



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMI-2019-00204

DATE: July 29, 2019

ADDRESS OF PROPERTY: 720 East Kingston Avenue

TAX PARCEL NUMBER: 12311812

HISTORIC DISTRICT: Dilworth

OWNER: Jonathan and Dare Pfeifer

APPLICANT: Jessica Hindman

**DETAILS OF APPROVED PROJECT: Rear Addition.** The proposal is rear addition that is no taller than the original house, but is +/- 3' wider on the left elevation. The new rear addition will tie in below the existing ridge. All proposed materials will match existing, including the brick piers/wood columns, wood Dutch lap siding, brackets and trim. New Jeld-Wen aluminum clad wood windows will match existing in proportion and design with Simulated True Divided Lights (STDL) in a 6/1 pattern. On the right elevation, a secondary flue will be removed and a new shed dormer will be constructed. The existing gravel drive will be changed to a concrete carriage track drive approximately 8' in width. No trees are proposed to be removed. Post-construction the rear yard open space will be 75%. See attached plans.

The project was approved by the HDC May 8, 2019.

**Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.**

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

**This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.**

James Haden, Chairman

Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

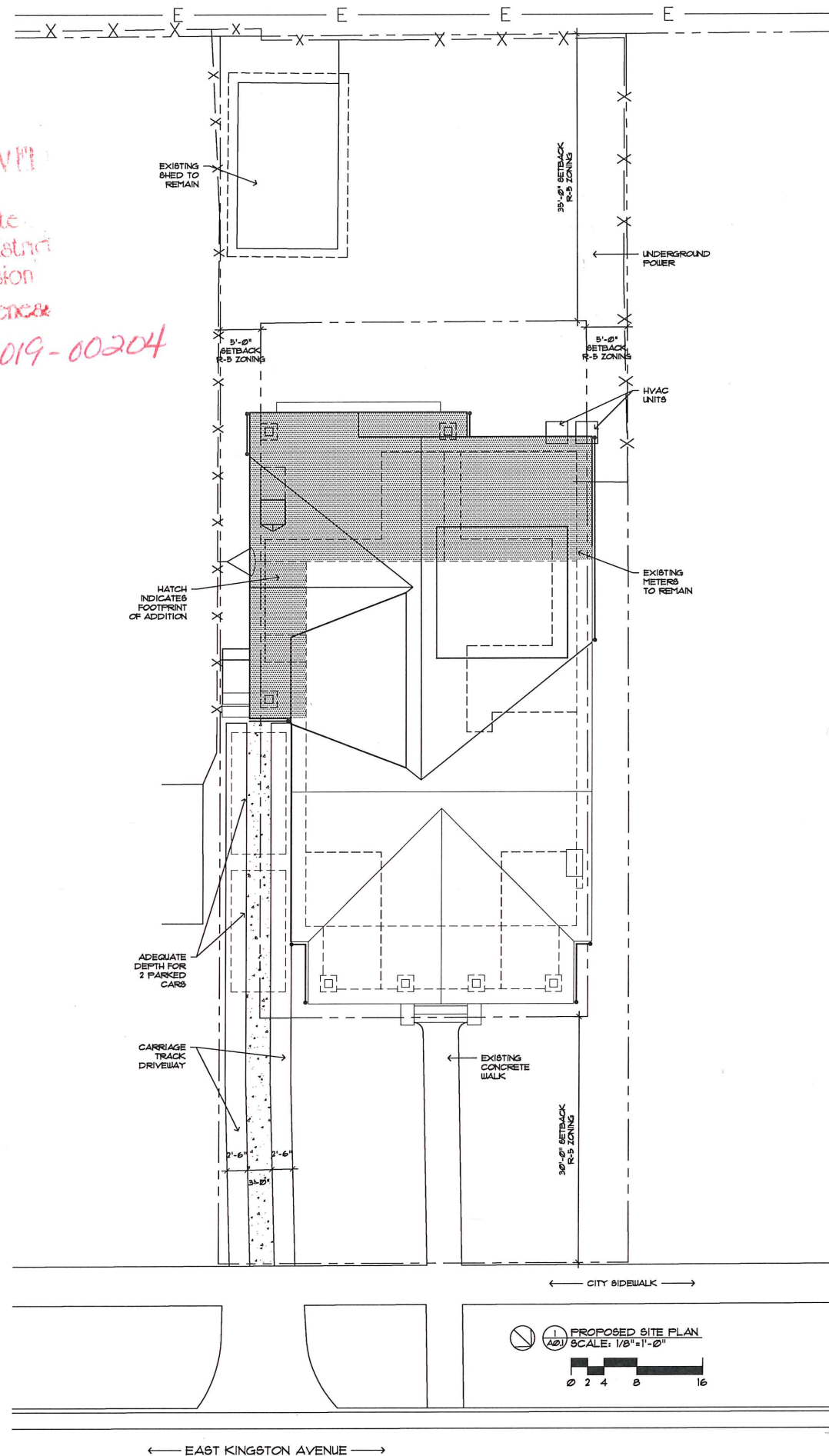
[www.charlotteplanning.org](http://www.charlotteplanning.org)

600 East Fourth Street

Charlotte, NC 28202-2853

PH: (704)-336-2205

FAX: (704)-336-5123



GENERAL NOTES:

- It is the responsibility of the Contractor to become fully aware of any and all conditions related to the site and existing conditions that may affect construction activities and/or construction scheduling prior to submitting a bid.
- Contractor shall verify all dimensions and conditions at the jobsite including soil conditions, foundation conditions, and conditions related to the location of existing utilities and services before commencing work. All discrepancies shall be reported to the Designer.
- Do not scale drawings or details - use given dimensions. Check details for location of all items not dimensioned on plans.
- The drawings indicate general details of construction - where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the Designer and, if required, structural engineer.
- Building systems and components not specifically detailed shall be installed, as per minimum manufacturer's recommendations. Notify the Designer of any resulting conflicts.
- All work shall conform to applicable building codes and ordinances. In case of any conflict wherein the methods or standards or the materials specified do not equal or exceed the requirements of the laws or ordinances, the laws or ordinances shall govern. Notify the Designer of all conflicts immediately.
- Coordinate all operations with the Building Owner or Representative including, but not limited to, areas used for material storage, access to and from work, timing of work, interruption of plumbing, mechanical and electrical services, etc.
- It is the responsibility of the Contractor to install proper dust barriers and other protection as required to protect both existing and new building finishes and facilities.
- Contractor shall provide temporary bracing for structure and structural components until all final connections have been completed in accordance with the plans.
- Contractor shall provide certificates of insurance, including, but not limited to, Workman's Comp and General Liability. Owner shall notify Contractor of any additional insurance requirements.
- It is the responsibility of the Owner to review all drawings and associated contract documents.

OWNER:

DARE & JON FFEIFER  
720 EAST KINGSTON AVENUE  
CHARLOTTE, NC 28203  
(P) 292-3693-1603 / 704-719-0481  
(E) DAREFFEIFER@GMAIL.COM  
(E) JONFFEIFER@GMAIL.COM

DESIGNER:

JESSICA BEIL, HINDMAN & DIANA HALSKI  
STUDIO H DESIGN  
720 E. TREMONT AVENUE  
CHARLOTTE, NC 28203  
(P) 595-494-0594  
MAIL@STUDIOH-DESIGN.COM

STRUCTURAL ENGINEER:

CHAD RITTER, P.E.  
INTELLIGENT DESIGN ENGINEERING  
1949 J N PEARCE PLACE # 204  
CHARLOTTE, NC 28262  
(P) 704-335-1200  
CHAD@IDECHARLOTTE.COM

CONTRACTOR:

BJORN GREENE  
CONCEPT BUILDING & RESTORATION  
2903 SOUTH TRYON STREET #230  
CHARLOTTE, NC 28203  
(P) 704-507-1534  
BJORN@CONCEPTBUILDING.NET

SCHEDULE OF DRAWINGS:

A0.0	SITE PLAN / COVER SHEET	23 JULY 2019
B.0	STRUCTURAL GENERAL NOTES	23 JULY 2019
B1	FOUNDATION PLAN	23 JULY 2019
B2	MAIN LEVEL FRAMING PLAN	23 JULY 2019
B3	UPPER LEVEL FRAMING PLAN	23 JULY 2019
B4	ROOF FRAMING PLAN	23 JULY 2019
B5	STRUCTURAL DETAILS	23 JULY 2019
A1.1	MAIN LEVEL FLOOR PLANS	23 JULY 2019
A1.2	UPPER LEVEL FLOOR PLANS	23 JULY 2019
A1.3	ROOF PLANS	23 JULY 2019
A2.0	ELEVATIONS	23 JULY 2019
A2.1	ELEVATIONS	23 JULY 2019
A2.2	ELEVATIONS	23 JULY 2019
A2.3	ELEVATIONS	23 JULY 2019
A3.0	STAIR SECTION & ENLARGED STAIR PLANS	23 JULY 2019
A3.1	WALL SECTION & PORCH DETAILS	23 JULY 2019
A4.0	INTERIOR ELEVATIONS & DETAILS	23 JULY 2019
A5.0	WINDOW & DOOR SCHEDULES	23 JULY 2019
A6.0	MAIN LEVEL & UPPER LEVEL REFLECTED CEILING PLANS	23 JULY 2019

PROJECT DATA:

The project consists of a half-story addition within and to the rear of an existing one-story residence in Historic Dilworth in Charlotte, North Carolina. This project was approved by the Charlotte Historic District Commission on May 8, 2019.

MAIN LEVEL INSIDE OF WALL	1395	SF.
CONDITIONED RENOVATION INSIDE OF WALL	282	SF.
CONDITIONED ADDITION INSIDE OF WALL	1645	SF.
SUBTOTAL		
UPPER LEVEL INSIDE OF WALL	1155	SF.
CONDITIONED ADDITION INSIDE OF WALL	212	SF.
CONDITIONED ATTIC FORT	1563	SF.
SUBTOTAL		
TOTAL CONDITIONED INSIDE OF WALL	3010	SF.
MAIN LEVEL UNCONDITIONED FRONT PORCH RESTORATION	210	SF.
UNCONDITIONED SIDE PORCH ADDITION	25	SF.
UNCONDITIONED REAR PORCH ADDITION	360	SF.
TOTAL UNCONDITIONED	595	SF.

