



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCADMRM-2019-00114

DATE: 11 March 2019

ADDRESS OF PROPERTY: 2115 Wilmore Drive

HISTORIC DISTRICT: Wilmore

TAX PARCEL NUMBER: 11907518

OWNER/APPLICANT: Jason Murphy, Daedalus Properties

DETAILS OF APPROVED PROJECT: The project is a rear addition that is no taller or wider than the original building. The new addition footprint measures approximately 12'-6" x 24'-2 and will tie in beneath the existing ridge. Materials of the addition will be wood lap siding with mitered corners and a brick foundation match existing. A window on the rear will be changed to a door and a set of brick steps will be added. A new set of steps will also be added off an existing landing on the left elevation. New metal handrails will be installed on both sets of new steps. The new doors and windows will be wood, double-hung, Simulated True Divided Lights (STD L) in a 6/6 pattern to match existing as noted on the plans, window trim will match that in exhibit labeled 'Window Trim.' All details and trim will be wood. The HVAC units will be located at the rear. No changes will be made to the front elevation. No changes will be made to existing windows on the main house, except for repairs to match existing in design, dimension and material where needed.

The project also includes the installation of a 6-foot wood fence around the rear yard. On the right side the fence will tie in at the rear corner of the original brick house. On the left side the fence will drop down to 5-feet in height at the rear corner and will tie into the house in front of existing brick steps/side entry. The fence and driveway gate will be of the same design, with vertical pickets spaced 2" apart and capped off across the top. All framing members of the fence/gate will face inward to the property being enclosed, or both sides of the fence will be the same. The finished fence/gate will be stained or painted after and appropriate curing time.

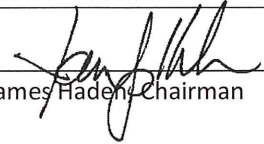
See attached plans.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval-Additions, page 2.6: Work in Rear Yards.
2. This application is in compliance with the Policy & Design Guidelines for Additions (page 7.2) and Fences (page 8.6).

Continued on next page

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman


Staff

No changes



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



APPROVED
Charlotte
Historic District
Commission

Certificate of Appropriateness

HDCADM-2019-0014
2019-0014

EXISTING FRONT
ELEVATION TO
REMAIN
UNCHANGED

WOOD SIDING
TO MATCH
EXISTING

BRICK TO MATCH
EXISTING

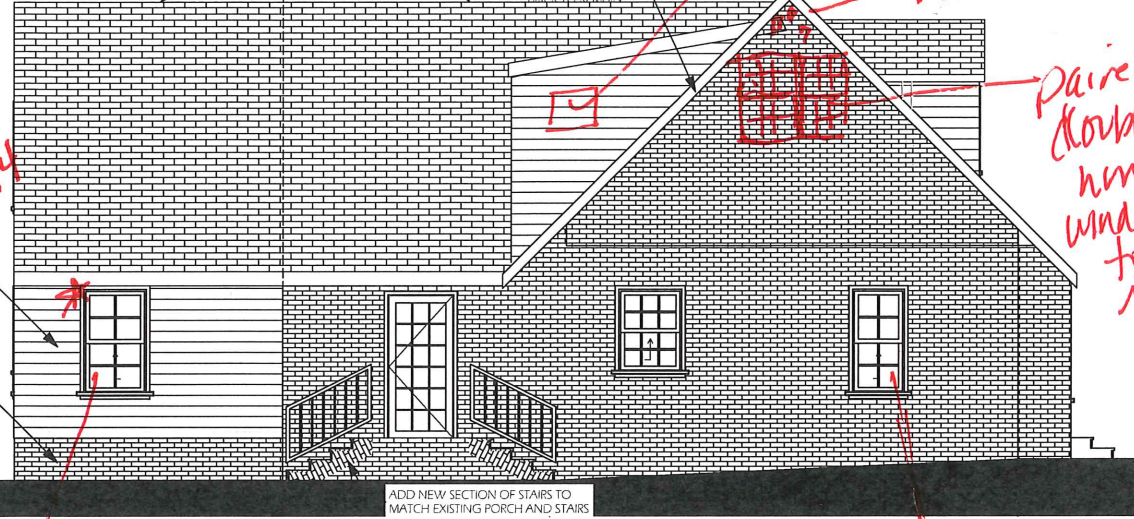
MATCH EXISTING
ROOF SLOPE, PEAK
AND MATERIAL

