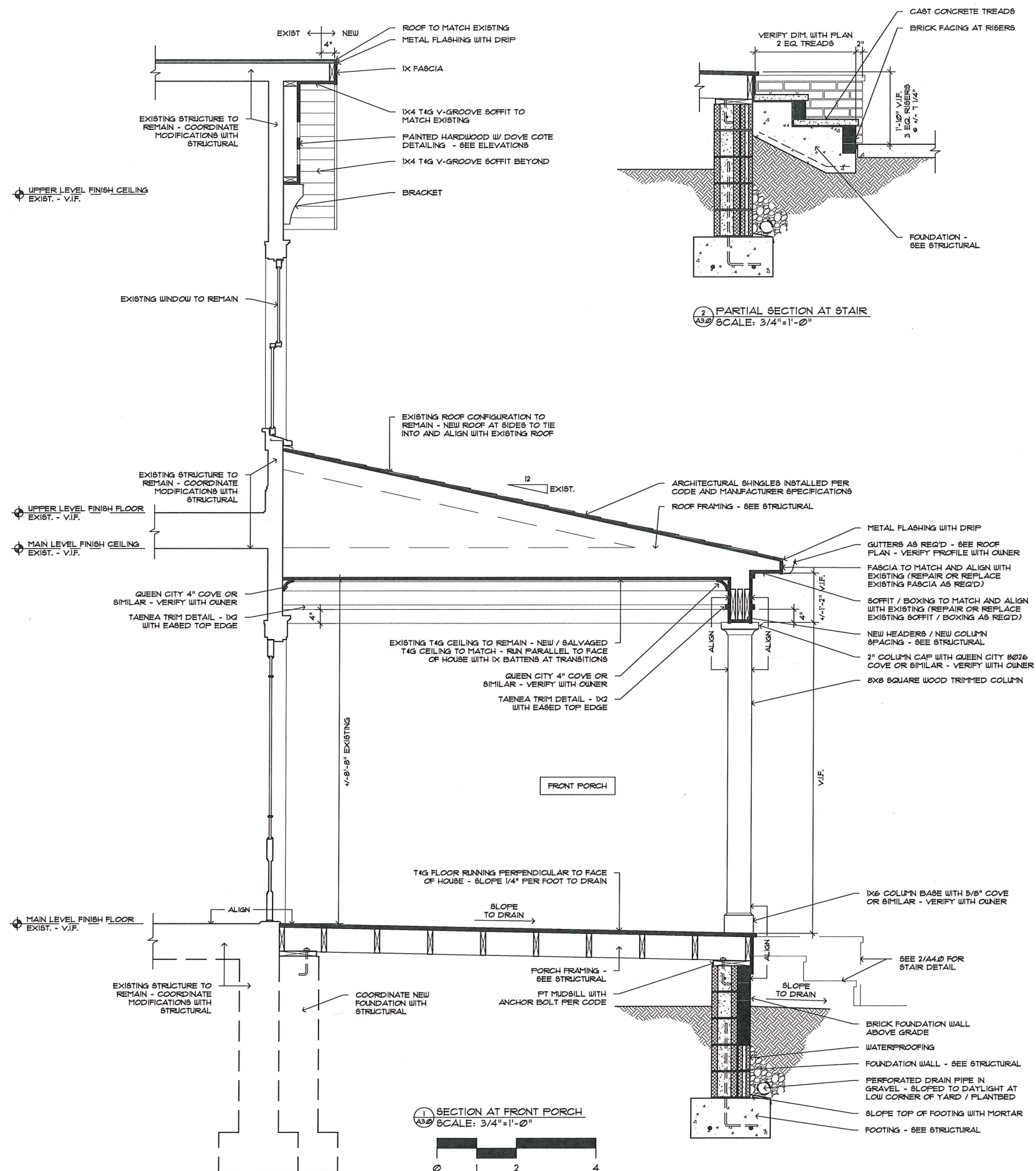
PORCH FLOOR RAISED TO INTERIOR F.F.E. -  
SLOPE TO DRAIN - T&G WOOD WITH AFFRON  
ON BRICK FOUNDATION WALL

PROPOSED  
SIDE ELEVATION  
A2.3 SCALE: 1/4"=1'-0"



  
**APPROVED**  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
# HDCRME-2019-00261





GLENNON RENOVATION

1936 Park Road  
Charlotte, NC 28203

DATES:

Existing  
-  
Schematics (front porch)  
11 Nov 2013  
HDC (front porch)  
22 Nov 2013  
22 Dec 2013  
Progress Drawings  
(front porch)  
28 Mar 2014  
14 Apr 2014  
Progress Drawings  
(rear porch)  
25 Apr 2014  
20 May 2014  
16 Mar 2016  
24 Mar 2016  
HDC  
21 Apr 2016  
Final Pricing  
-  
Revisions  
-

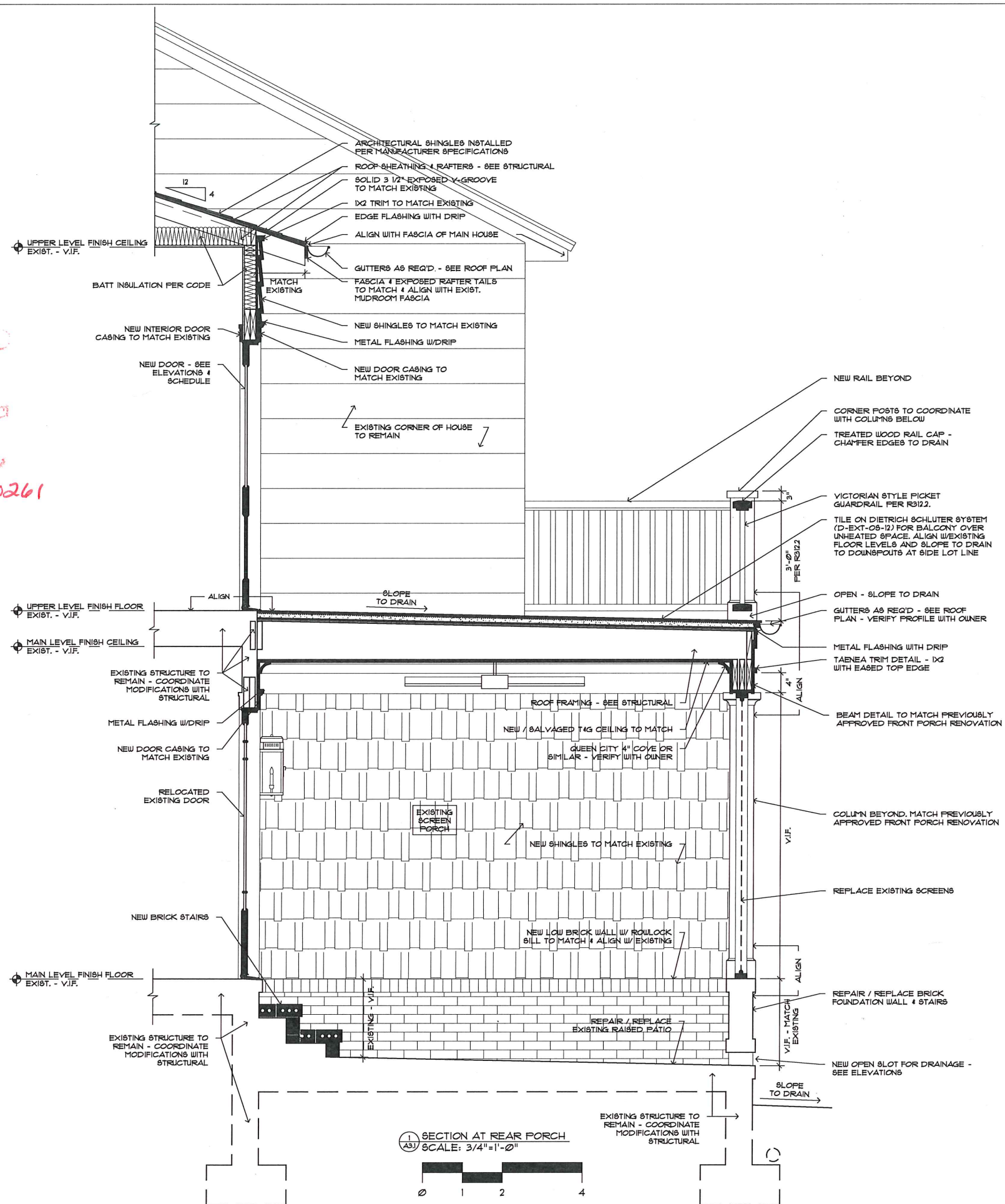
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FRONT  
PORCH  
SECTION