FFEIFER  
ADDITION /  
RENOVATION  
720 E. Kingston Ave.  
Charlotte, NC 28203

DATES:

Existing  
26 November 2019  
Schematics  
28 February 2019  
Progress  
29 April 2019  
UDC  
29 April 2019  
Progress  
2 May 2019  
14 June 2019  
24 June 2019  
10 July 2019  
23 July 2019  
Final Pricing  
23 July 2019

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COVER SHEET &  
SITE PLAN

A0.1



DATES:

Existing  
26 November 2010  
Schematic  
25 February 2013  
Progress  
25 April 2013  
HDC  
25 April 2013  
Progress  
2 May 2013  
14 June 2013  
18 July 2013  
23 July 2013  
Final Pricing  
23 July 2013

FLOOR PLAN NOTES:

- EXISTING DRAWINGS ARE FOR REFERENCE ONLY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL UNDESIGNATED DIMENSIONED WALLS TO BE 3 1/2" WOOD STUD.
- ALL UNDESIGNATED DOORS TO BE CENTERED OR TO BE LOCATED 6" OFF SIDEWALL.
- SOUND ATTENUATION BATT'S SURROUNDING ALL BATHROOMS, LAUNDRY, KITCHEN INCL. INTERIOR PTNS.
- INSULATION AT NEW FLOORS, WALLS, CEILING, AND ROOF PER CODE.
- SEE ELECTRICAL DIAGRAM FOR ELECTRICAL LAYOUT.
- PLUMBING ROUGH TO BE COORDINATED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
- COORDINATE HOSE BIBS LOCATIONS WITH HOMEOWNER.
- APPLIANCE ROUGH TO BE COORDINATED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
- NEW ROOF SLOPES INTENDED TO MATCH EXISTING EXISTING FASCIA - VERIFY IN FIELD.
- ALL NEW GUTTERS & DOWNSPOUTS, COORDINATE IN FIELD AND VERIFY WITH ARCHITECT / HOMEOWNER.
- SEE STRUCTURAL DRAWINGS FOR ALL FOUNDATION, FRAMING, AND DETAIL INFORMATION. ARCHITECT NOT RESPONSIBLE FOR STRUCTURAL DESIGN.

LEGEND

NR 10 ROD 4 SHELF CONFIGURATION (DEFAULT SIZE 12")



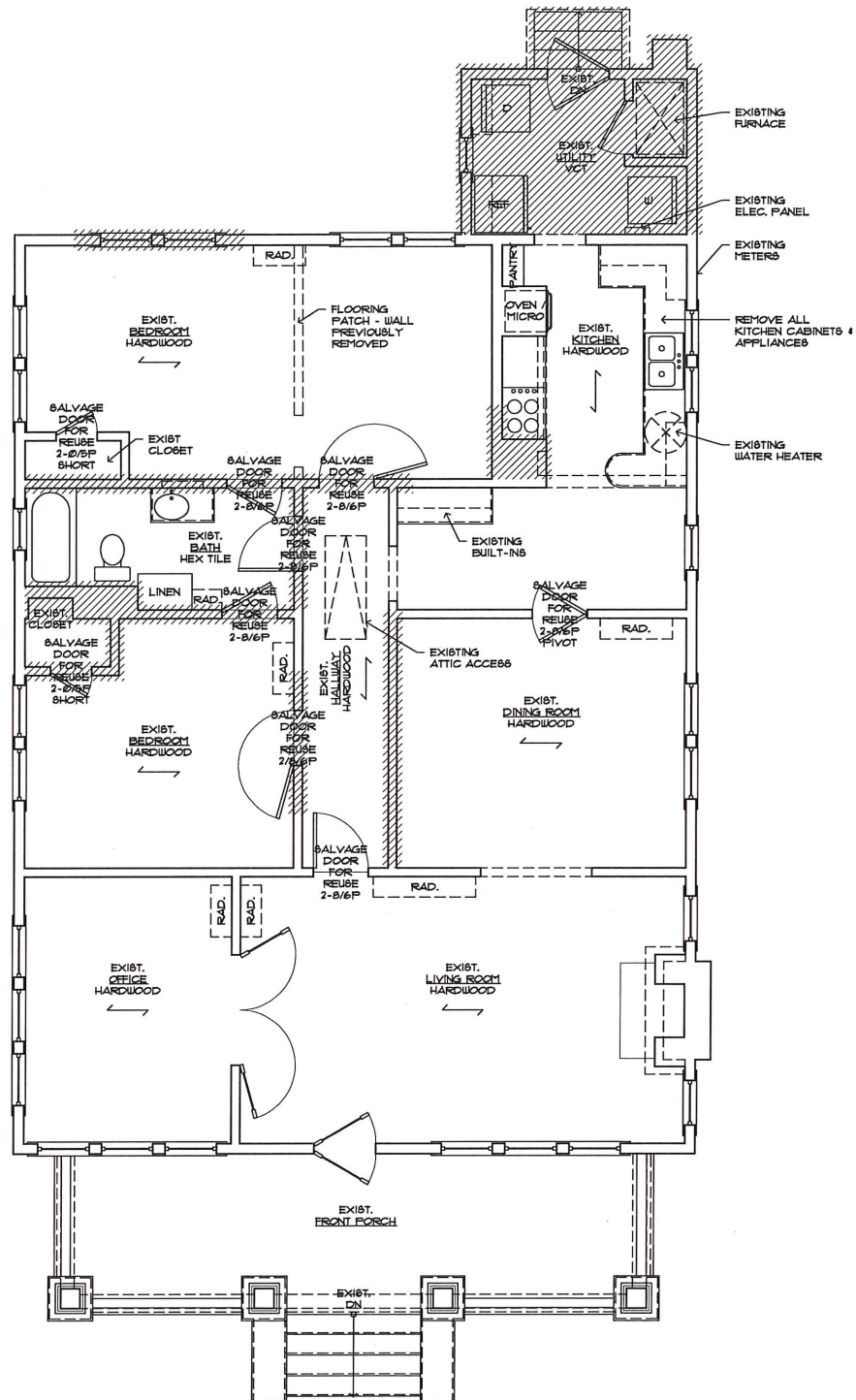
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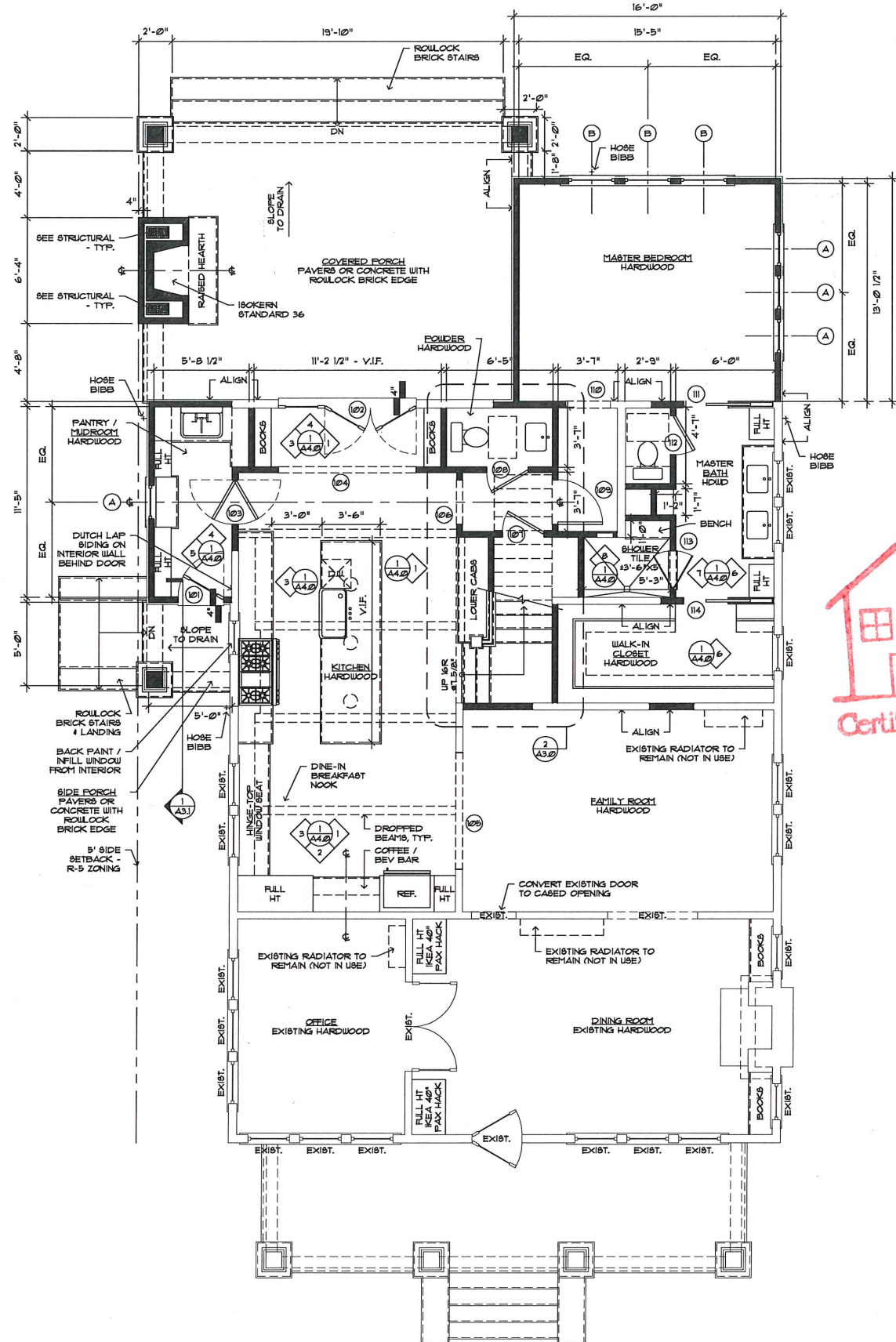
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MAIN LEVEL  
FLOOR PLANS

A1.1



1  
A1.1  
EXISTING MAIN LEVEL FLOOR PLAN  
SCALE: 1/4"=1'-0"



2  
A1.1  
PROPOSED MAIN LEVEL FLOOR PLAN  
SCALE: 1/4"=1'-0"



DATES:

6 November 2018

Progress  
5 April 2019

IDC  
9 April 2019

Progress  
May 2019  
4 June 2019  
4 June 2019  
3 July 2019  
3 July 2019  
Final Pricing  
3 July 2019

FLOOR PLAN NOTES:

1. EXISTING DRAWINGS ARE FOR REFERENCE ONLY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
2. ALL DESIGNATED DIMENSIONED WALLS TO BE 3 1/2" WOOD STUD.
3. ALL UNDIMENSIONED DOORS TO BE CENTERED OR TO BE LOCATED 6" OFF SIDEWALL.
4. GIVE ATTENTION TO THE SURROUNDING ALL BATHROOMS, LAUNDRY, KITCHEN ALL INTERIOR FINISH.
5. INSULATION AT NEW FLOORS, WALLS, CEILINGS, AND ROOF FLOOR CEILING.
6. SEE ELECTRICAL DIAGRAM FOR ELECTRICAL LAYOUT.
7. PLUMBING ROUGH TO BE COORDINATED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
8. COORDINATE HOSE BIBS LOCATIONS WITH HOMEOWNER.
9. APPROVE ROOF PLAN FOR DRAINAGE.
10. CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
11. NEW ROOF SLOPES INTENDED TO MATCH EXISTING.
12. ROOF FLASHING - NEW FLASHING INTENDED TO ALIGN WITH EXISTING FLASHING.
13. ALL NEW GUTTERS + DOWNSPOUTS. COORDINATE IN FIELD AND VERIFY WITH ARCHITECT / HOMEOWNER.
14. GRADE TO SEE + DRAIN AWAY FROM HOUSE.
15. SEE FOR STRUCTURAL DRAWINGS FOR FOUNDATION, FRAMING, AND DETAIL. INFORMATION ARCHITECT NOT RESPONSIBLE FOR STRUCTURAL DESIGN.

### LEGEND

IR 18 ROD 4 SHELF CONFIGURATION (DEFAULT SIZE 12")



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Charlotte  
Historic District  
Commission

### Certificate of Appropriateness

HDCRMT-2019-00204

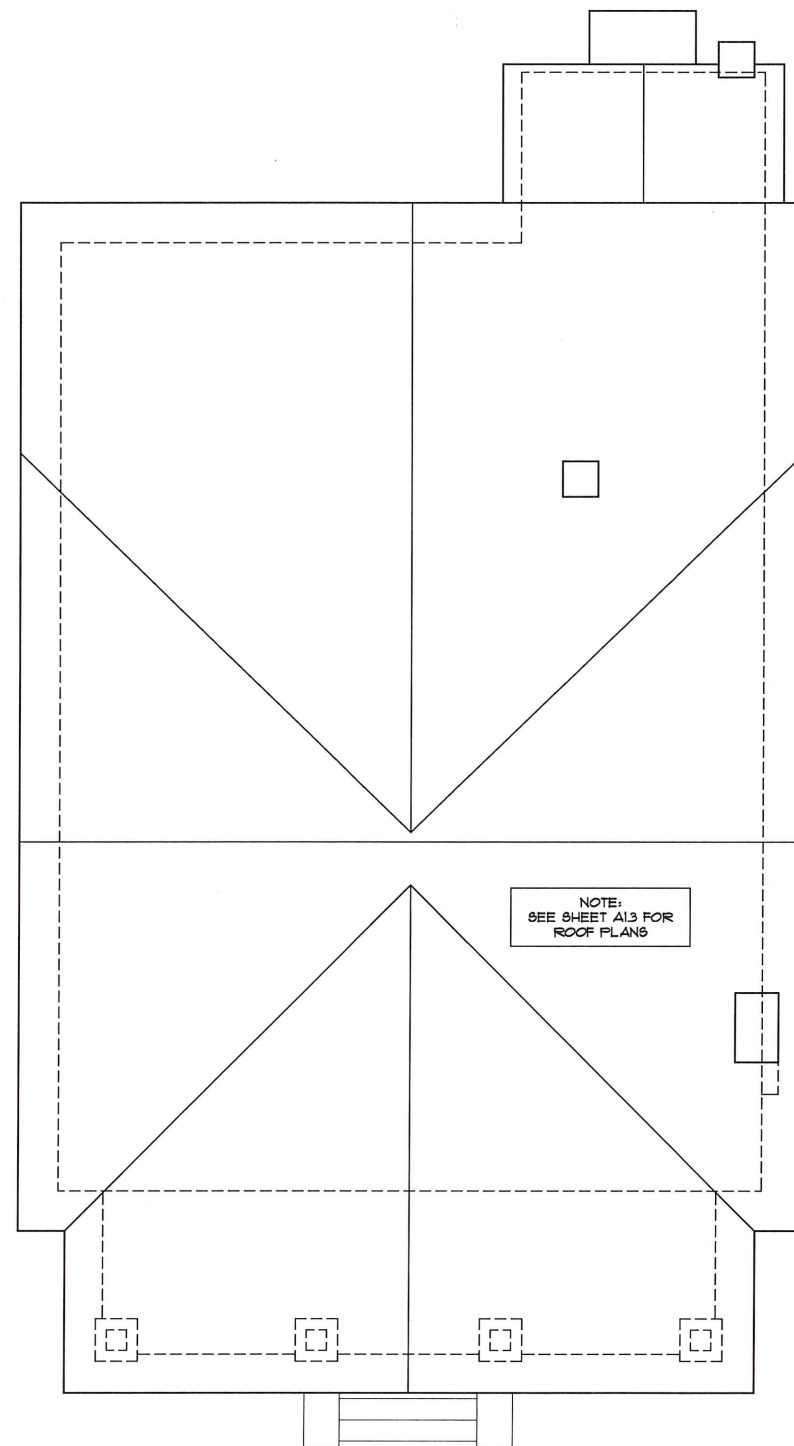
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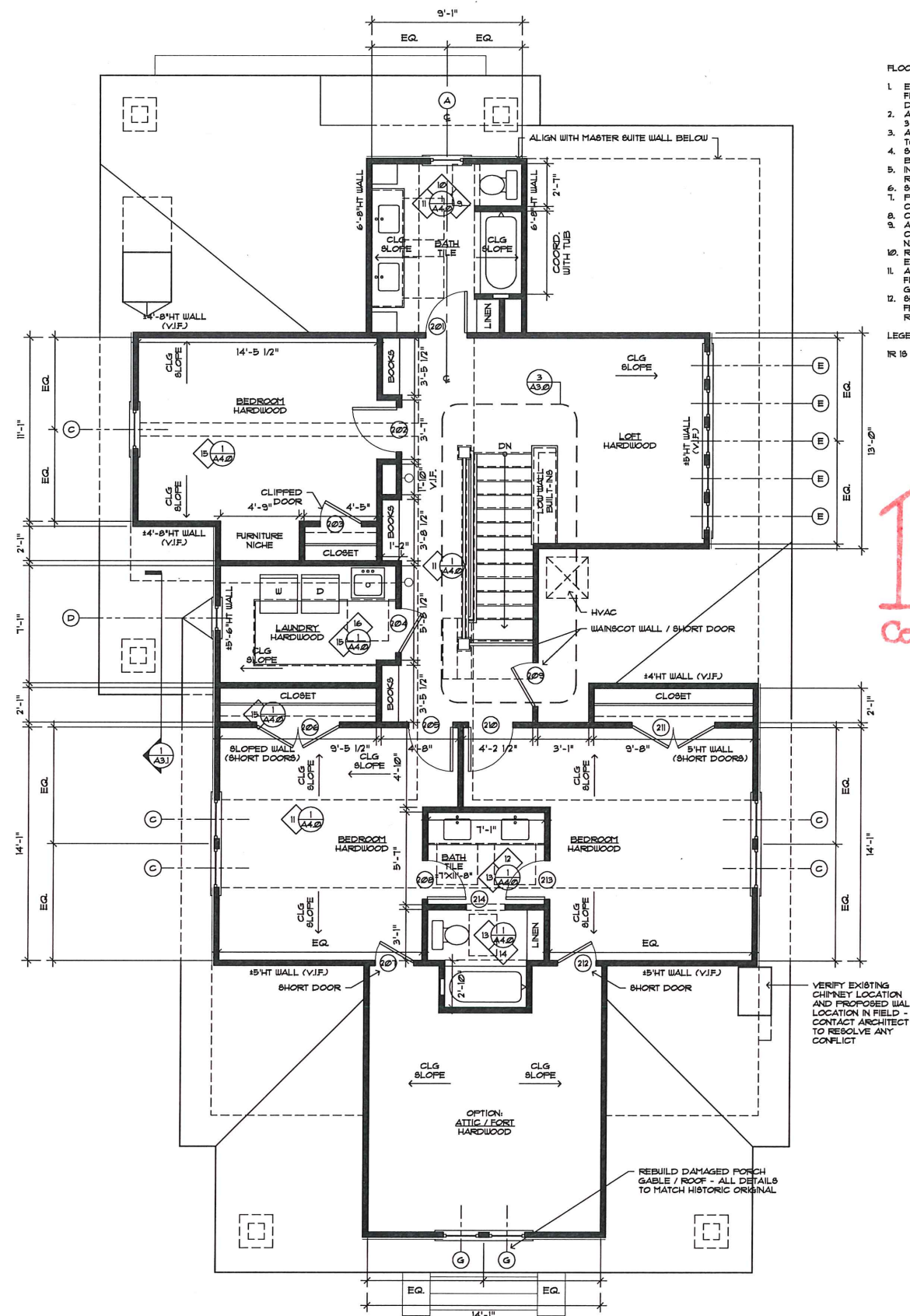
### UPPER LEVEL FLOOR PLANS

A1.2





NOTE:  
SEE SHEET A13 FOR  
ROOF PLANS

EXISTING ROOF PLAN  
SCALE: 1/4" = 1'-0"



— VERIFY EXISTING  
CHIMNEY LOCATION  
AND PROPOSED WALL  
LOCATION IN FIELD -  
CONTACT ARCHITECT  
TO RESOLVE ANY  
CONFLICT



**PROPOSED UPPER LEVEL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"





DATE:

Existing  
26 November 2018  
Schematic  
29 February 2019  
Progress  
28 April 2019  
HDC  
28 April 2019  
Progress  
2 May 2019  
14 June 2019  
24 June 2019  
10 July 2019  
23 July 2019  
Final Pricing  
23 July 2019

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- APPLIANCE ROUGH TO BE COORDINATED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION. NEW ROOF SLOPES INTENDED TO MATCH EXISTING.
- ROOF FLOORS - NEW FASCIA INTENDED TO ALIGN WITH EXISTING FASCIA - VERIFY IN FIELD.
- ALL NEW GUTTERS & DOWNSPOUTS. COORDINATE IN FIELD AND VERIFY WITH ARCHITECT / HOMEOWNER. GRADE TO SLOPE & DRAIN AWAY FROM HOUSE.
- SEE STRUCTURAL DRAWINGS FOR ALL FOUNDATION, FRAMING, AND DETAIL INFORMATION. ARCHITECT NOT RESPONSIBLE FOR STRUCTURAL DESIGN.