EXISTING SIDING AND
BRICK TO REMAIN

existing window
to remain

vent to remain

paired
double
hung
windows
to remain



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

6/6 to match
existing original
double-hung windows
on house not
4/4 as shown.

Chimney to remain
existing windows
to remain

Drawn incorrectly
original window
on house is 6/6

EXISTING SIDING AND
BRICK TO REMAIN



Double
hung wood
windows, typ.

WOOD SIDING TO
MATCH EXISTING

BRICK TO MATCH
EXISTING

ADD NEW SECTION OF
STAIRS TO MATCH
EXISTING PORCH AND
STAIRS

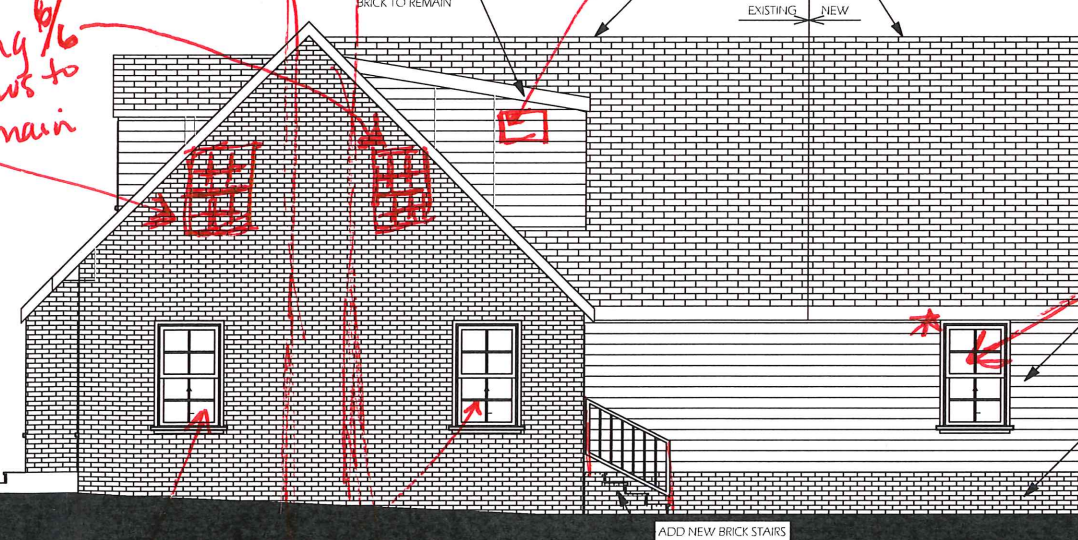
3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

* = New windows will not
have an apron as shown.
See window detail exhibit.

new windows will be
6/6 to double-hung to
match original
windows on house
not 4/4 as shown.

MATCH EXISTING
ROOF SLOPE, PEAK
AND MATERIAL

EXISTING NEW



4 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

Drawn Incorrectly - windows on original house are 6/6

new window
will be
6/6 to double-hung
to match
original
windows
on
house.
not 4/4
as
shown

JBA
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www.jbenonarch.com



WILMORE RESIDENCE
2115 WILMORE DR.
CHARLOTTE, NC 28203

Date:	Revision:
2/22/2019	

THE DRAWINGS AND PLANS SET FORTH
ON THIS SHEET AS INSTRUMENTS OF
SERVICE ARE AND SHALL REMAIN THE
PROPERTY OF JENNIFER BENSON
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IS LIMITED TO A SPECIFIC PROJECT FOR
THE PERSONS NAMED HEREON AND
FOR THE CONSTRUCTION OF ONE
BUILDING. ANY USE OR REUSE OF SAID
DRAWING IS STRICTLY PROHIBITED
WITHOUT PERMISSION FROM JENNIFER
BENSON ARCHITECTURE.