A3.0



GLENNON  
RENOVATION  
1836 Park Road  
Charlotte, NC 28203

#### DATES:

Existing  
-  
Schematics (front porch)  
11 Nov 2013  
HDC (front porch)  
22 Nov 2013  
02 Dec 2013  
Progress Drawings  
(front porch)  
28 Mar 2014  
14 Apr 2014  
Progress Drawings  
(rear porch)  
28 Apr 2014  
20 May 2014  
16 Mar 2016  
24 Mar 2016  
HDC  
21 Apr 2016  
Final Pricing  
-  
Revisions  
-

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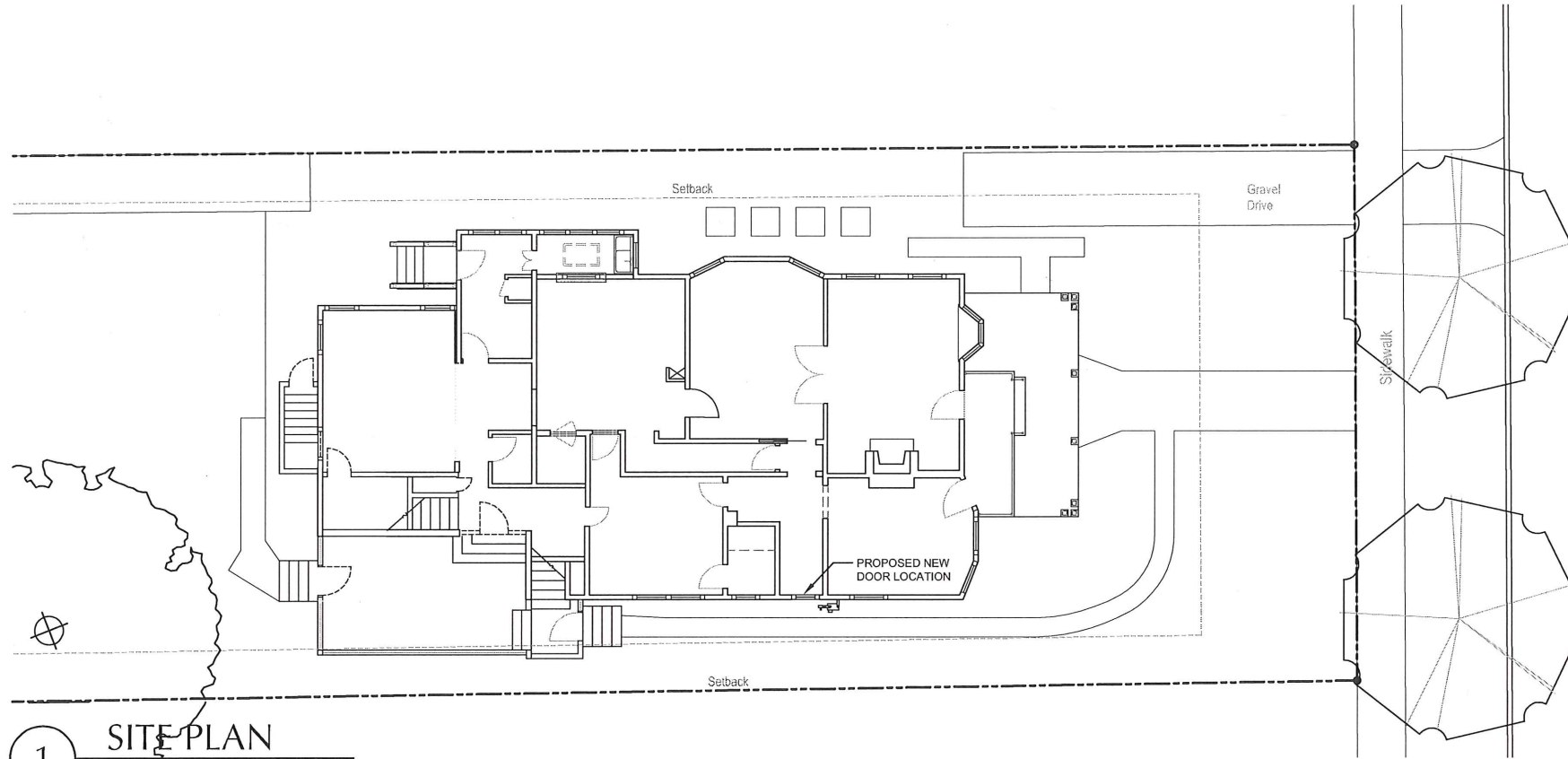
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REAR  
PORCH  
SECTION