LEGEND

1R 10 ROD & SHELF CONFIGURATION (DEFAULT SIZE 12")



#HDCRM1-2019-00204

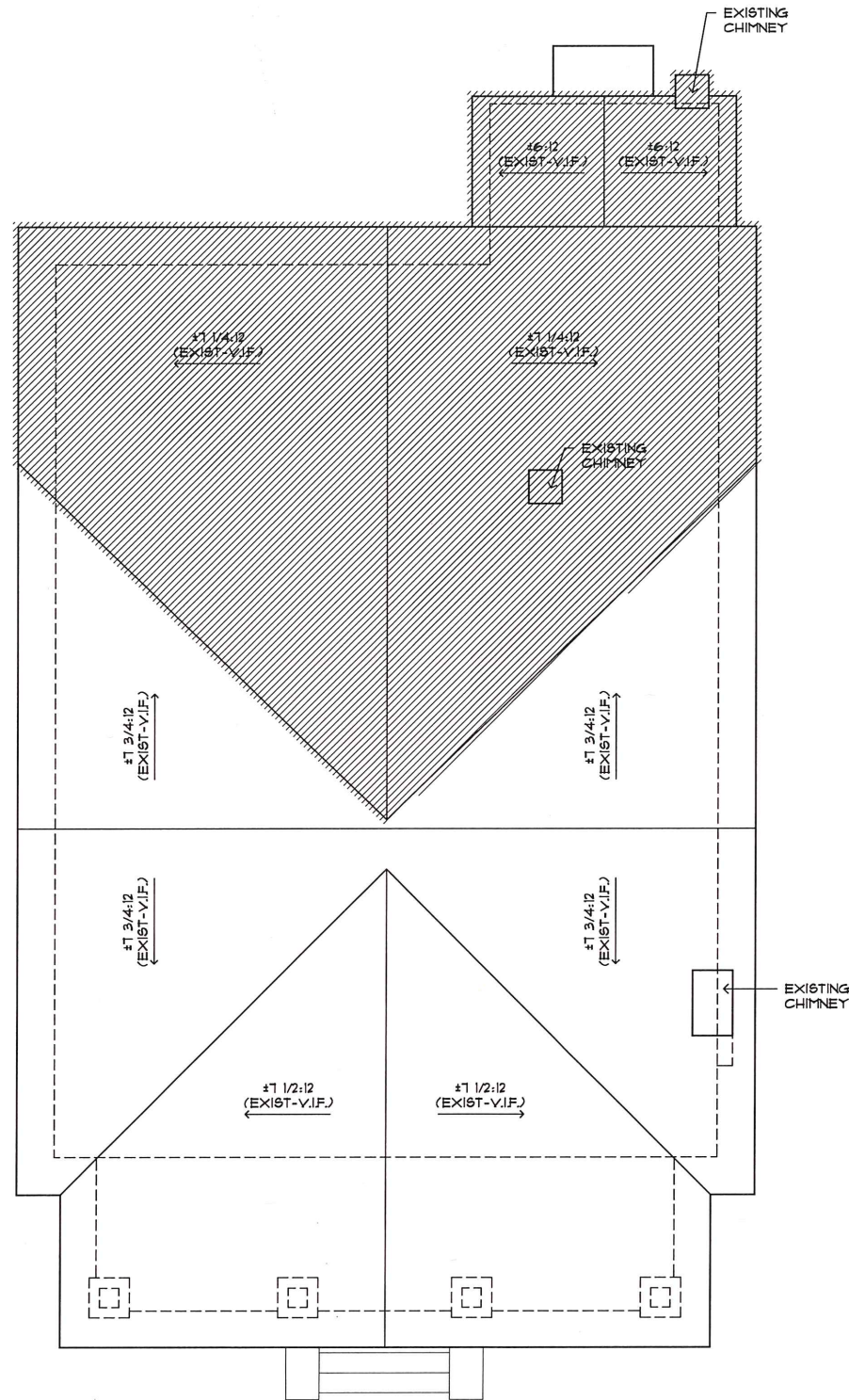
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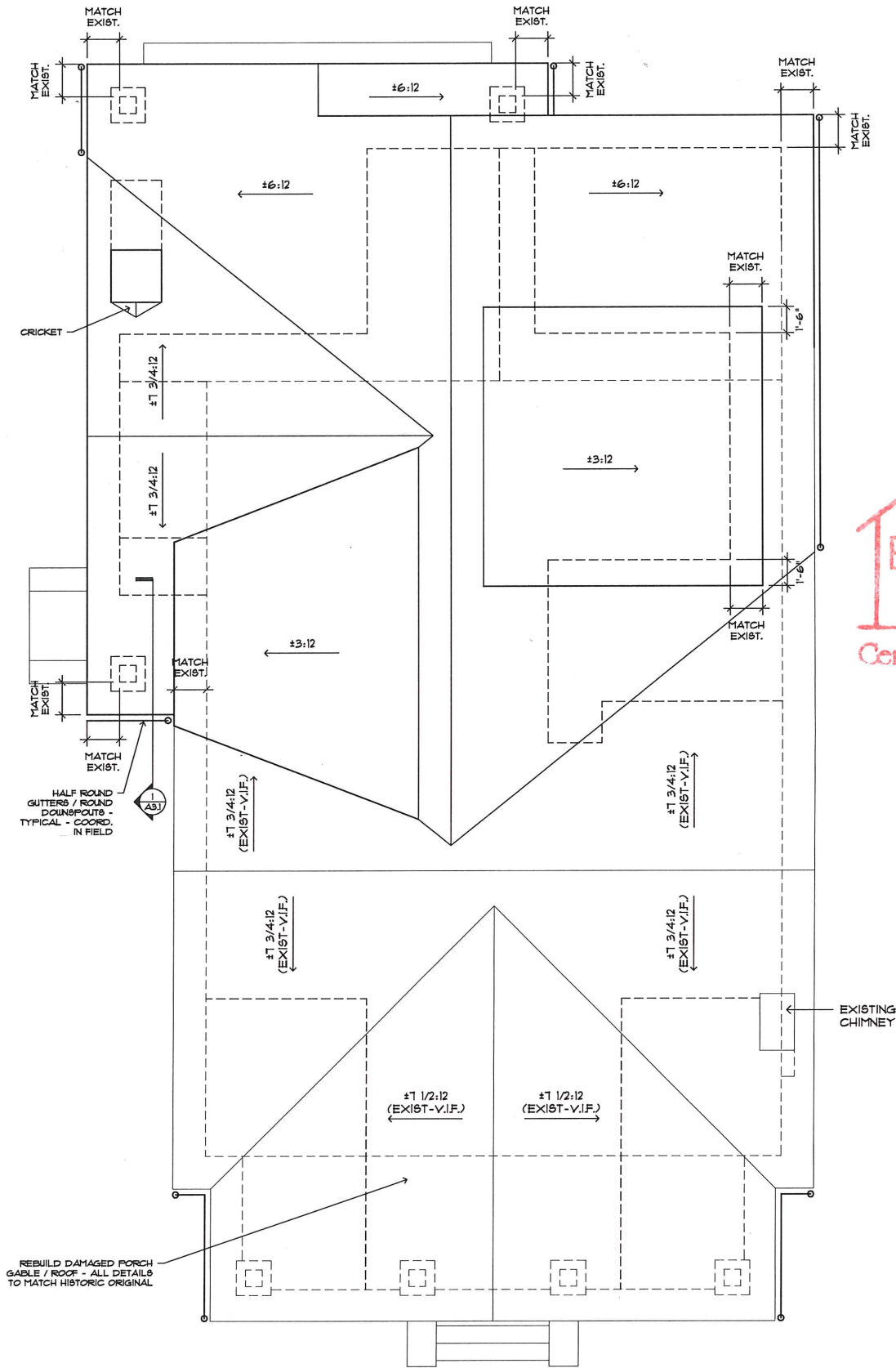
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charlotte, nc 28203  
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ROOF PLANS

