



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS-AMENDED

CERTIFICATE NUMBER: HDCADMRM-2019-00245

DATE: 29 July 2019

AMENDMENT DATE: 5 November 2019

ADDRESS OF PROPERTY: 820 E. Worthington Ave

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER: 12108714

OWNERS: Jeff and Christine Weiss

APPLICANT: Keith M Wesolowski,
RAM Construction

DETAILS OF APPROVED PROJECT: Rear Addition. The project is a right side rear addition that is no taller or wider than the existing building. The addition will measure 9' - ½" x 10' - 3" with a step down in the foundation for differentiation. The existing hipped roof will be extended over the new addition, with no increase in height and at the same roof pitch. Asphalt roof shingles will be installed to match the existing. Materials on the addition will be wood shingle siding, wood trim and wood rafter tails, all to match the existing materials on the house. A brick foundation will be used for the new addition but is to remain unpainted. The brick used for the new foundation should match the original brick used on the main house foundation prior to its (the original brick foundation) being painted.

~~Five existing windows will be reused for the addition.~~ All window trim will be wood and match the existing profiles on the house. Gutters will be extended to cover the addition and will match the existing, the existing downspout will be relocated to the new corner on the addition. The existing brick stairs are to remain. Any unfinished wood materials used in this project will be painted or stained. No changes will be made to existing windows or openings on the house other than those indicated on the plans. Rear yard open space will be 71% after the addition. See attached plans.

11/5/2019 Amendment: 1 existing window will be reused on the addition on the upper right-side elevation. New paired windows will be installed on the lower right-side elevation and the lower rear elevation of the addition. The existing non-historic paired kitchen windows on the lower right-side elevation in front of the addition will also be replaced. The new windows will be wood, double-hung, Simulated True Divided Lights (STDL) in an 8/1 pattern to match existing. No removable muntins will be used on the project. This approval does not imply approval of any wood window with visible plastic or vinyl components, as these do not meet HDC requirements. Window glass is to be the most translucent version available that meets NC building code requirements. All window trim and mullions will be wood and match the existing profiles on the house.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval-Additions, page 2.6: Work in Rear Yards.
2. This application is in compliance with the Policy & Design Guidelines for Additions (page 7.2).

Continued on next page

Date: 7/29/2019, Amendment date: 11/5/2019

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.



James Haden, Chairman



Staff

From: Kochanek, Cynthia <Cynthia.Kochanek@ci.charlotte.nc.us>
 Sent: Tuesday, May 7, 2019 12:35 PM
 To: Keith Wesolowski <kwes@ramconstruction.com>
 Subject: 820 E Worthington

Hello,
 Thank you for your application to the Charlotte Historic District Division. I am contacting you about your addition application for the rear of the structure at the above named address, application number HDCADMRM-2019-00245. In order for staff to process your application, we are seeking more details on the project. Please submit an existing site plan and elevations so I can verify existing conditions along with specifications for all the new/proposed materials. Will any existing trees be affected by this project?

We will also need rear yard open space calculations, as according to our HDC guidelines no more than 50% of the rear yard shall be of impermeable material. The HDC guidelines are located online here: <http://www.charmeck.org/Planning/HDC/DesignGuidelines.pdf> and the formula for the calculation is below.

One last thing, I didn't see the checklist and signature page attached to the electronic submission. It's a required document for the application, please have the owner sign that form and return it to me via email or upload it to Acela. It can be found here: <http://www.charmeck.org/Planning/HDC/GeneralSubmission/ReqirementsChecklist.pdf>

Rear Yard Open Space Calculations

- A. Rear Yard Total Square Footage (as measured from the back of the original house) _____ sf
- B. Existing:
 Square footage of any existing addition(s): _____ sf
 Square footage of any existing shed's, etc.: _____ sf
 Square footage of any existing pavement (driveway, patios, etc.): _____ sf
 Total Existing Impermeable area: _____ sf
 % existing impermeable: _____ %
- C. Proposed:
 Square footage of new Pool: _____ sf
 Square footage of Pool coping: _____ sf
 Total square footage of new project(s): _____ sf
 % new impermeable area: _____ %
- D. Total:
 Total Impermeable area post-construction: _____ sf
 % impermeable post-construction: _____ %

If you have any questions or concerns, please contact me at the information listed below. Please email me or submit via Acela the additional information requested above.
 Thank you,

MAMARO IS NOT RESPONSIBLE FOR IMPERVIOUS AREA CALCULATIONS. RAM CONSTRUCTION PRODUCED THE INFORMATION.

Without identifiers on the pictures, I am having a difficult time verifying where any of them are located and at that size, it's difficult to tell details. Elevations of those affected would be helpful. I need a site plan that indicates property lines and existing structures on the site in relation to them, this is also helpful for the rear yard open space calculations. The tree question was simply a verification, so the email stating that no trees are to be removed as part of this project is fine. I didn't see any specific details on materials in Acela other than brick and wood, it would be better for that to be spelled out in the plans. For example, if it's to match existing in color, size, materials, etc. please indicate that on the plans. Right now, the plans don't seem to reference materials in regards to the shake, etc. I need clarity on the material since there are options available out there that not wood. It looks like there are new and relocated windows, so I need specs on the new; Ply-Gem is not approvable by the HDC.

Thanks,
 Clady Kochanek
 Principal Planner, Historic District Division
 Charlotte Planning, Design & Development Department
 City of Charlotte
 600 E. Fourth Street, 8th Floor, Charlotte, NC 28202
 D: 704.336.1477
 Cynthia.Kochanek@charlottenc.gov
 Creating Great Places for Our Community



Lot size 50' x 145' = 7250 sq/ft
 Original rear yard 3557 sq/ft
 Existing Garage 480 sq/ft
 Old existing rear addition 315 sq/ft
 Original House 1401 sq/ft
 New proposed addition 95 sq/ft
 Existing (house and garage) impervious 2197 sq/ft
 All paving is permeable.

REVISED

TOTAL - ORIGINAL HOUSE 1401 SQ/FT IMPERVIOUS
 TOTAL - ADDITIONS (INCLUDING PROPOSED AND EXISTING) IMPERVIOUS AT REAR YARD 890 SQ/FT
 TOTAL - ORIGINAL REAR YARD 3557 SQ/FT - ALLOWABLE USE @ 50% = 1778.5 SQ/FT
 TOTAL - LOT 7250 SQ/FT - ALLOWABLE IMPERVIOUS @ 35% = 2537 SQ/FT
 TOTAL IMPERVIOUS ALL STRUCTURES INCLUDING PROPOSED ADDITION 2291 SQ/FT = 31.6%

I came up with calculations for the rear yard of ~3,100 sf for the total rear yard, 480 sf for the garage, 316 sf for the old addition, 95 sf new addition = 2,209/3,100 = ~71% open space.

MESS RESIDENCE

820 EAST NORTHINGTON

CHARLOTTE, NC 28203



HDCADMRM-2019-00245

SHEET NUMBER DESIGNATION

ARCHITECTURAL

- CS COVER SHEET
- A1 EXTERIOR ELEVATIONS
- A2 FOUNDATIONS
- A3 1ST FLOOR PLANS
- A4 2ND FLOOR PLANS
- A5 1ST FLOOR ELECTRICAL PLANS
- A6 2ND FLOOR ELECTRICAL PLANS
- A7 ROOF PLAN
- AD CONSTRUCTION DETAILS

KEY TO SYMBOLS

AREA TABULATION

HEATED SQ. FT.	
EXISTING FIRST FLOOR	- S.F.
EXISTING SECOND FLOOR	- S.F.
NEW FIRST FLOOR	42 S.F.
NEW SECOND FLOOR	42 S.F.
TOTAL HEATED	184 S.F.
COVERED PORCH ADDITION	S.F.
OPTIONAL HEATED SQ. FT.	
UNHEATED SQ. FT.	
NEW COVERED DECK 1ST FLOOR	S.F.
NEW COVERED DECK 2ND FLOOR	S.F.
	S.F.
OPTIONAL UNHEATED SQ. FT.	

NOTE: AREA CALCULATIONS ARE NOTED FOR BASE HOUSE CONDITIONS AND ARE SUBJECT TO CHANGE WITH VARIOUS ELEVATIONS, OPTIONS OR OTHERWISE OWNERS.