A3.1





1 SITE PLAN  
Scale: 1/8"=1'-0"



3 FRONT - SECTION THROUGH PORCH  
Scale: 3/4"=1'-0"



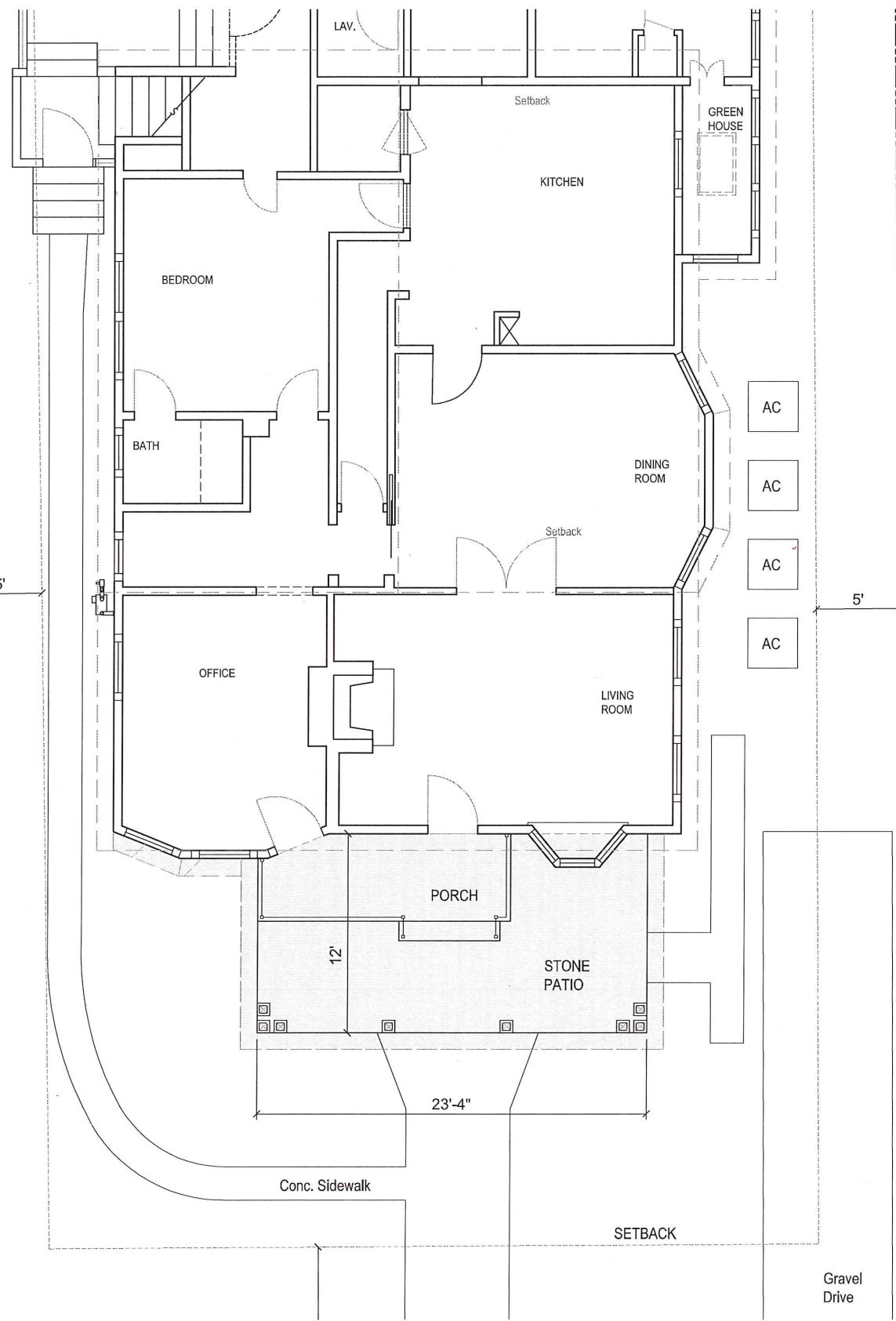
2 LEFT SIDE  
Scale: 1/4"=1'-0"