A1.3



1 EXISTING ROOF PLAN  
SCALE: 1/4"=1'-0"



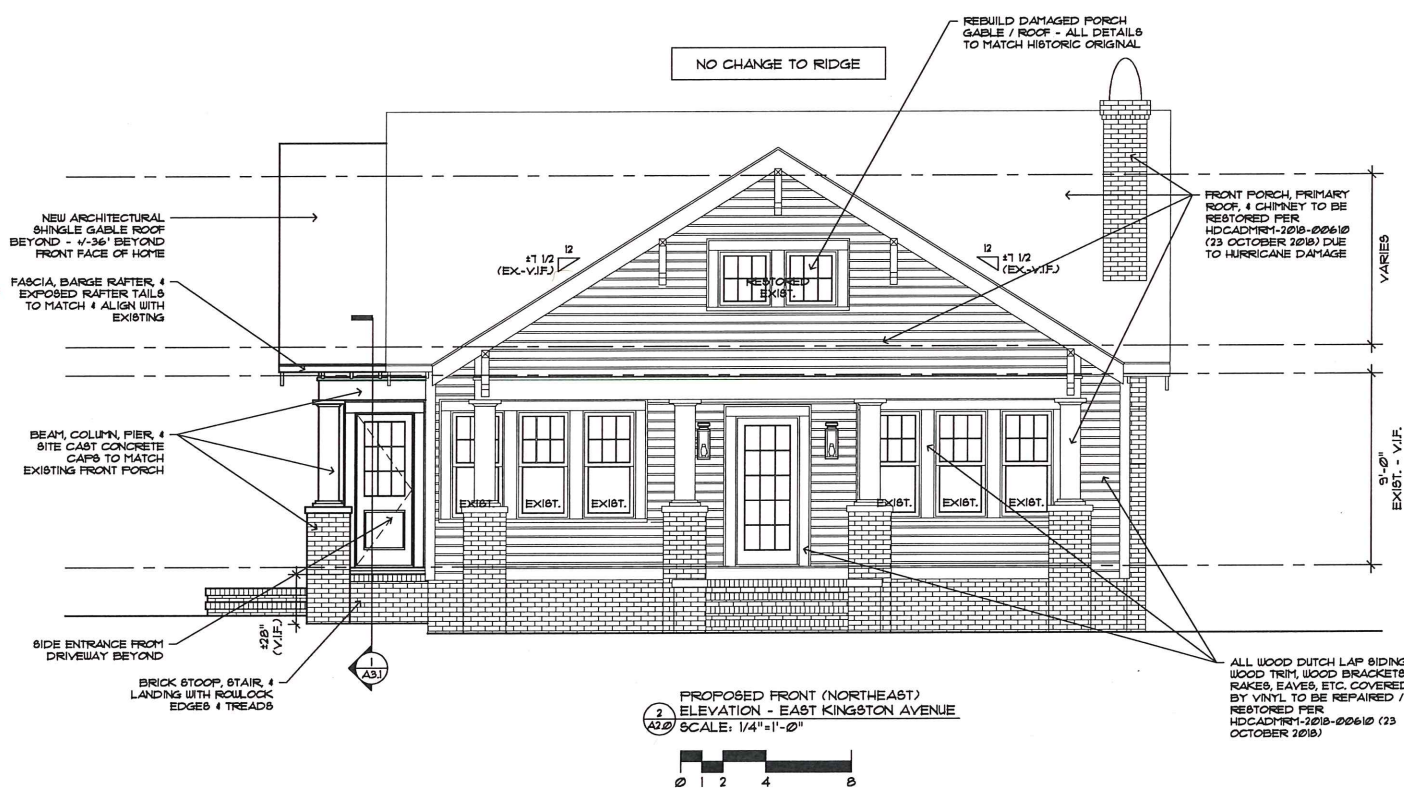
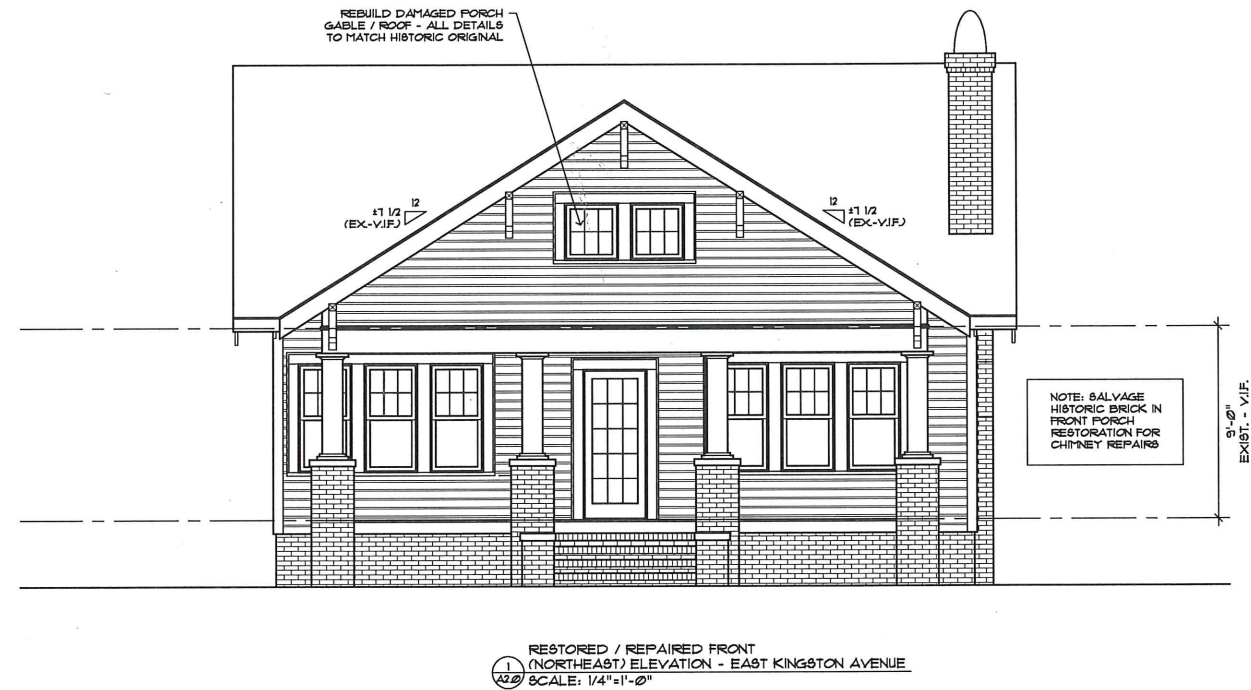
2 PROPOSED ROOF PLAN  
SCALE: 1/4"=1'-0"







EXISTING FRONT (NORTHEAST)  
ELEVATION - EAST KINGSTON AVENUE  
A2.0 NOT TO SCALE



DATE:

Existing  
26 November 2018  
Schematic  
28 February 2019  
Progress  
28 April 2019  
HDC  
28 April 2019  
Progress  
2 May 2019  
14 June 2019  
24 June 2019  
19 July 2019  
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Final Pricing  
23 July 2019

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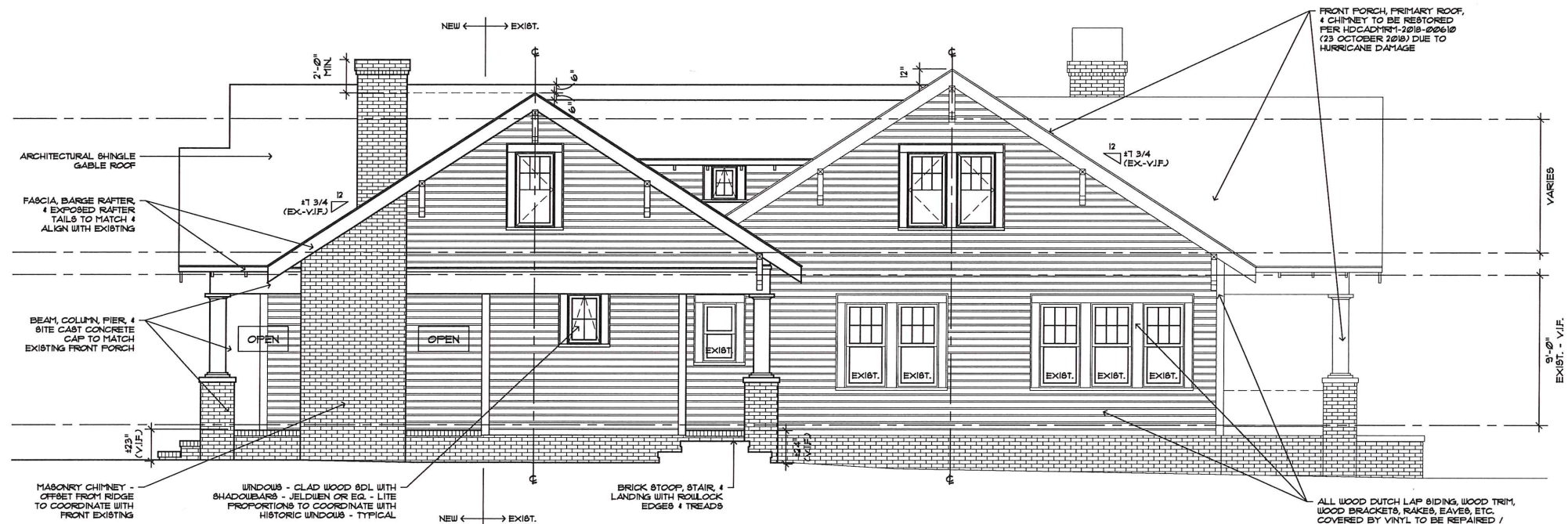
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ELEVATIONS





1 EXISTING LEFT (SOUTHEAST)  
ELEVATION - DRIVEWAY  
SCALE: 1/4"=1'-0"



2 PROPOSED LEFT (SOUTHEAST) ELEVATION  
SCALE: 1/4"=1'-0"



FFEIFER  
ADDITION /  
RENOVATION  
100 E. Kingston Ave.  
Charlotte, NC 28203

DATES:

Existing  
26 November 2019  
Schematics  
25 February 2019  
Progress  
25 April 2019  
HDC  
25 April 2019  
Progress  
2 May 2019  
14 June 2019  
24 June 2019  
18 July 2019  
23 July 2019  
Final Pricing  
25 July 2019

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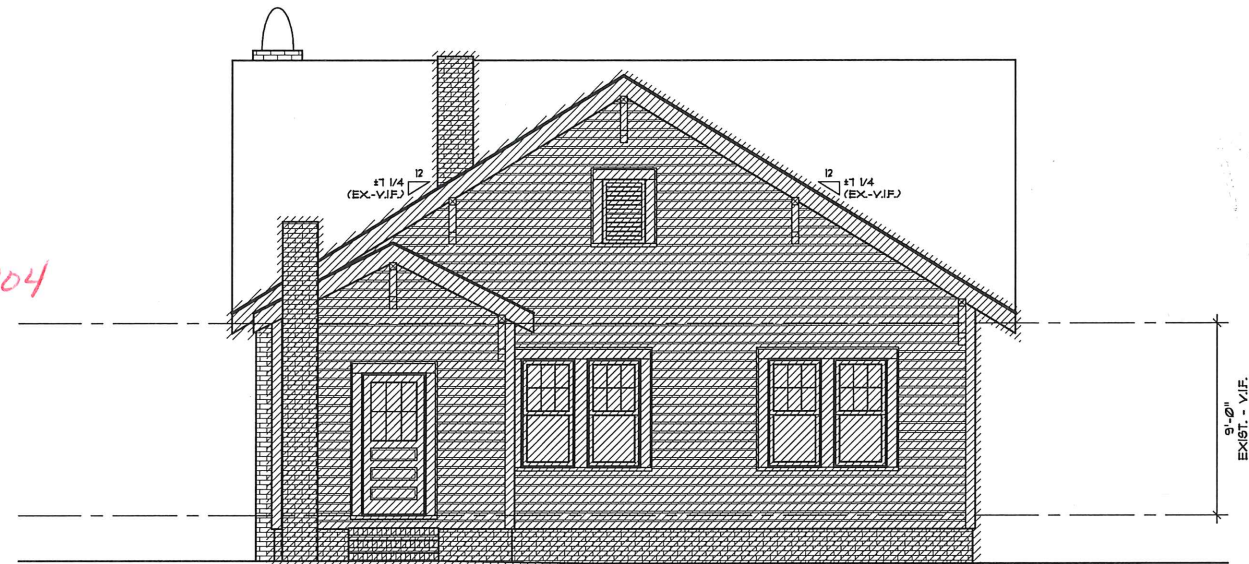
ELEVATIONS