ELECTRICAL LEGEND

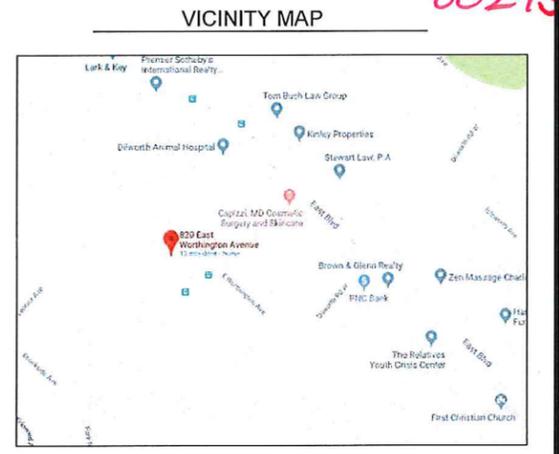
SWITCH	110V BOX/GRID RECEPTACLE
3-WAY SWITCH	SEMI-RIGID/STRUCTURED WIRING PANEL
4-WAY SWITCH	GFI OUTLET
WALL MOUNTED LIGHT	220V RECEPTACLE
RECESSED LIGHT	QUADPLEX OUTLET
RECESSED W/ EYEBALL TRIM	110V FLOOR RECEPTACLE
BATH EXHAUST FAN	18" FLUORESCENT LIGHT
DISPOSAL	CEILING FAN OUTLET
CHIMES	CEILING FAN PULLWIRE
CEILING FIXTURE OUTLET	ELECTRICAL WIRING
110V RECEPTACLE	SMOKE DETECTOR
110V SWITCHED RECEPTACLE	SMOKE/OPEN MONITOR ALARM
110V RECEPTACLE - SEE NOTES E7 & E8	

ELECTRICAL NOTES

- ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION NATIONAL ELECTRICAL CODE, NFPA-70E.
- ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES BY A LICENSED CONTRACTOR WHO SHALL BE RESPONSIBLE FOR OBTAINING PERMITS AND INSPECTIONS.
- RECEPTACLES/TV OUTLETS SHALL BE MOUNTED AT 12" AFF UNAD.
- MICROWAVE OVEN SHALL BE INSTALLED WITH SEPARATE 20 AMP SINGLE RECEPTACLE AT 78" AFF.
- BATHROOM RECEPTACLES SHALL BE GFI MOUNTED AT 42" AFF UNLESS NOTED OTHERWISE.
- EXTERIOR RECEPTACLES SHALL BE GFI AND WEATHER PROTECTED.
- WASHER/DRYER RECEPTACLES SHALL BE MOUNTED AT 44" AFF.
- TELEPHONE OUTLETS SHALL BE MOUNTED AT 18" AFF. WALL MOUNTED TELEPHONE OUTLETS SHALL BE MOUNTED AT 54" AFF. WITH COVER PLATE TERMINATE NEAR PANEL.
- KITCHEN COUNTER AND REFRIGERATOR RECEPTACLES SHALL BE MOUNTED AT 44" AFF.
- SWITCHES SHALL BE MOUNTED AT 48" AFF.

ABBREVIATIONS

A.B.	ANCHOR BOLT	FD	FLOOR DRAIN
A/C	AIR COOLING UNIT	FIN	FOUNDATION
ADJ	ADJACENT	FF	FINISH FLOOR
AF	ABOVE FINISHED FLOOR	FTD	FOOTING
AHU	AIR HANDLING UNIT	FP	FIREPLACE
ALUM	ALUMINUM	HB	HOSE BIB
APPROX	APPROXIMATELY	HR	HEADER
BLK	BLOCK	HIT	HEADIT
BM	BENCH MARK	ICL	ICE MAKER LINE
BTM	BOTTOM	JST	JOIST
BRG	BEARING	MAX	MAXIMUM
BRN	BROWN	MFR	MANUFACTURER
BTWN	BETWEEN	MSN	MASONRY
C	CENTER LINE	MO	MASONRY OPENING
CLD	CEILING	MIS	NOT TO SCALE
COL	COLUMN	OPND	OPENING
CONC	CONCRETE	OPNG	OPENING
CONT	CONTINUOUS	REF	REFRIGERATOR
CPT	CARPET	RES	RESILIENT FLOORING
DA	DIAMETER	SH	SHIM
DN	DOWN	SRO	SHEET ROCK OPENING
DR	DRAIN	TB	TOWEL BAR
DS	DOWNSPOUT	TYP	TYPICAL
DWG	DRAWING	VAL	VALVE
EA	EACH	UNO	UNLESS NOTED OTHERWISE
EL	ELEVATION	WD	WOOD
ELED	ELECTRO		
EQ	EQUAL		
EXH	EXHAUST		
EXT	EXTERIOR		



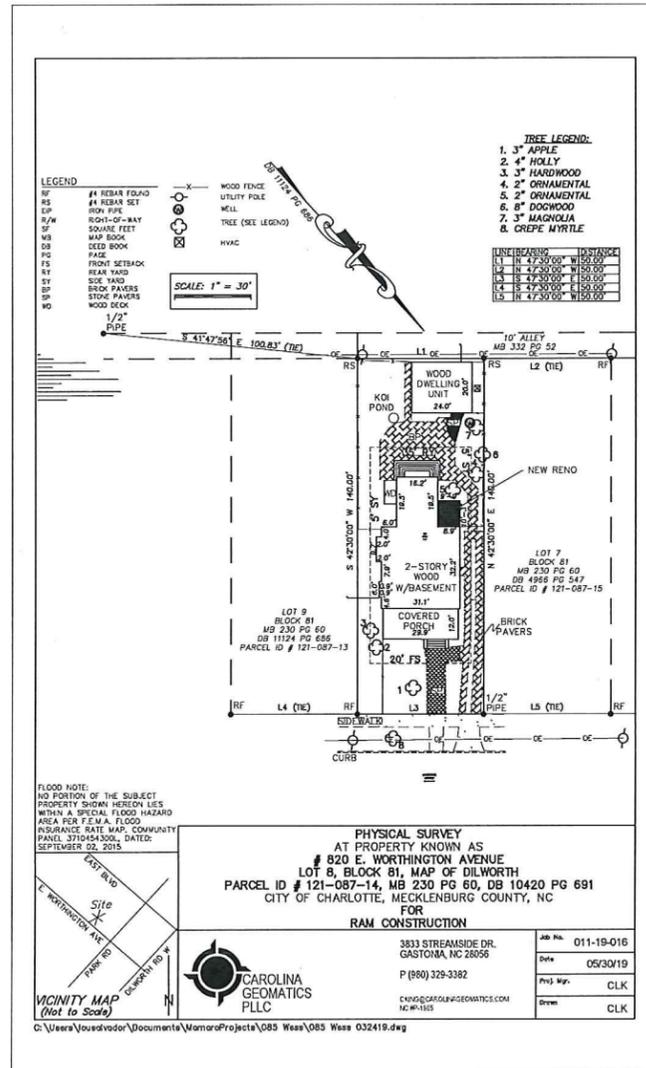
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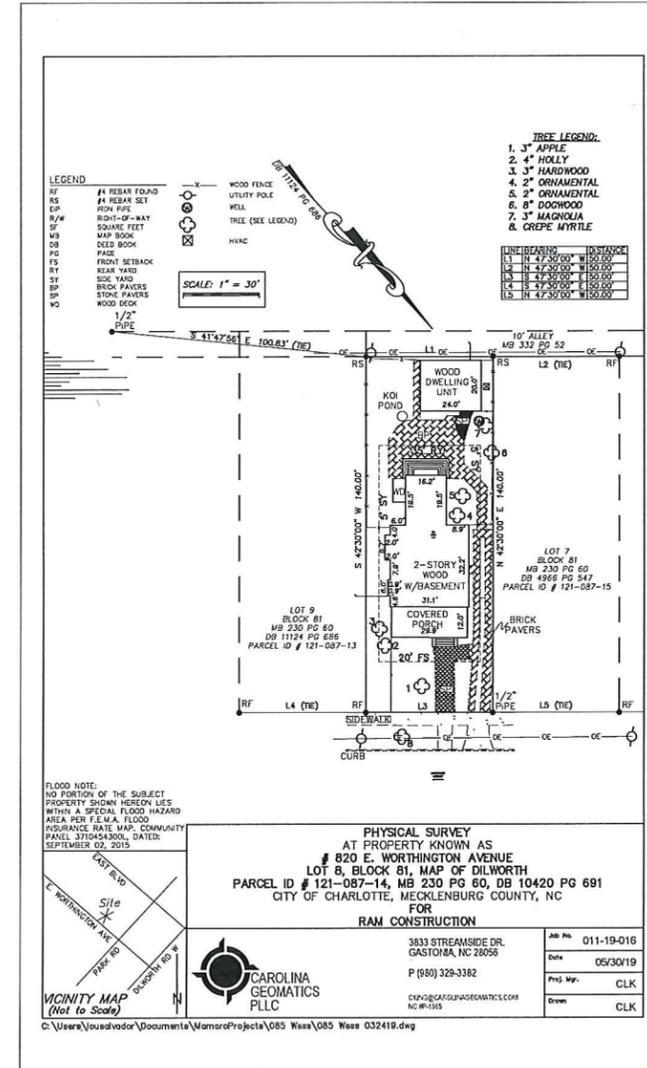
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1 NEW SITE PLAN
 AS 1/32" = 1'-0"