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Historic District  
Commission  
Certificate of Appropriateness  
# HPCent-2019-00261

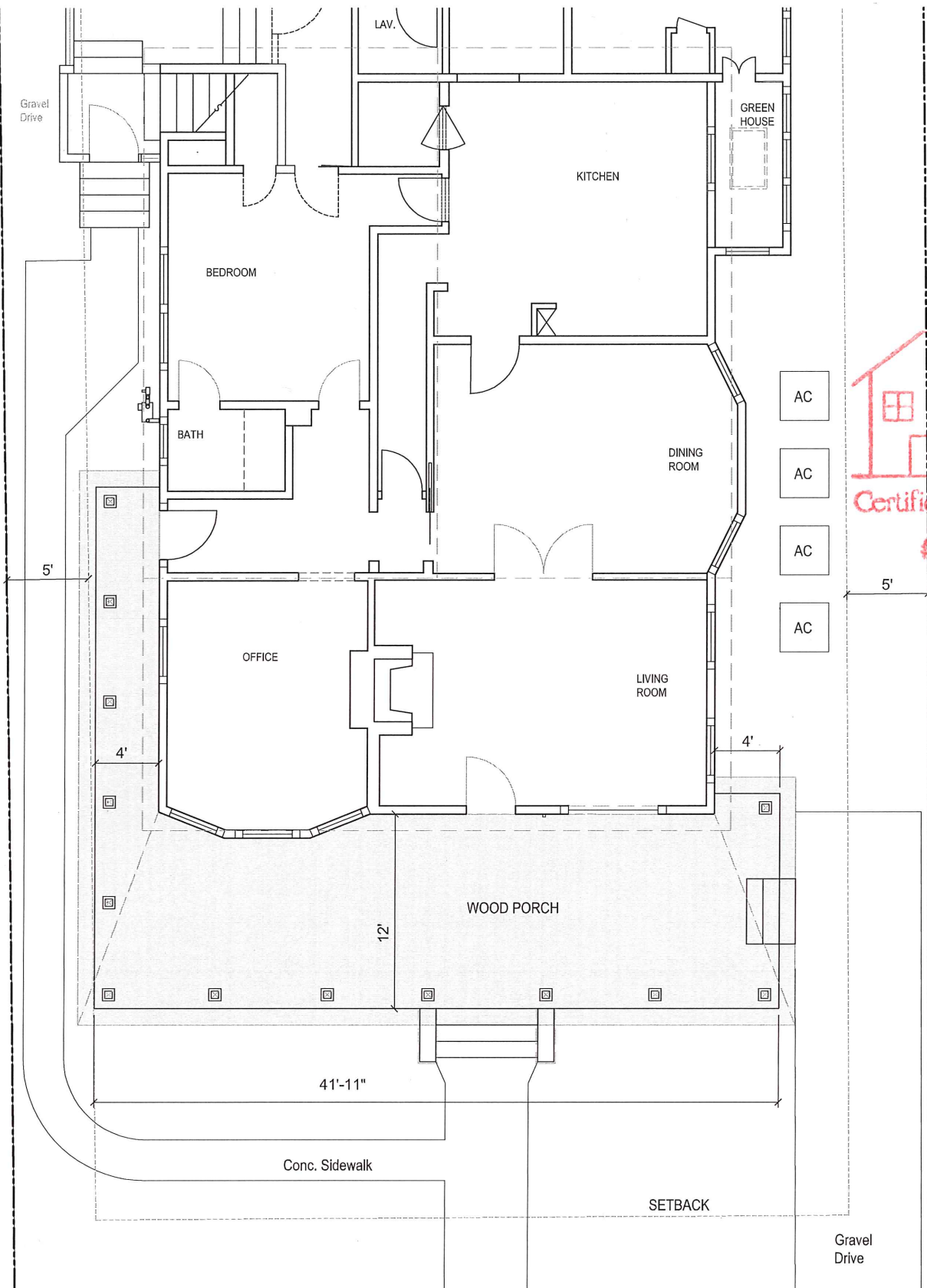


4 FRONT - WITH PORCH  
Scale: 3/4"=1'-0"

EXISTING CONDITIONS



1 EXISTING PORCH  
Scale: 1/4"=1'-0"



1 PROPOSED PORCH  
Scale: 1/4"=1'-0"

# GLENNON RESIDENCE

1936 Park Road  
Charlotte, NC 28203



APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