A2.1

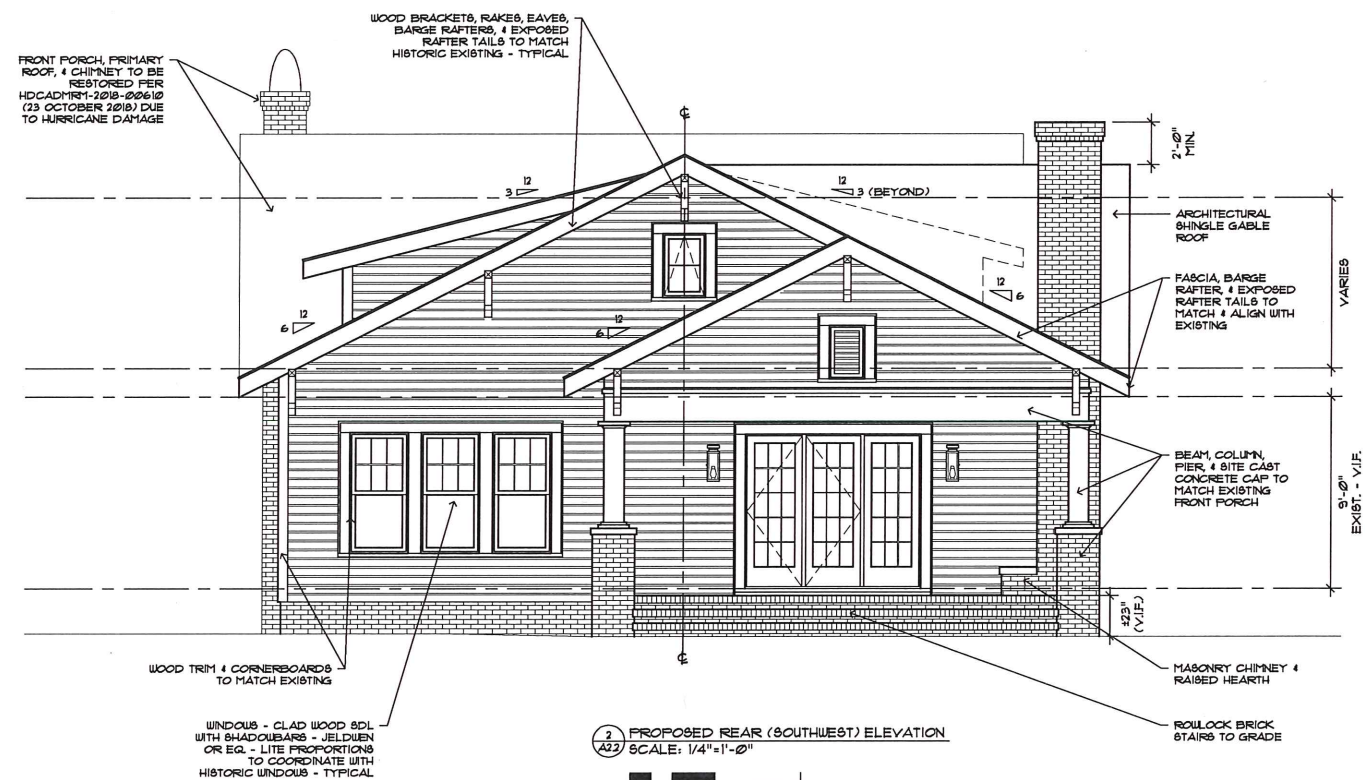




# HDCRMT-2014-00204



1 EXISTING REAR (SOUTHWEST) ELEVATION  
SCALE: 1/4"=1'-0"



2 PROPOSED REAR (SOUTHWEST) ELEVATION  
SCALE: 1/4"=1'-0"

PFEIFER  
ADDITION /  
RENOVATION  
120 E. Kingston Ave.  
Charlotte, NC 28203

DATES:

Existing  
26 November 2018  
Schematics  
28 February 2019  
Progress  
29 April 2019  
HDC  
28 April 2019  
Progress  
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23 July 2019

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ELEVATIONS

A2.2



DATES:

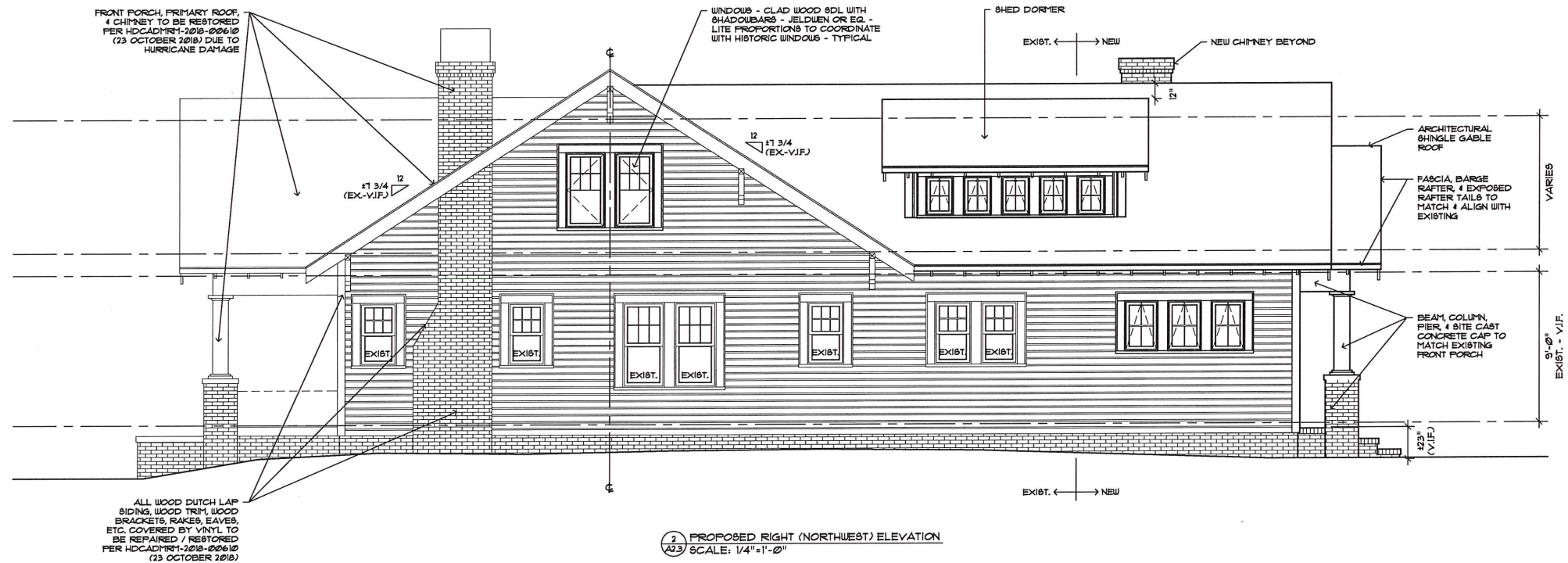
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28 April 2019  
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Progress  
2 May 2019  
14 June 2019  
24 June 2019  
19 July 2019  
23 July 2019  
Final Pricing  
23 July 2019



# HDCRMT-2019-0204



1 EXISTING RIGHT (NORTHWEST) ELEVATION  
SCALE: 1/4"=1'-0"



2 PROPOSED RIGHT (NORTHWEST) ELEVATION  
SCALE: 1/4"=1'-0"

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ELEVATIONS







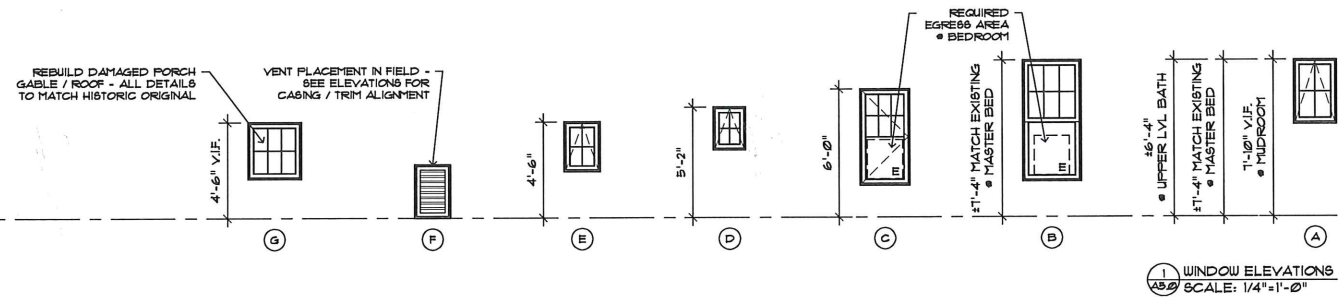


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Charlotte  
Historic District  
Commission