2 EXISTING SITE PLAN
 AS 1/32" = 1'-0"

SITE PLANS



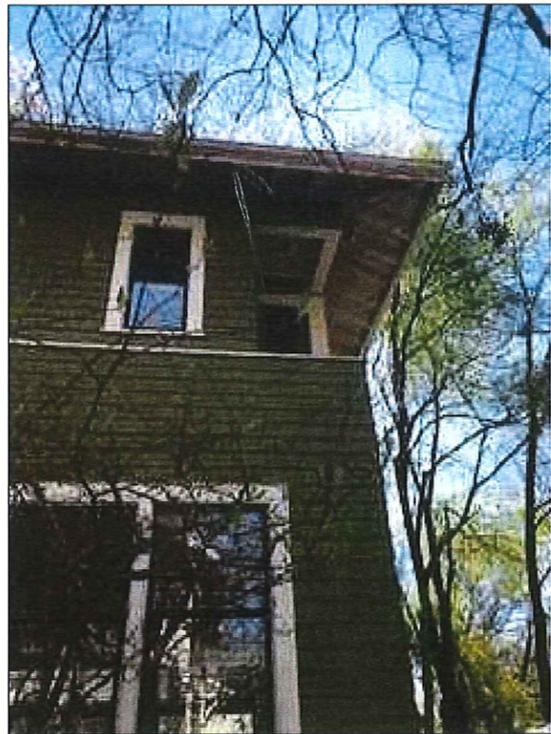
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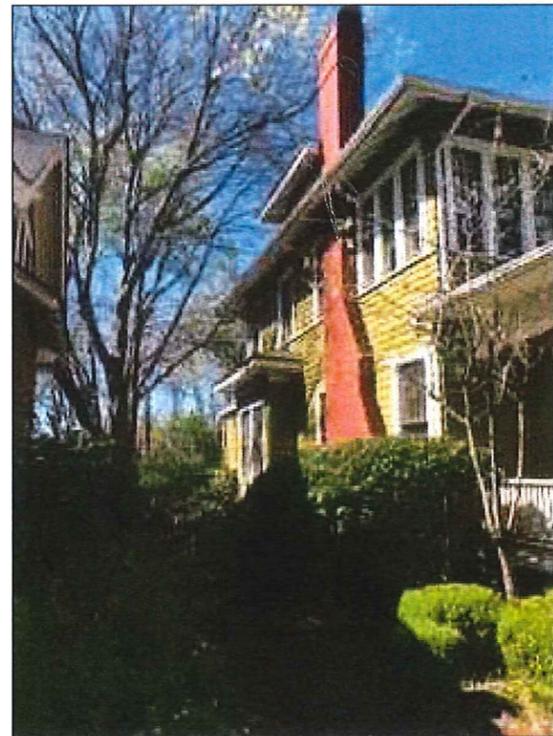
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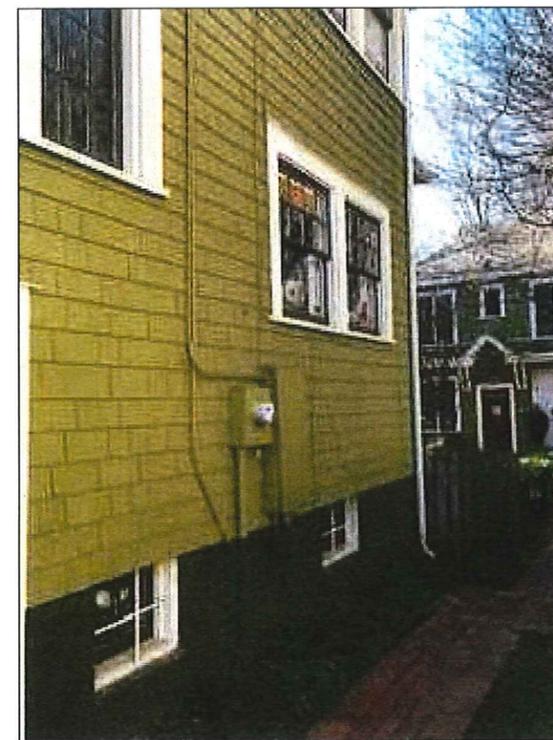
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1.1 EXISTING RIGHT ELEVATION PICTURE



2
1.1 EXISTING LEFT ELEVATION PICTURE



3
1.1 EXISTING RIGHT ELEVATION PICTURE



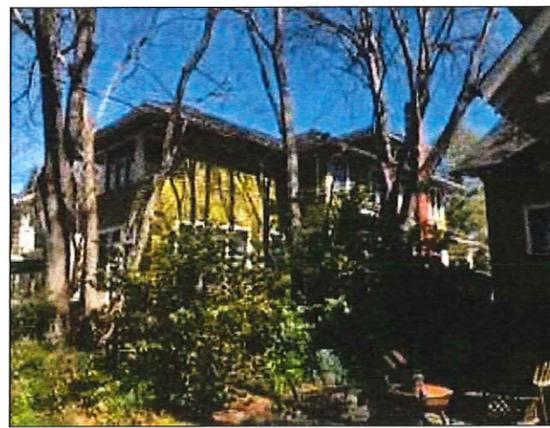
4
1.1 EXISTING RIGHT ELEVATION PICTURE N.T.S



5
1.1 EXISTING RIGHT ELEVATION PICTURE



6
1.1 EXISTING RIGHT ELEVATION PICTURE



7
1.1 EXISTING LEFT ELEVATION PICTURE



8
1.1 EXISTING ELEVATION PICTURE N.T.S

EXISTING PICTURES

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1.1

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Charlotte
Historic District
Commission
Certificate of Appropriateness
HDCADMRM-2019-00245

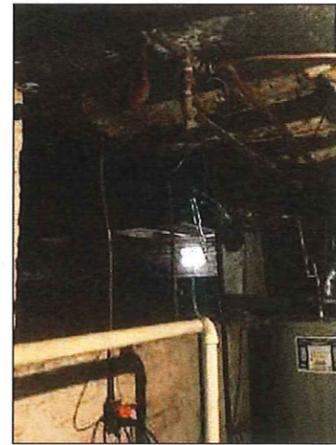
SCALE 1/4" = 1'-0"



1
1.2 EXISTING INTERIOR PICTURE



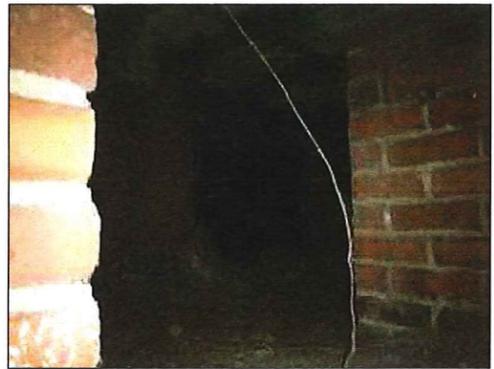
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1.2 EXISTING INTERIOR PICTURE