# HPCRM-E-2019-00261

## Porch Renovation

### REVISIONS

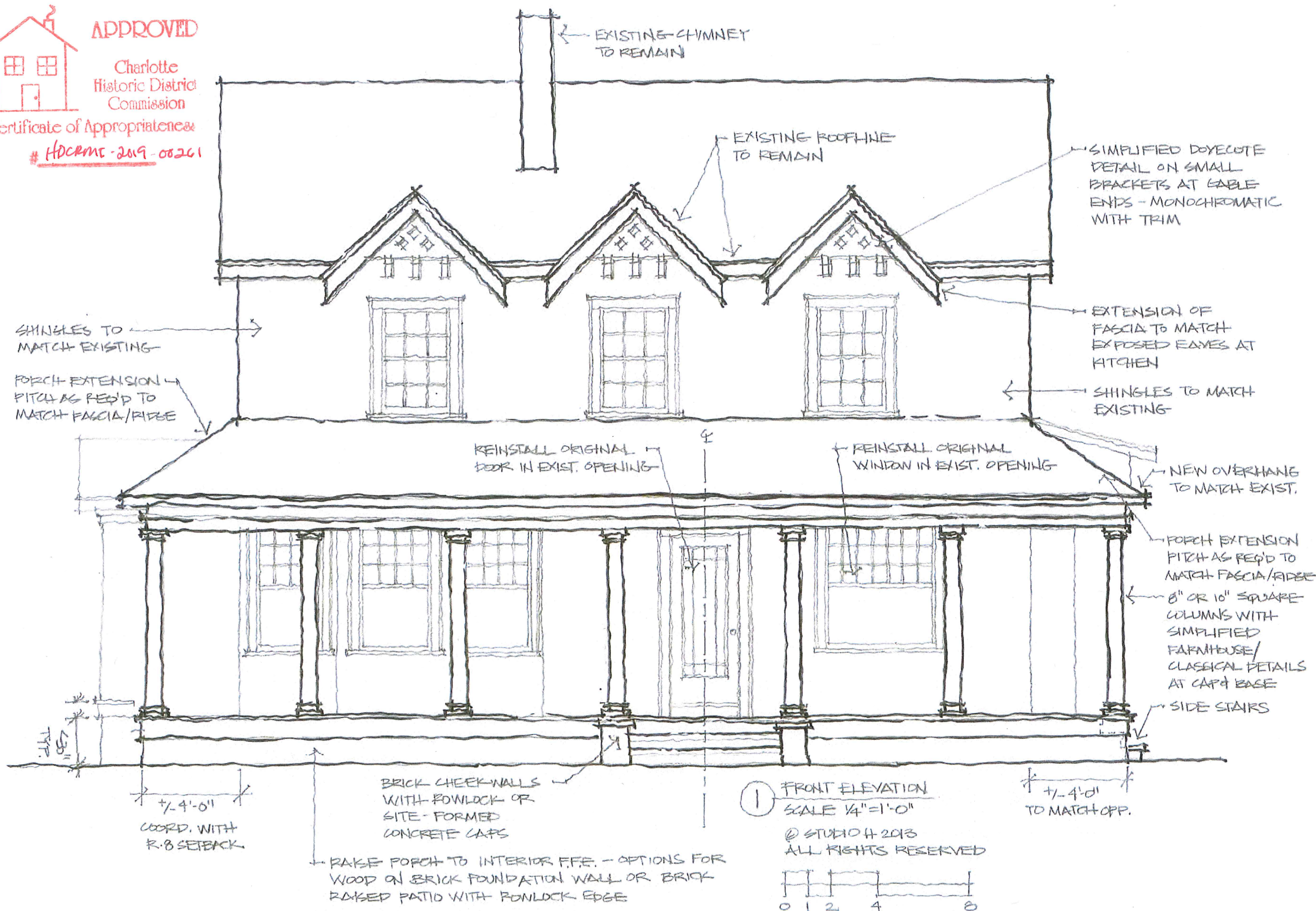
| 2   |             |      |
|-----|-------------|------|
| 1   |             |      |
| No. | Description | Date |

### Detail Site Plans

|                 |            |
|-----------------|------------|
| Project Number: | 2010-01    |
| Scale:          |            |
| Drawn By:       | DLG        |
| Checked By:     | KPG        |
| Date:           | 2 Dec 2013 |