Certificate of Appropriateness

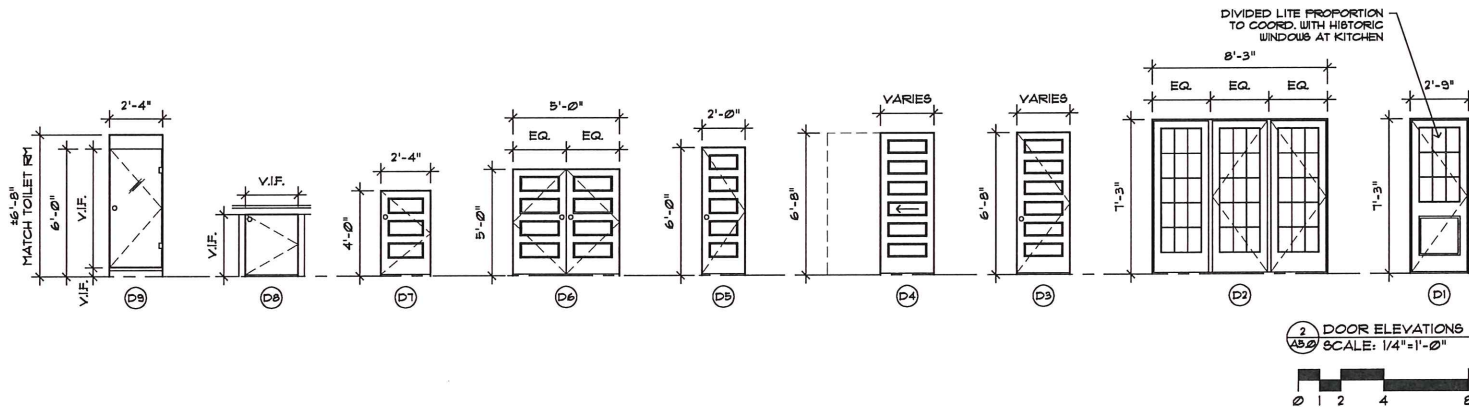
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#### WINDOW SCHEDULE:

SYMBOL	MANUF.	MANUF. #	WIDTH	HEIGHT	HEAD HT **	CONFIG.	TYPE	REMARKS	SYMBOL
A	JELDUEEN OR EQUAL	ECA2436	2'-0"	3'-0"	VARIES	SEE 1/AS.0	CLAD*	AWNING WINDOW	A
B	JELDUEEN OR EQUAL	ECD3368	2'-9"	5'-8"	1'-4" MATCH EXIST.	SEE 1/AS.0	CLAD*	DOUBLE HUNG - MUST MEET EGRESS	B
C	JELDUEEN OR EQUAL	ECC2854	2'-4"	4'-6"	6'-0"	SEE 1/AS.0	CLAD*	CASEMENT - MUST MEET EGRESS	C
D	JELDUEEN OR EQUAL	ECA1824	1'-6"	2'-0"	5'-2"	SEE 1/AS.0	CLAD*	AWNING WINDOW - COORD. HEAD HEIGHT WITH LAUNDRY DORMER	D
E	JELDUEEN OR EQUAL	ECA2028	1'-8"	2'-4"	4'-6"	SEE 1/AS.0	CLAD*	AWNING WINDOW	E
F	-	-	1'-8"	2'-6"	V.I.F.	SEE 1/AS.0	CLAD*	LOUVERED VENT	F
G	JELDUEEN OR EQUAL	-	2'-6" V.I.F.	2'-8" V.I.F.	4'-6" V.I.F.	SEE 1/AS.0	CLAD*	FIXED WINDOW TO MATCH / REBUILD HISTORIC ORIGINAL WINDOW	G

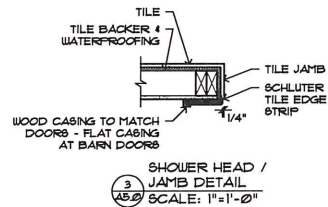
\* ALL WINDOWS - INCLUDING REPLACEMENT SASH KITS - TO BE CLAD WOOD SGL WITH SHADOBARS AND PUTTY PROFILE. COLOR TO BE SELECTED BY OWNER.  
\*\* HEAD HEIGHT MAY VARY BY LOCATION - VERIFY WITH ELEVATIONS.  
† WINDOWS MUST COMPLY WITH NC RESIDENTIAL CODE SECTION 310.11; MINIMUM 5.0 SF. TOTAL GLAZING AREA IN GROUND LEVEL BEDROOM WINDOWS AND 5.1 SF. TOTAL GLAZING AREA IN UPPER STORY BEDROOM WINDOWS FOR EGRESS.  
‡ PROVIDE TINTED GLASS AS REQUIRED PER CODE.



#### DOOR SCHEDULE:

#	LOCATION	MANUF.	MANUF. #	WIDTH	HEIGHT	TYPE	HARDWARE	ELEV.	REMARKS	#
MAIN LEVEL										
101	SIDE PORCH ENTRY	JELDUEEN OR EQ.	8CHD-2813	2'-9"	7'-3"	WOOD/GLASS	KEY/LATCH DEADBOLT	D1	LITE PROPORTION TO COORD. WITH HISTORIC KITCHEN WINDOWS	101
102	REAR PORCH ENTRY	JELDUEEN OR EQ.	8CHD-8313	TRIPLE 2'-9"	7'-3"	WOOD/GLASS	KEY/LATCH DEADBOLT	D2	TRIPLE INSURING PATIO DOOR WITH 2 OPERABLE PANELS	102
103	MUDROOM	-	-	2'-8" V.I.F.	6'-8" V.I.F.	SOLID WOOD BALV.	PIVOT HINGE	D3	REUSE SALVAGED 6 PANEL PIVOT FROM HISTORIC DINING ROOM	103
104	REAR DOOR LIBRARY	-	-	8'-3" V.I.F.	7'-3"	CASED OPENING	-	-	CASED OPENING TO MATCH REAR PORCH ENTRY DOORS	104
105	FAMILY ROOM - KITCHEN	-	-	7'-0"	7'-3"	CASED OPENING	-	-	-	105
106	HALLWAY UNDER STAIR	-	-	2'-8"	6'-8" V.I.F.	CASED OPENING	-	-	FULL CASING KITCHEN SIDE - CLIP CASING AS REQ'D HALLWAY SIDE	106
107	CLOSET UNDER STAIR	-	-	2'-0" V.I.F.	6'-8" V.I.F.	SOLID WOOD BALV.	PASSAGE	D5	REUSE SALVAGED 5 PANEL CLOSET DOOR FROM HISTORIC BEDROOM	107
108	POUNDER ROOM	-	-	2'-8"	6'-8"	SOLID WOOD BALV.	PRIVACY	D3	REUSE SALVAGED 6 PANEL DOOR	108
109	MASTER BEDROOM	-	-	2'-8"	6'-8"	SOLID WOOD BALV.	PRIVACY	D3	REUSE SALVAGED 6 PANEL DOOR	109
110	MASTER BEDROOM	-	-	2'-8"	6'-8"	CASED OPENING	-	-	-	110
111	MASTER BATHROOM	-	-	2'-8"	6'-8"	SOLID WOOD	POCKET - MED. DUTY	D4	POCKET DOOR - 6 PANEL DOOR TO MATCH EXISTING	111
112	TOILET ROOM	-	-	2'-4"	6'-8"	PRIVACY	-	D3	6 PANEL DOOR TO MATCH EXISTING	112
113	MASTER SHOWER	-	-	2'-4"	V.I.F.	FRAMELESS GLASS	-	D3	FRAMELESS GLASS ON CURB - HEAD TRIM TO ALIGN WITH ADJACENT	113
114	MASTER CLOSET	-	-	2'-8"	6'-8"	SOLID WOOD	POCKET - MED. DUTY	D4	POCKET DOOR - 6 PANEL DOOR TO MATCH EXISTING	114
UPPER LEVEL										
201	HALL BATHROOM	-	-	2'-8"	6'-8"	SOLID WOOD BALV.	PRIVACY	D3	REUSE SALVAGED 6 PANEL DOOR	201
202	BEDROOM	-	-	2'-8"	6'-8"	SOLID WOOD BALV.	PRIVACY	D3	REUSE SALVAGED 6 PANEL DOOR	202
203	CLOSET	-	-	2'-0" V.I.F.	6'-8" V.I.F.	SOLID WOOD BALV.	PASSAGE	D5	REUSE SALVAGED 5 PANEL CLOSET DOOR FROM HISTORIC BEDROOM	203
204	LAUNDRY	-	-	2'-8" OR 2'-10"	6'-8"	SOLID WOOD BALV.	PASSAGE	D3	REUSE SALVAGED 6 PANEL DOOR	204
205	BEDROOM	-	-	2'-8"	6'-8"	SOLID WOOD BALV.	PRIVACY	D3	REUSE SALVAGED 6 PANEL DOOR	205
206	CLOSET	-	-	2'-6" DBL	5'-0" V.I.F.	SOLID WOOD	PASSAGE	D6	FLUSH PANEL WITH APPLIED MOLDING TO COORD. WITH HISTORIC PANELS	206
207	ATTIC PORT	-	-	2'-4"	4'-0" V.I.F.	SOLID WOOD	PASSAGE	D1	FLUSH PANEL WITH APPLIED MOLDING TO COORD. WITH HISTORIC PANELS	207
208	JACK & JILL BATHROOM	-	-	2'-4"	4'-0" V.I.F.	SOLID WOOD	PRIVACY	D3	6 PANEL DOOR TO MATCH EXISTING	208
209	ATTIC / MECHANICAL ACCESS	-	-	V.I.F.	V.I.F.	SOLID WOOD	PASSAGE	D8	FLUSH PANEL TOO COORD. WITH BOARD & BATTEN WAINSCOT	209
210	BEDROOM	-	-	2'-8"	6'-8"	SOLID WOOD BALV.	PRIVACY	D3	REUSE SALVAGED 6 PANEL DOOR	210
211	CLOSET	-	-	2'-6" DBL	5'-0" V.I.F.	SOLID WOOD	PASSAGE	D6	FLUSH PANEL WITH APPLIED MOLDING TO COORD. WITH HISTORIC PANELS	211
212	ATTIC PORT	-	-	2'-4"	4'-0" V.I.F.	SOLID WOOD	PASSAGE	D1	FLUSH PANEL WITH APPLIED MOLDING TO COORD. WITH HISTORIC PANELS	212
213	JACK & JILL BATHROOM	-	-	2'-4"	6'-8"	SOLID WOOD	PRIVACY	D3	6 PANEL DOOR TO MATCH EXISTING	213
214	TOILET / SHOWER	-	-	2'-8"	6'-8"	CASED OPENING	-	-	-	214