3
1.2 EXISTING INTERIOR PICTURE



4
1.2 EXISTING INTERIOR PICTURE



5
1.2 EXISTING INTERIOR PICTURE



6
1.2 EXISTING INTERIOR PICTURE



7
1.2 EXISTING INTERIOR PICTURE



8
1.2 EXISTING INTERIOR PICTURE



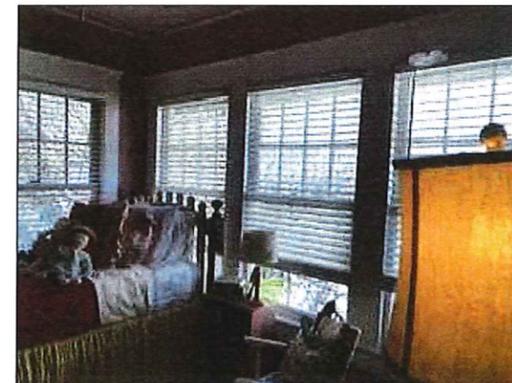
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1.2 EXISTING INTERIOR PICTURE



10
1.2 EXISTING INTERIOR PICTURE

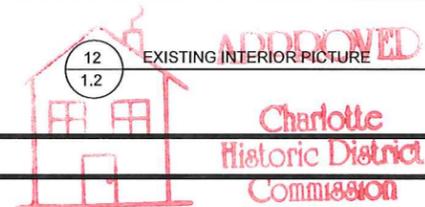


11
1.2 EXISTING INTERIOR PICTURE



12
1.2 EXISTING INTERIOR PICTURE

INTERIOR PICTURES ELEVATION



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1.2

SCALE 1/4" = 1'-0"

PIER LEGEND:



FLUSH PIERS

DROPPED PIERS

CRAWL SPACE VENTILATION CALCULATIONS

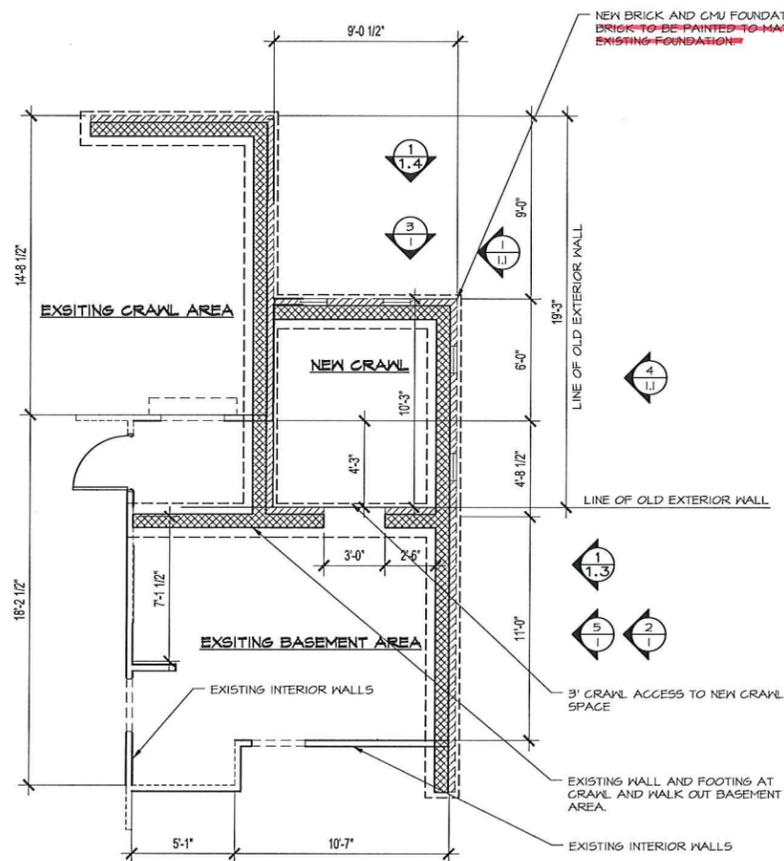
NOTE:
16" x 8" SCREENED FOUNDATION VENT = 60 SQ.FT. VENTED AREA
REQ'D. 1 SQ.FT. PER EVERY 150 SQ.FT. OF CRAWL SPACE.

CALCULATIONS:
CRAWL SPACE 42 SQ.FT. DIVIDED BY 150 SQ.FT. =
1 SQ.FT. REQ'D VENTED AREA
1 SQ.FT. REQ'D VENTED AREA DIVIDED BY .60 SQ.FT.
1 REQ'D VENTS

NOTE:
LOCATE GRADE BEAMS
UNDER ALL LOAD-
BEARING WALLS

NOTE:
CRAWL SPACE ACCESS AND
VENT LOCATIONS DETERMINED
IN FIELD

NOTE:
DOUBLE ALL JOISTS UNDER
PARTION WALLS RUNNING
PARALLEL TO JOISTS.



1
2C FRONT PORCH FOUNDATION SCALE 1/4" = 1'-0"

METHODS OF PROTECTION SHALL BE BY CHEMICAL SOIL TREATMENT OR OTHER METHODS APPROVED BY THE NORTH CAROLINA

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PORCH FOUNDATION PLAN

SCALE 1/4" = 1'-0"

ZONE 3

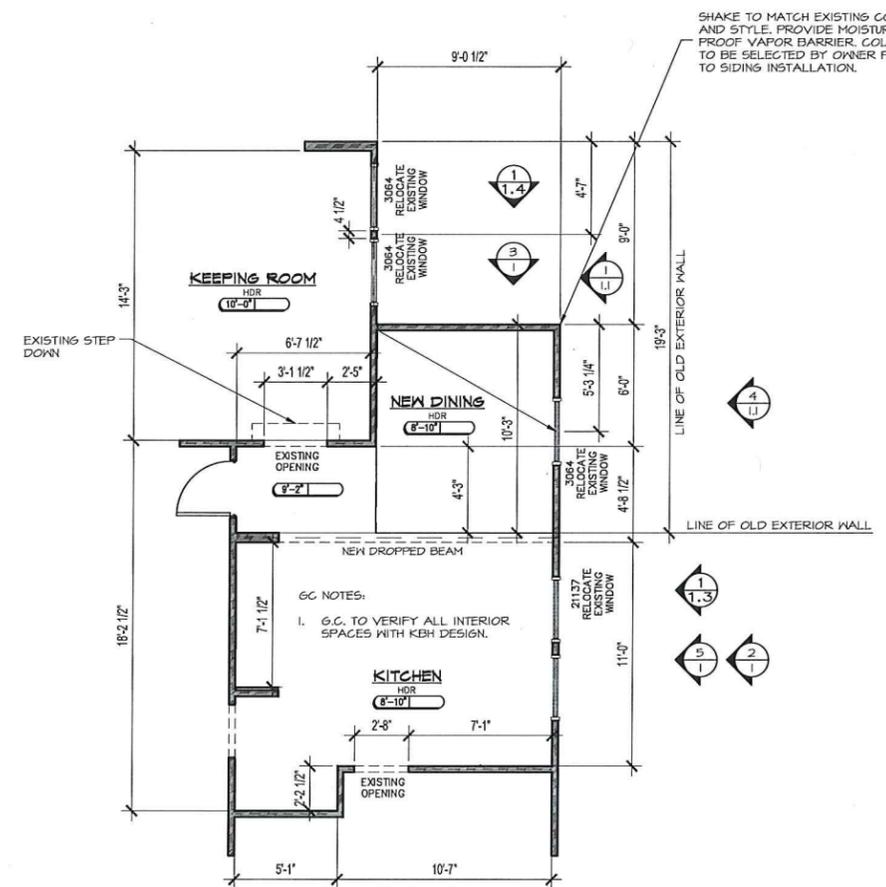
TABLE N1102.1.2 (R402.1.2)
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^{b,c}	SKYLIGHT ^d U-FACTOR	GLAZED FENESTRATION SHGC ^{e,f}	CEILING R-VALUE ^g	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^h	FLOOR R-VALUE	BASEMENT ^{i,j} WALL R-VALUE	SLAB ^k R-VALUE & DEPTH	CRAWL SPACE ^l WALL R-VALUE
3	0.35	0.55	0.30	38 or 30ci	15 or 13 + 2.5"	5/13 or 5/10ci	19	5-13"	0	5-13
4	0.35	0.55	0.30	38 or 30ci	15 or 13 + 2.5"	5/13 or 5/10ci	19	10-15"	10	10-15
5	0.35	0.55	NR	38 or 30ci	15" or 13 + 2" or 15 + 3"	13/17 or 13/12.5ci	20 ^m	10-15"	10	10-12