Sheet No. A2.0





GLENNON  
RENOVATION  
1936 Park Road  
Charlotte, NC  
28203

#### DATES:

Existing

Schematics  
17 November 2013

HDC  
22 November 2013  
22 December 2013

Progress Drawings

Final Pricing

Revisions

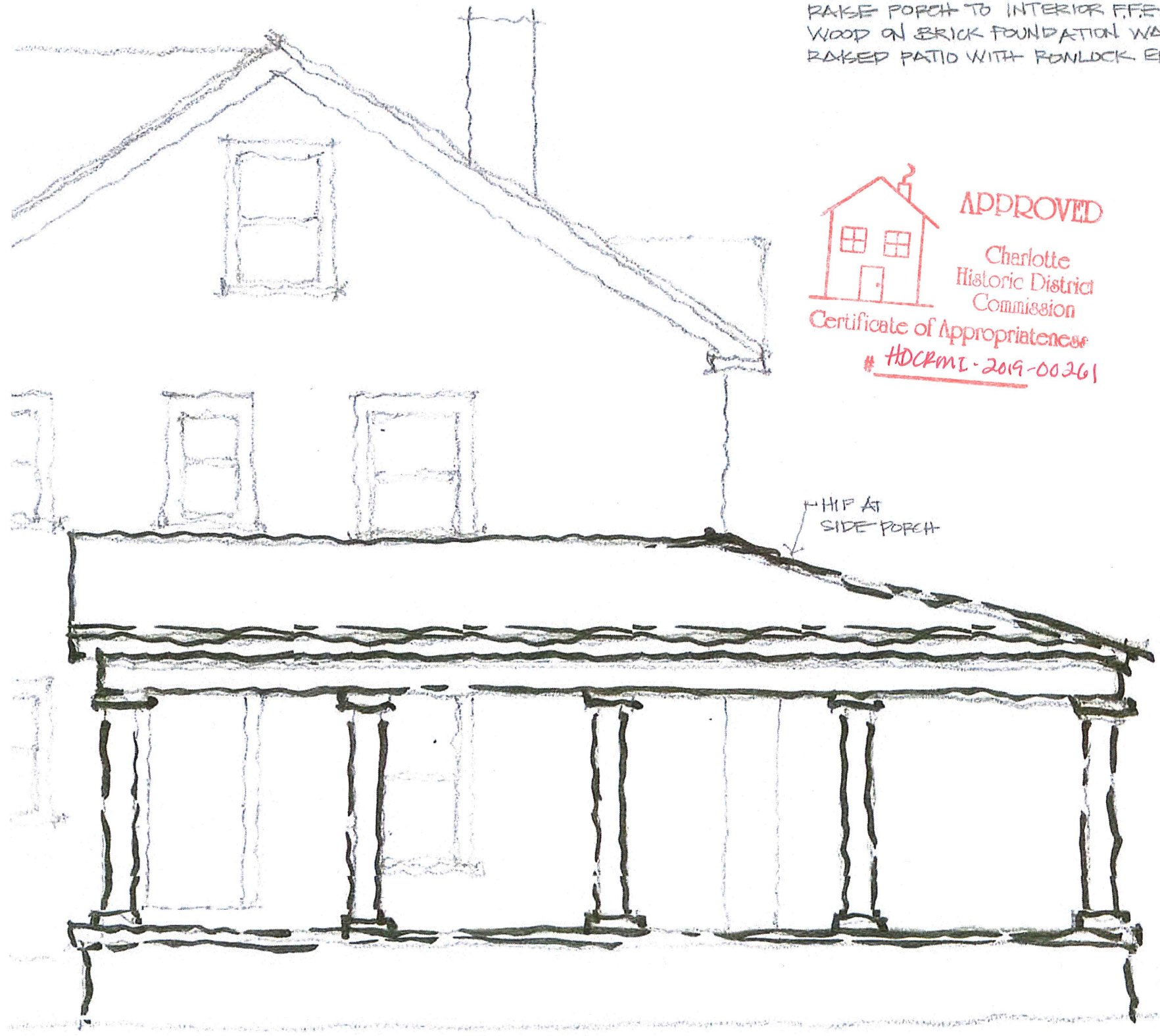
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FRONT  
ELEVATION -  
PARK RD