DATE: 2/22/2019	DRAWN BY: JAB
SCALE:	PROJECT NO: 19.080

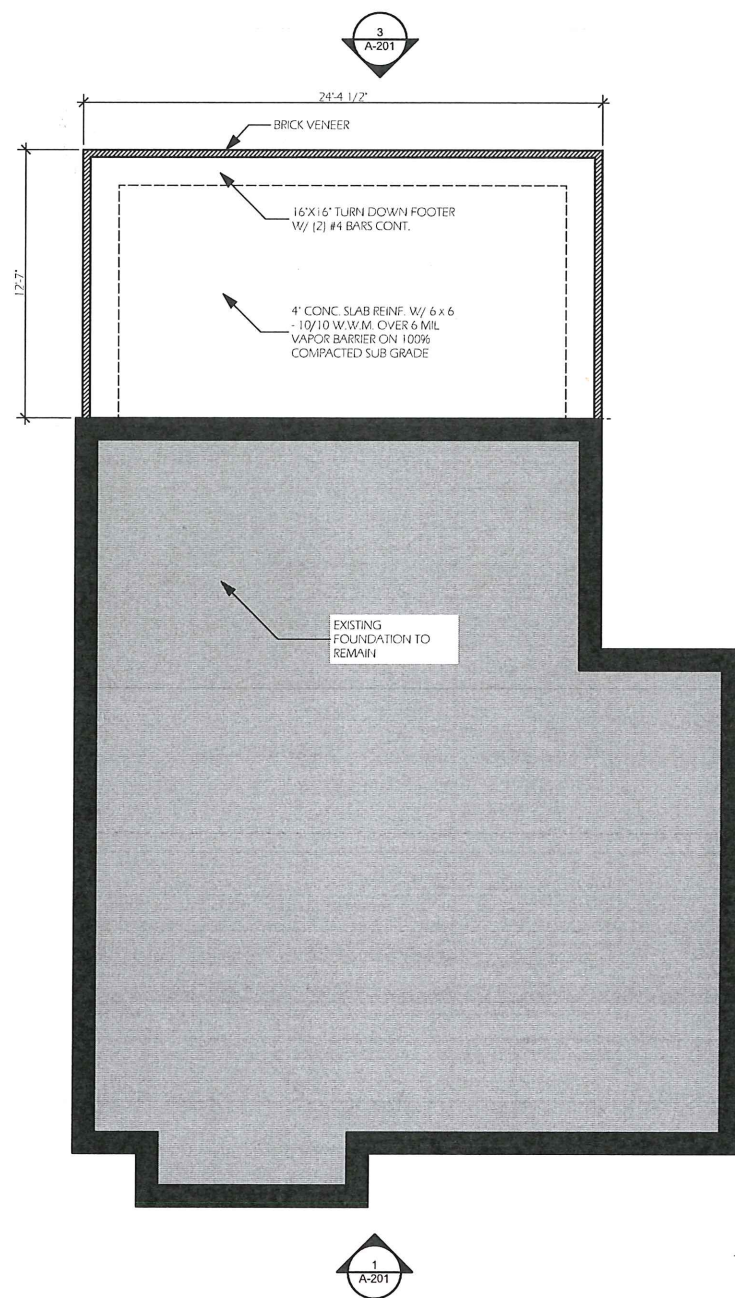
CHECKED BY:
JENNIFER BENSON

SHEET TITLE:
ELEVATIONS

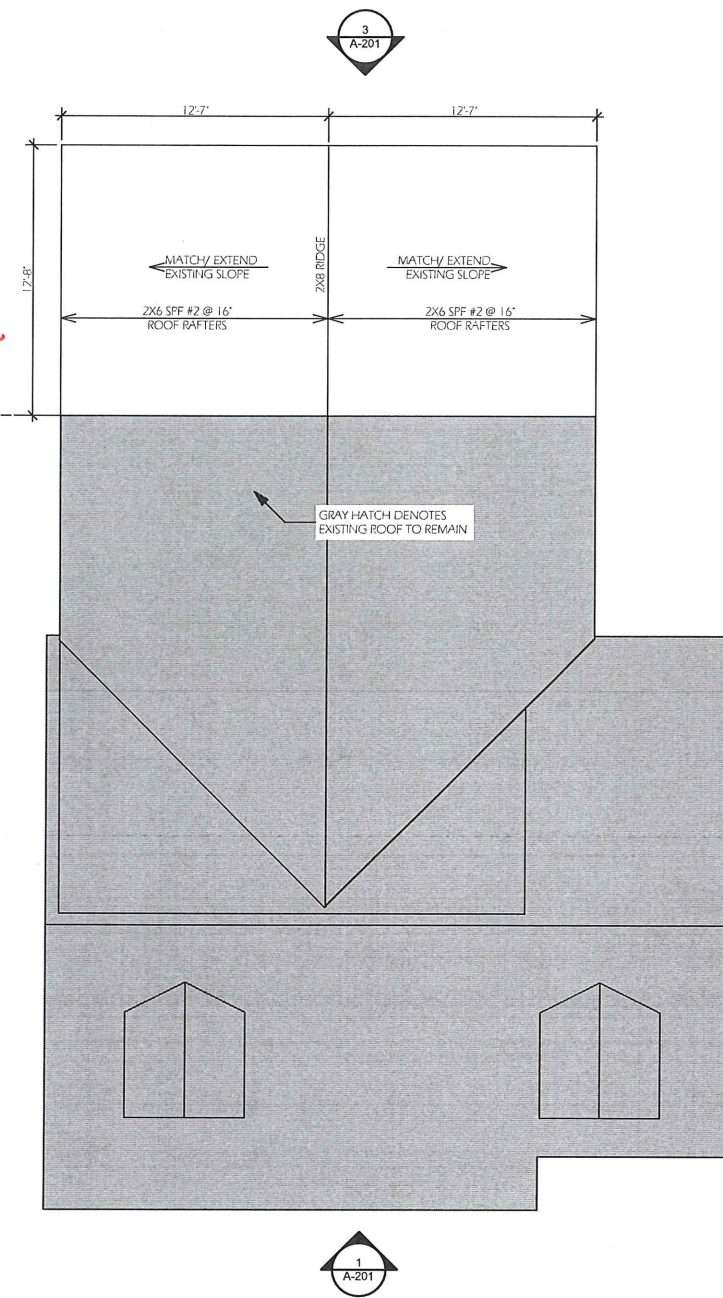
SHEET NUMBER:

A-201

ISSUED FOR CONSTRUCTION



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



2 ROOF PLAN
SCALE: 1/4" = 1'-0"

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0	Date:	Revision:

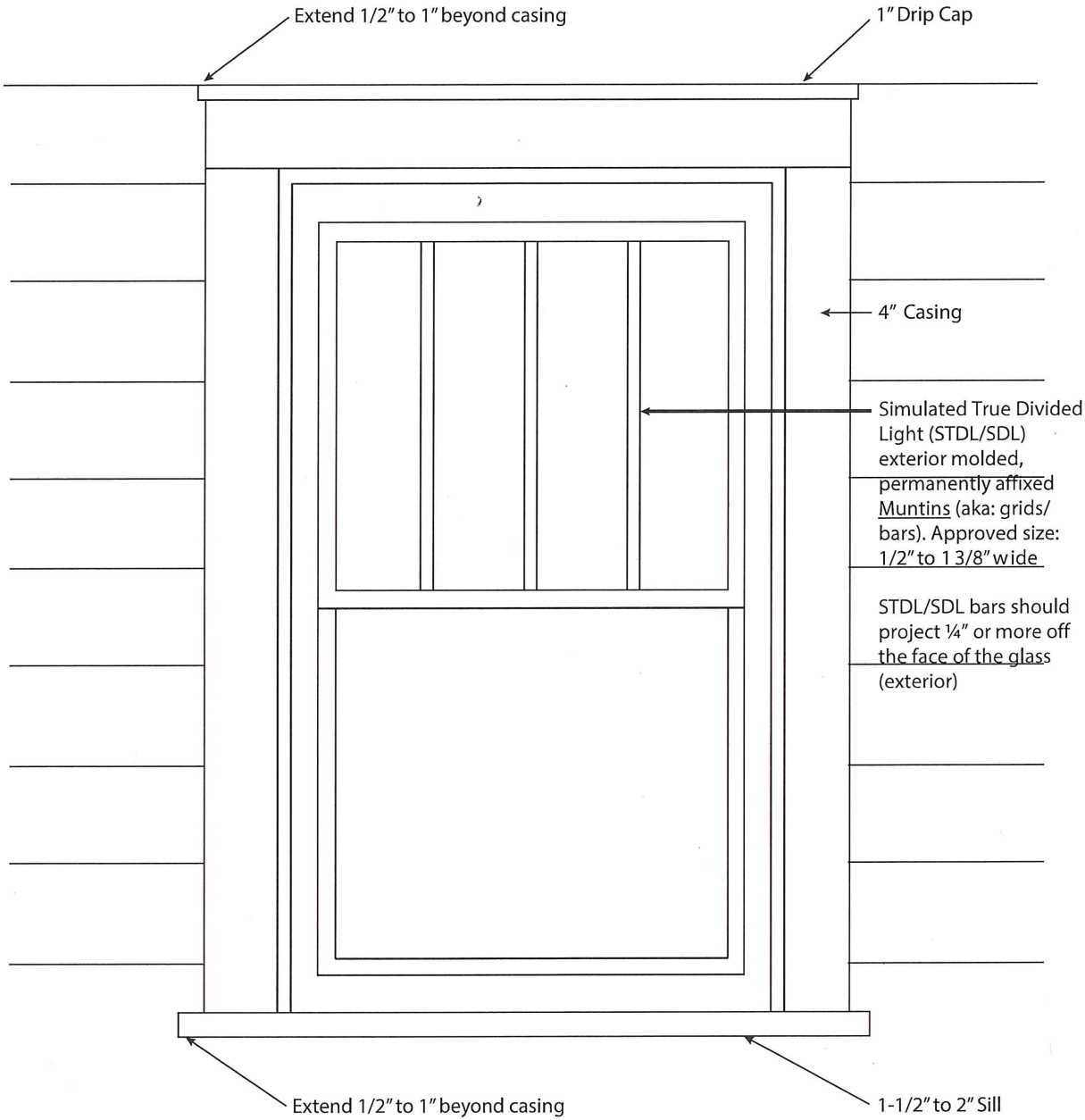
THE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF JENNIFER BENSON ARCHITECTURE. USE OF THIS DRAWING IS LIMITED TO A SPECIFIED PROJECT FOR THE PERSONS NAMED HEREON AND FOR THE CONSTRUCTION OF ONE BUILDING. ANY USE OR REUSE OF SAID DRAWING IS STRICTLY PROHIBITED WITHOUT PERMISSION FROM JENNIFER BENSON ARCHITECTURE.

DATE: 2/22/2019	DRAWN BY: JAB
SCALE:	PROJECT NO: 19.080
CHECKED BY: JENNIFER BENSON	
SHEET TITLE: FOUNDATION & ROOF PLAN	
SHEET NUMBER:	

A-103

ISSUED FOR CONSTRUCTION

Typical Window Trim Detail with Siding



For traditional designs the window should be recessed from the wall.

Window Trim Exhibit
March 2019





APPROVED

Charlotte
Hickory District
Commission

Certificate of Appropriateness

#HDCADME-2014

~~2014-00114~~

2019-00114



→ Interior of
fence or
both
sides
will look
the same.