For R2: 1 foot = 304.8 mm

a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the total design thickness of the insulation, the required R-value of the insulation shall not be less than the R-value specified in the table.
b. The fenestration U-factor excludes skylights. The SHGC column applies to all glazed fenestration.
c. "15-15" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-15 cavity insulation at the interior of the basement wall or crawl space wall.
d. R-5 shall be added to the required skylight U-values for heated areas. For unheated areas, insulation shall be applied from the exterior, also extending to the bottom of the footing or a maximum of 24 inches below grade, whichever is less. For further details, consult the International Residential Code or ASHRAE 90.1-2010, Section 5.5.2.1. (See Appendix G.)
e. SHGC.
f. Basement wall insulation is not required in unhumid locations as defined by Figure N1102.1.2 and Table N1102.1.2.
g. Or insulation sufficient to fill the framing cavity. R-19 minimum.
h. The first value is cavity insulation. The second value is continuous insulation. An "15-15" means R-15 cavity insulation plus R-15 continuous insulation. If structural sheathing covers 25 percent or less of the exterior, insulation sheathing is not required where structural sheathing is used. Structural sheathing covers more than 75 percent of exterior, structural sheathing must be supplemented with insulating sheathing of at least R-2.
i. The second R-value applies when more than half the insulation is on the interior of the mass wall.
j. In addition to the exception in Section N1102.1.2.2, a maximum of two glazed fenestration product assemblies having a U-factor no greater than 0.55 shall be permitted to be substituted for exterior walls fenestration product assemblies without penalty.
k. In addition to the exception in Section N1102.1.2.2, a maximum of two glazed fenestration product assemblies having a SHGC no greater than 0.75 shall be permitted to be substituted for minimum rated fenestration product assemblies without penalty.
l. R-5 shall be deemed to apply. The interior insulation requirement otherwise the full height of unperforated R-20 insulation, extend over the full top edge of the slab. Otherwise R-20 insulation is required where a vertical concrete edge or foundation wall exists adjacent to the foundation walls within 1 foot of the exterior deck.
m. Table values required except for roof areas where the slope is limited by the pitch of the roof, then the insulation must fit the space via the air barrier.
n. R-19 floor insulation is permitted and installed in a basement 2 x 4 framing cavity is deemed to comply. Floor joists shall have R-19 or higher compression and installed in a 2 x 4 wall is not deemed to comply.
o. Basement wall meeting the minimum mass wall specific heat capacity requirement may use the wall's total R-value as the minimum requirement.

2 INSULATION CHART N.T.S.



1 NEW 1ST FLOOR PLAN SCALE 1/4" = 1'-0"

NEW 1ST FLOOR PLAN

→ wood shake to match

- STRUCTURE NOTES:**
- THE LATERAL BRACING REQUIREMENTS FOR THIS PLAN HAVE BEEN ACCOUNTED FOR UTILIZING AN ENGINEERED DESIGN AS PERMITTED IN REG210.4 OF THE 2018 NORTH CAROLINA RESIDENTIAL CODE.
 - ALL PERIMETER WALLS ARE TO BE FULLY SHEATHING WITH A MINIMUM 3/8" OSB AND ATTACHED TO THE WALL FRAMING STUDS WITH 8d (25x0.0151") NAILS 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. SPACING AT INTERMEDIATE SUPPORTS.
 - INSTALL BLOCKING ALONG OSB PANEL EDGES, FASTEN PANEL EDGES AT BLOCKING AT 3" O.C. AND 6" O.C. AT INTERMEDIATE FRAMING WHEN LESS THAN 50% BUT GREATER THAN 25% OF WALL IS SHEATHED.
 - SHEATH ALL GABLE END WALLS WITH 3/8" OSB.
- GC NOTES:**
- G.C. RESPONSIBLE FOR OBTAINING ALL PERMITS PRIOR TO CONSTRUCTION.
 - G.C. IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 - NO SURVEY PROVIDED. MAMARO IS NOT RESPONSIBLE FOR MAKING SURE NEW DESIGN IS WITHIN THE SETBACKS. GC TO VERIFY BEFORE CONSTRUCTION.
 - G.C. TO PROVIDE MANUAL JS AND RES CHECK IF REQUIRED TO OBTAIN PERMIT.
- ELECTRICAL NOTES:**
- INSTALL ALL SMOKE AND CARBON DETECTORS PER LOCAL AN STATE BUILDING CODES.
 - CONTRACTOR TO VERIFY ALL TV AND DATA LOCATIONS PRIOR TO INSTALLATION.
 - VERIFY CURRENT ELECTRICAL PANEL BEFORE ADDING NEW ONE.
 - G.C. TO VERIFY ALL LOCATION OF EXISTING OUTLETS AND SWITCH PRIOR TO STARTING CONSTRUCTION.

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HDC AdmEM-2019-00245

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820 EAST WORTHINGTON
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WESS RESIDENCE

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3

SCALE 1/4" = 1'-0"

ZONE 3

TABLE N1102.1.2 (R402.1.2)
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE ZONE	FENESTRATION U-FACTOR ^{a,b}	SKYLIGHT ^c U-FACTOR	GLAZED FENESTRATION SHGC ^d	CEILING R-VALUE ^e	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ^{f,g} WALL R-VALUE	SLAB ^h R-VALUE & DEPTH	CRAWL SPACE ⁱ WALL R-VALUE
3	0.35	0.55	0.50	28 or 30ci	15 or 13 + 2.5"	5/13 or 5/15ci	19	5/13'	0	5/13
4	0.35	0.55	0.30	38 or 30ci	15 or 13 + 2.5"	5/13 or 5/15ci	19	10/15	10	10/15
5	0.35	0.55	NR	28 or 30ci	19' or 13 + 6' or 15 + 3'	13/17 or 13/12.5ci	30'	10/15	10	10/15

For Sl. 1 Not = 24.0 mm

a. R-values are minimum U-factors and SHGC are maximum. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the required R-value of the insulation shall not be less than the R-value specified in the table.

b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

c. 15/15' means R-15 continuous insulated skylights on the interior or exterior of the home or R-15 continuous insulation at the interior of the basement wall or crawl space wall.

d. R-5 shall be added to the required side edge R-values for heated slabs. For monolithic slabs, insulation shall be applied from the top surface and downward to the bottom of the slabs or a minimum of 24 inches below grade, whichever is less. For floating slabs, insulation shall be applied to the bottom of the foundation wall or 24 inches, whichever is less. (See Appendix G.)

e. Ceiling.

f. Basement wall insulation is not required in semi-buried locations as defined by Figure N1101.1.7 and Table N1101.1.7.

g. Or insulation sufficient to fill the framing cavity, R-19 minimum.

h. The first value is cavity insulation, the second value is continuous insulation, 10'-0" means R-10 cavity insulation plus R-5 continuous insulation. If structure sheathing covers 25 percent or less of the exterior, insulation sheathing is not required where structural sheathing is used. If structure sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented to R-10 by the sheathing of Table N-2.

i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

j. In addition to the exception in Section N1102.1.2, a maximum of two exterior fenestration product assemblies having a U-factor no greater than 0.35 shall be permitted to be installed for perimeter egress compliance for assemblies without operable parts.

k. In addition to the exception in Section N1102.1.2, a maximum of two exterior fenestration product assemblies having a SHGC no greater than 0.30 shall be permitted to be installed for perimeter egress compliance for assemblies without operable parts.