AI.0

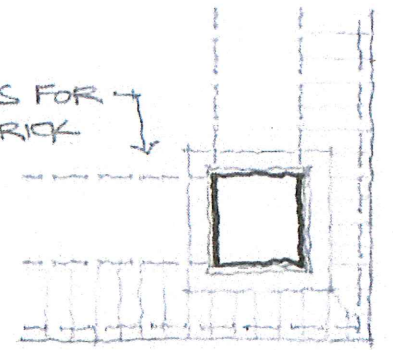




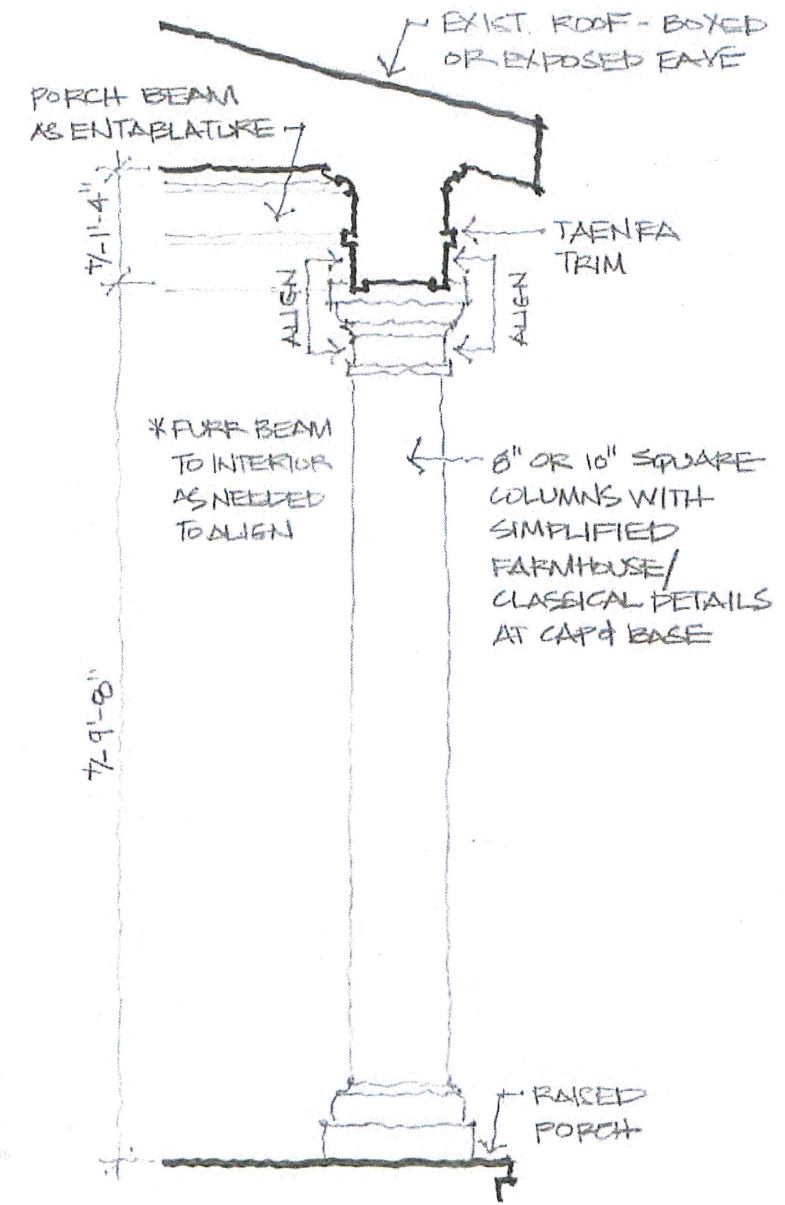
RAISE PORCH TO INTERIOR F.F.E. - OPTIONS FOR  
WOOD ON BRICK FOUNDATION WALL OR BRICK  
RAISED PATIO WITH ROUNDOCK EDGE

**APPROVED**  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
# HDCRMI-2019-00261

1 SIDE ELEVATION  
SCALE 1/4" = 1'-0"  
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3 PLAN  
SCALE 1/2" = 1'-0"



2 SECTION  
SCALE 1/2" = 1'-0"

GLENNON  
RENOVATION  
1936 Park Road  
Charlotte, NC  
28203

**DATES:**  
Existing -  
Schematics  
11 November 2013  
HDC  
22 November 2013  
02 December 2013  
Progress Drawings -  
Final Pricing -  
Revisions -

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COLUMN  
SECTION &  
SIDE  
ELEVATION

A.I.I