\* ALL NEW EXTERIOR DOORS TO BE CLAD WOOD SGL WITH SHADOBARS AND PUTTY PROFILE. COLOR TO BE SELECTED BY OWNER.  
\*\* REUSED SALVAGED DOORS SHALL RETAIN SPECIFIED SIZES UNLESS OTHERWISE APPROVED BY OWNER / DESIGNER. COORDINATE DOOR SIZE CHANGES WITH SALVAGED INVENTORY.  
† ME. MATCH EXISTING



FFEIFER  
ADDITION /  
RENOVATION  
720 E. Kingston Ave.  
Charlotte, NC 28203

#### DATE:

Existing  
26 November 2019  
Schematics  
29 February 2019  
Progress  
29 April 2019  
HDC  
29 April 2019  
Progress  
2 May 2019  
14 June 2019  
24 June 2019  
19 July 2019  
23 July 2019  
Final Pricing  
23 July 2019

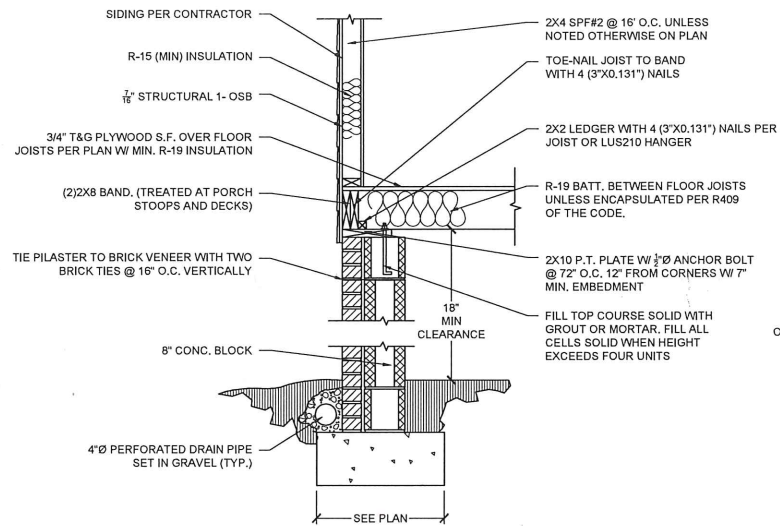
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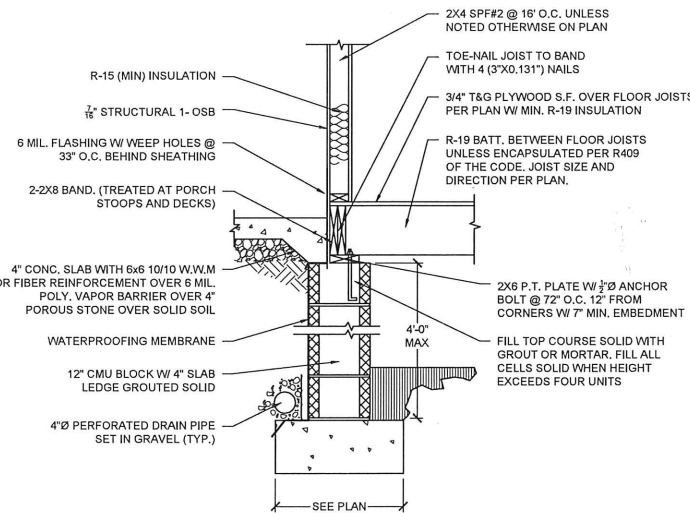
WINDOW &  
DOOR  
SCHEDULES

A5.0



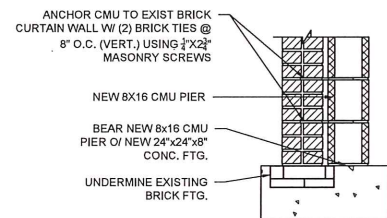


1 NEW PIER AND CURTAIN WALL SECTION  
S5 SCALE 1/4"=1'-0"

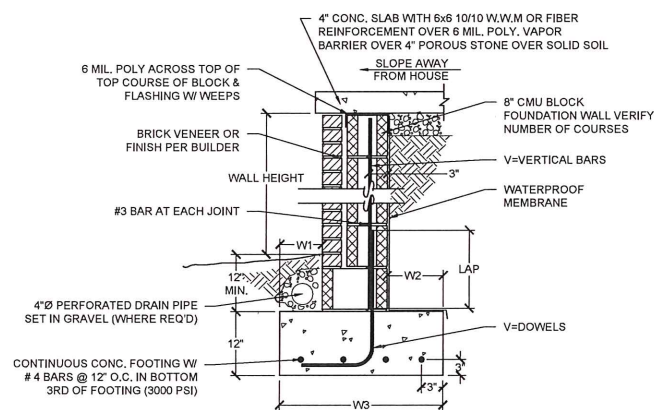


2 HOUSE TO PORCH  
S5 SCALE 1/4"=1'-0"

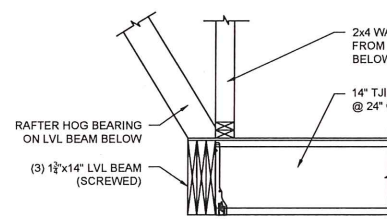
WALL HEIGHT UNBALANCED FILL	FOOTING			V = VERTICAL BARS & DOWELS	H = HORIZONTAL TOP FOOTING BARS	LAP
	W1	W2	W3			
0' TO 2'	6"	6"	20"	SOLID GROUTED	N/A	N/A
2' TO 4'	6"	6"	24"	#4 @ 16" O.C.	N/A	24"



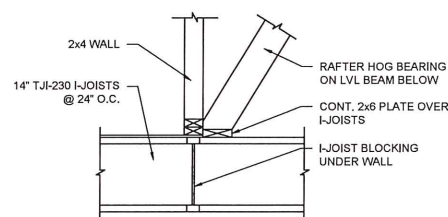
5 NEW PIER TO EXIST FDN WALL  
S5 SCALE 1/4"=1'-0"



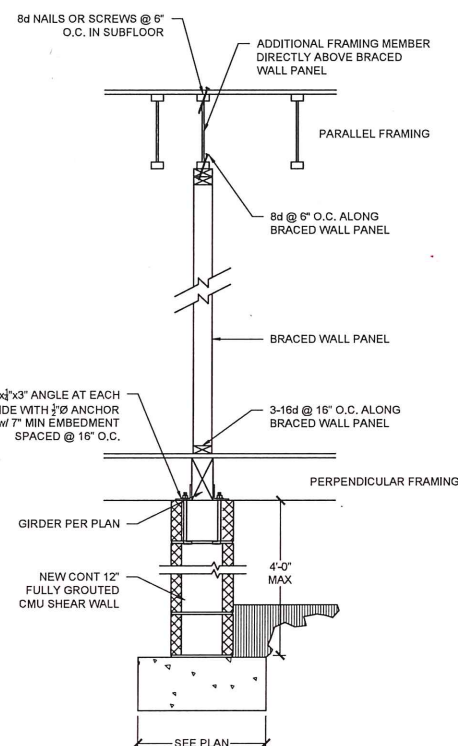
6 END OF TERRACE (BRICK)  
S5 SCALE 1/4"=1'-0"



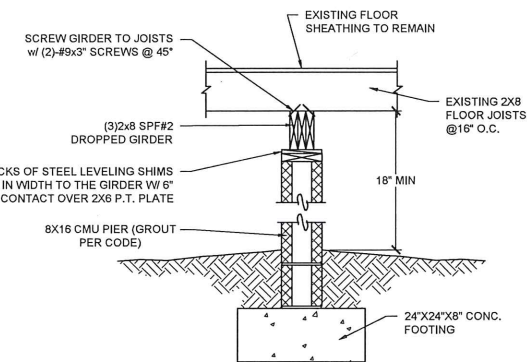
9 BEAM SUPPORTING RAFTER HOG  
S5 SCALE 1/4"=1'-0"



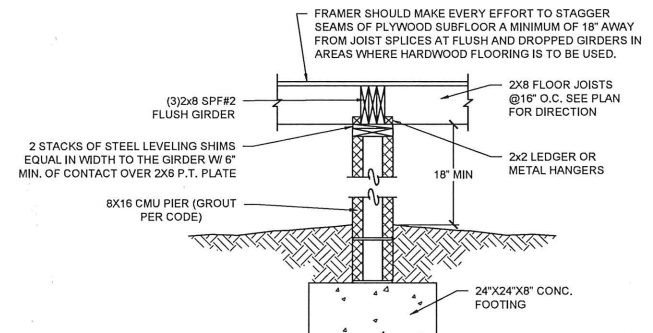
10 PLATE SUPPORTING RAFTER HOG  
S5 SCALE 1/4"=1'-0"



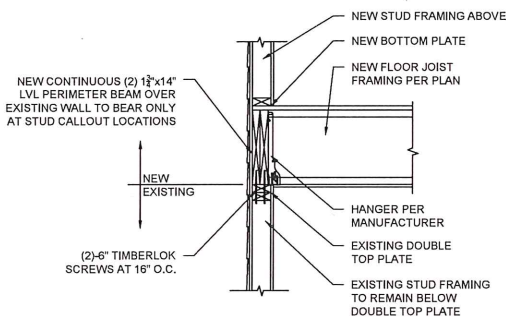
7 BRACED WALL PANEL CONNECTION SECTION  
S5 SCALE 1/4"=1'-0"



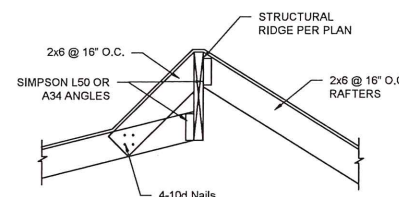
3 3-2X8 DROPPED GIRDER @ EXIST CRAWL  
S5 SCALE 1/4"=1'-0"



4 3-2X8 FLUSH GIRDER O/ 8X16 PIER  
S5 SCALE 1/4"=1'-0"



8 WALL EXTENSION DETAIL  
S5 SCALE 1/4"=1'-0"



11 STRUCTURAL RIDGE OVERBUILD  
S5 SCALE 1/4"=1'-0"