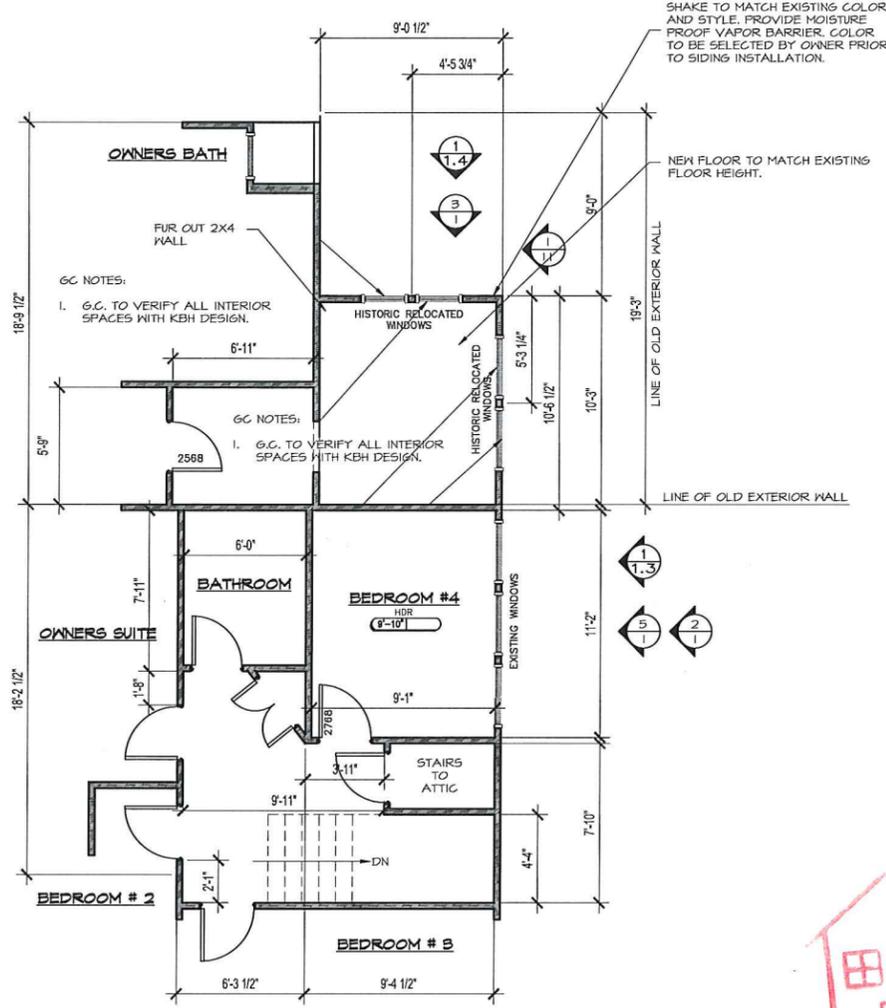
l. R-20 shall be deemed to satisfy the ceiling insulation requirement where the total thickness of compressed R-20 insulation exceeds over the ceiling to grade at the stairs. Otherwise, R-20 insulation is required where above-ceiling egress or ventilation exist either to the exterior or to a crawlspace.

m. Tapes shall be applied to the exterior wall surface to the extent of the wall. The insulation shall be applied to the exterior wall surface.

n. R-20 insulation shall be compressed and installed in a minimum 2 x 4 stud cavity as detailed in Appendix G. The cavity shall be 6-18 or higher compressed and installed in a 2 x 4 wall not deemed to comply.

o. Basement wall insulation shall specify heat transfer measurement only use the mass wall R-value as the minimum requirement.

2 INSULATION CHART
3.1 N.T.S.



1 NEW 2ND FLOOR PLAN
3.1 SCALE 1/4" = 1'-0"

weird shake to match

- STRUCTURE NOTES:
- THE LATERAL BRACING REQUIREMENTS FOR THIS PLAN HAVE BEEN ACCOUNTED FOR UTILIZING AN ENGINEERED DESIGN AS PERMITTED IN R602.10.4 OF THE 2018 NORTH CAROLINA RESIDENTIAL CODE.
 - ALL PERIMETER WALLS ARE TO BE FULLY SHEATHING WITH A MINIMUM 5/8" OSB AND ATTACHED TO THE WALL FRAMING STUDS WITH 24 (25x0.019") NAILS 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. SPACING AT INTERMEDIATE SUPPORTS.
 - INSTALL BLOCKING ALONG OSB PANEL EDGES, FASTEN PANEL EDGES AT BLOCKING AT 3' O.C. AND 6' O.C. AT INTERMEDIATE FRAMING WHEN LESS THAN 50% BUT GREATER THAN 25% OF WALL IS SHEATHED.
 - SHEATH ALL GABLE END WALLS WITH 5/8" OSB.
- GC NOTES:
- G.C. RESPONSIBLE FOR OBTAINING ALL PERMITS PRIOR TO CONSTRUCTION.
 - G.C. IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 - NO SURVEY PROVIDED, MAMARO IS NOT RESPONSIBLE FOR MAKING SURE NEW DESIGN IS WITHIN THE SETBACKS, GC TO VERIFY BEFORE CONSTRUCTION.
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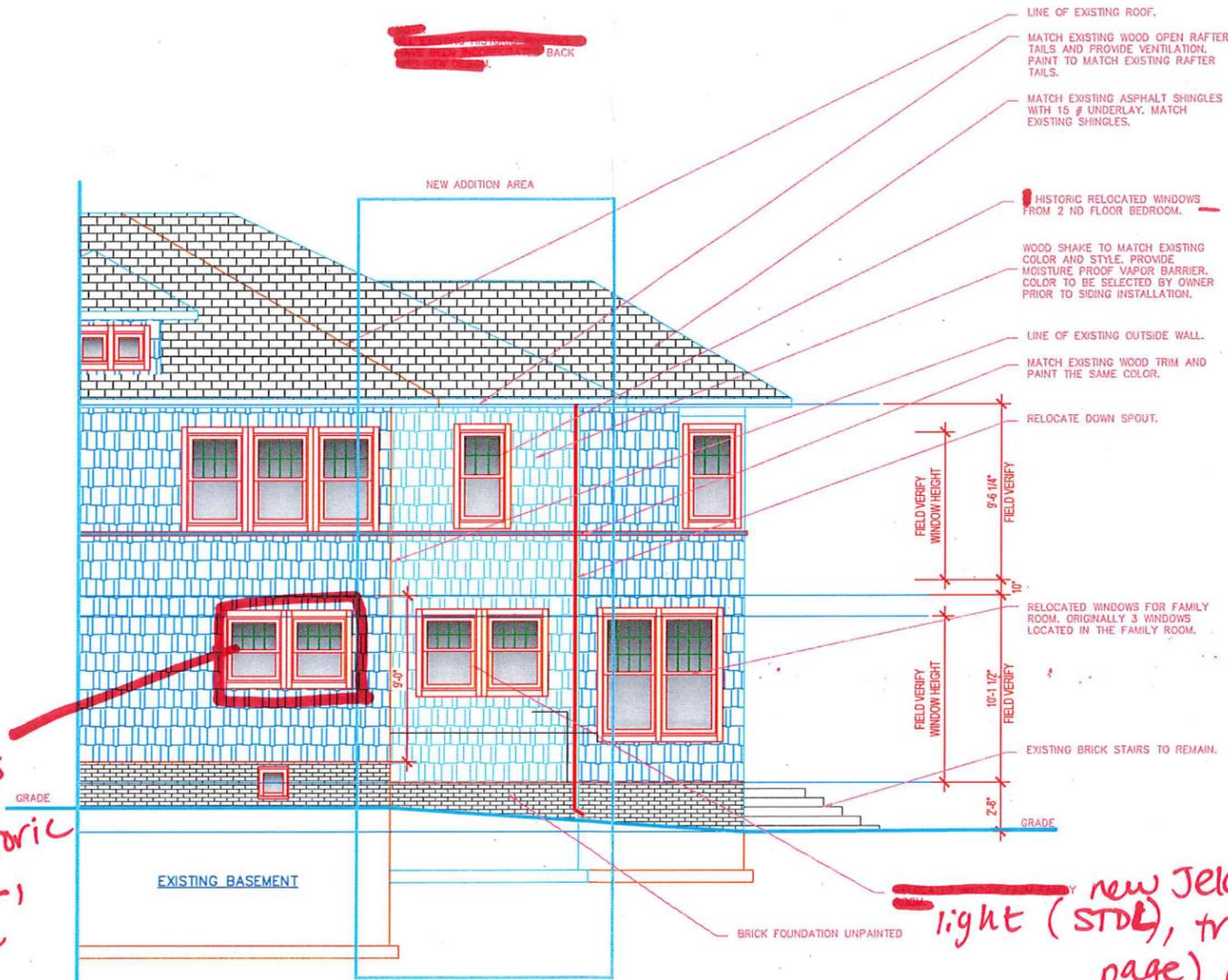
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DR. BY: LPS
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Addition right elevation - Nov. 2019



Jeld-wen
siteline windows
to replace
existing non-historic
windows, STD, trim to match
existing (see
window detail page)
center mullion
to match
existing

new Jeld-wen siteline windows, simulated true divided
light (STD), trim to match existing (see window detail
page), center mullion to match existing



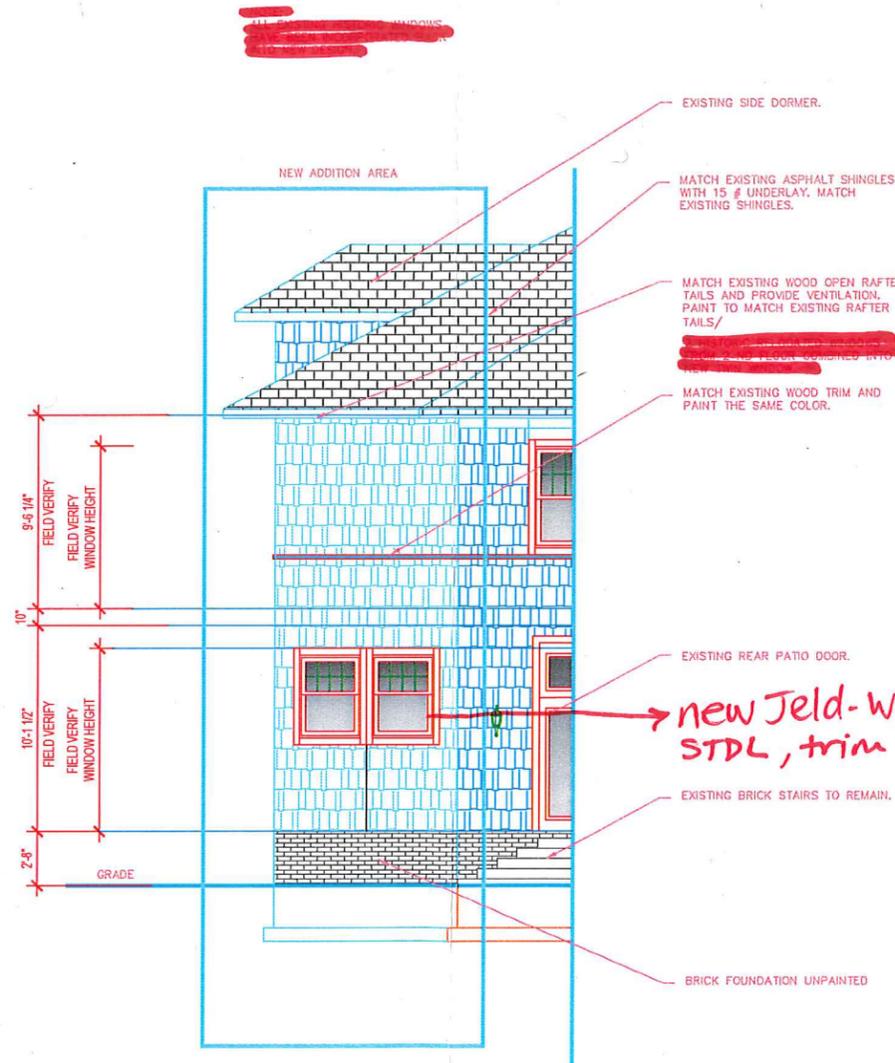
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Addition rear elevation- Nov. 2019



new Jeld-Wen siteline windows
 STDL, trim to match existing, see window detail page - center
 mullion to match existing

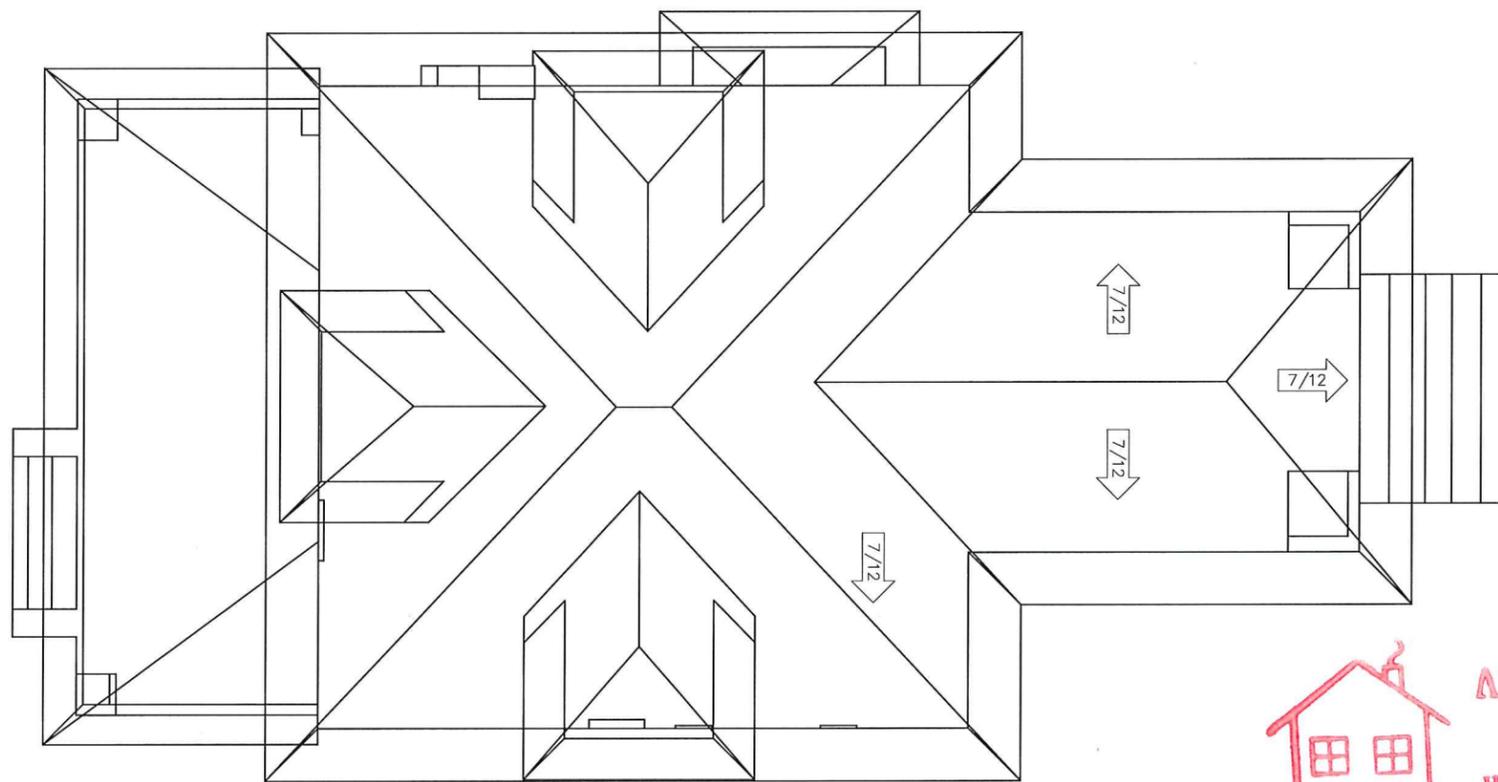


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1
7 EXISTING ROOF PLAN SCALE 1/4" = 1'-0"

EXISTING ROOF PLAN

SCALE 1/4" = 1'-0"



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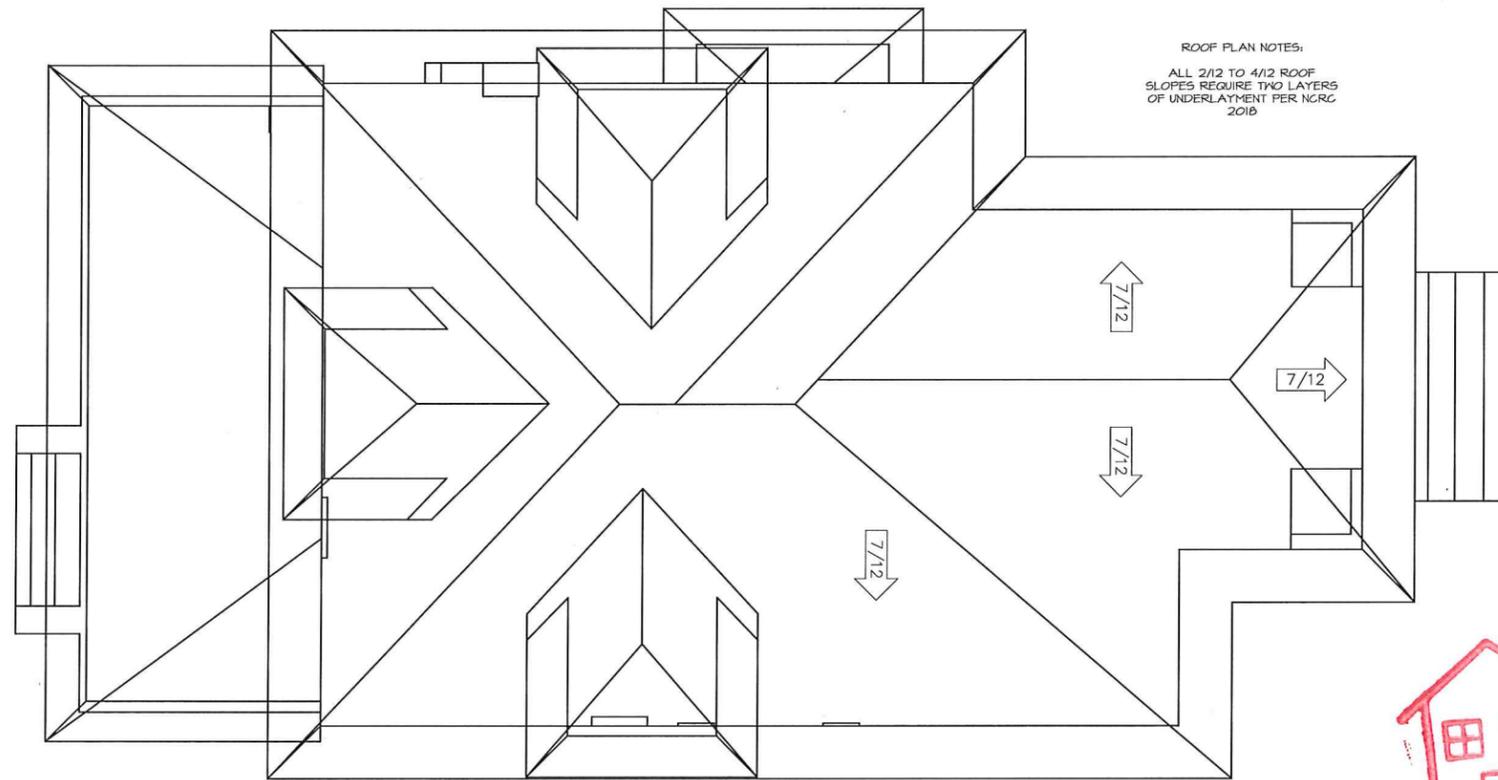
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ROOF PLAN NOTES:
 ALL 2/12 TO 4/12 ROOF
 SLOPES REQUIRE TWO LAYERS
 OF UNDERLAYMENT PER NCRG
 2018

1 NEW ROOF PLAN
 7.1 SCALE 1/4" = 1'-0"

NEW ROOF PLAN

SCALE 1/4" = 1'-0"

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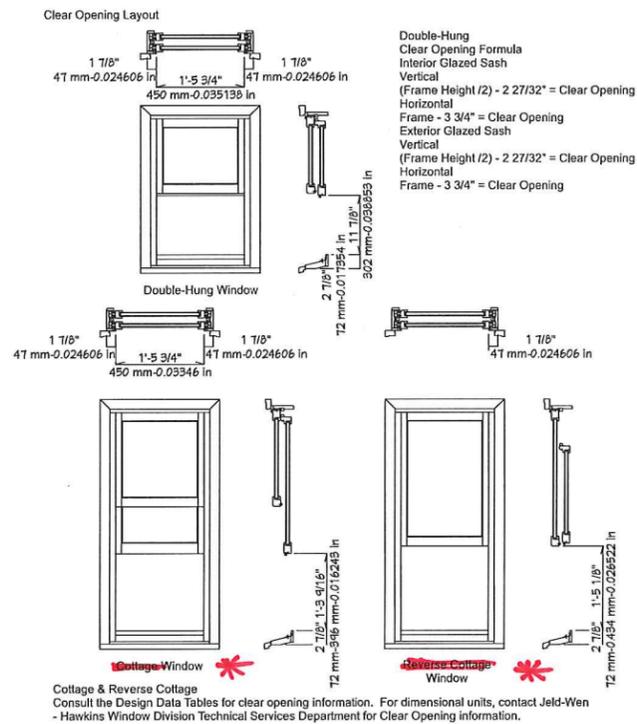
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Window Detail Page - Nov. 2019



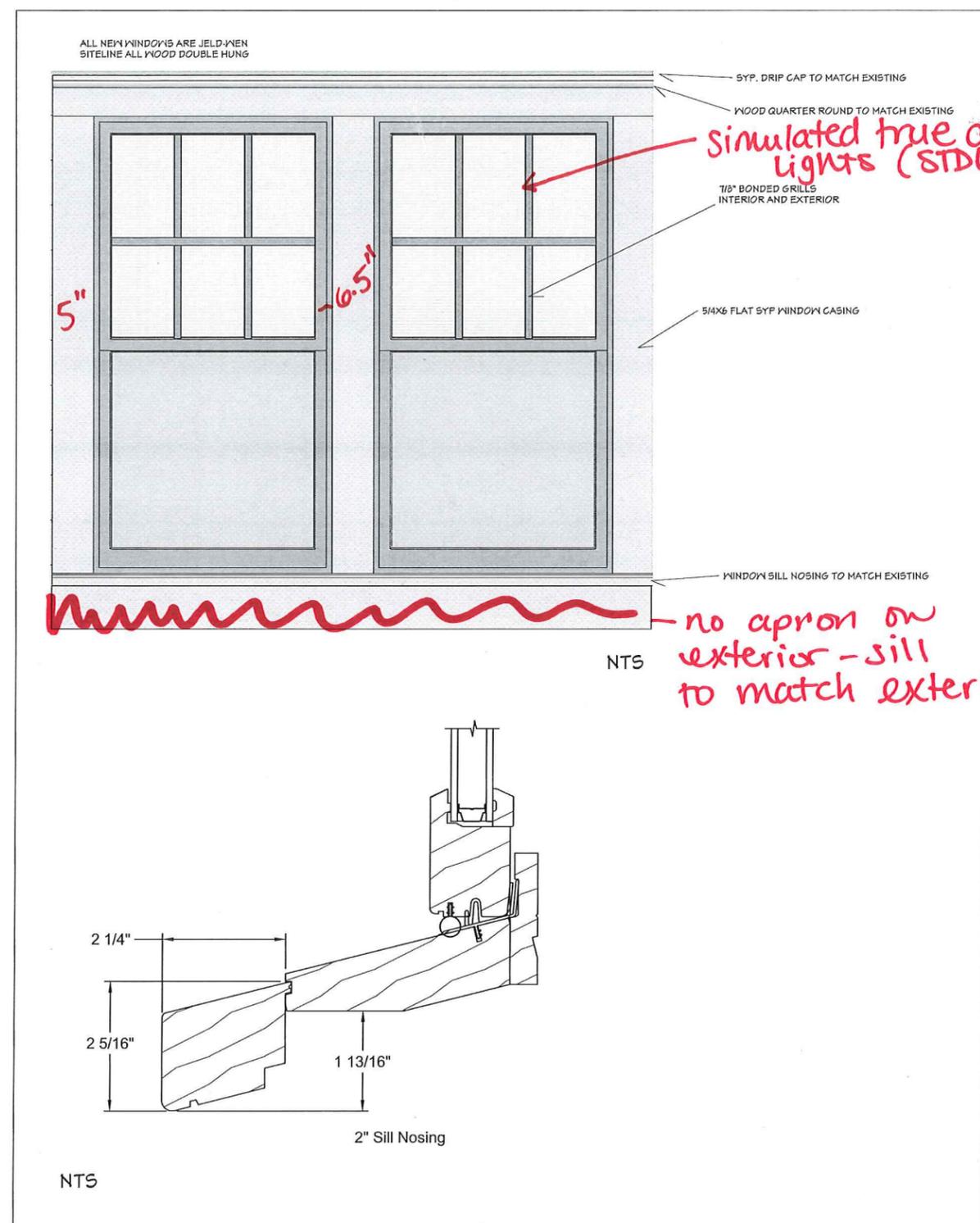
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* cottage style windows not used on this project

	SITELINE WOOD WINDOW DOUBLE-HUNG
	CLEAR OPENING
SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE	



REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	DATE

JEFF WEISS
 820 EAST WORTHINGTON
 CHARLOTTE, NC. 28203

DRAWINGS PROVIDED BY:
 RAM DESIGN BUILD
 401 RENSSELAER AVE.
 CHARLOTTE, NC. 28203

DATE:
 9/30/2019

SCALE:
 1/4"=1'

SHEET:
 A-7