



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCADMRM-2019-00089

DATE: 18 March 2019

ADDRESS OF PROPERTY: 500 E. Worthington Ave

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER: 12105818

OWNER: Timothy & Michelle Bendel

DETAILS OF APPROVED PROJECT: Site Improvements. This project is the addition of new small-scale vegetation and the repair of an existing retaining wall. The retaining wall will run the length of the right side of the structure, starting at the front porch back to the parking gate. The brick wall will step-up from 0'-6" to 2'-0" ending at the corner of the house, and will step-down again to 1'-6" and continue to the gate. The brick wall will include brick capped brick columns every 6'-0". No large canopy trees will be removed. See attached exhibits labeled 'Plans – March 2019'

1. Applicable Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 2.6: Landscape & Site Features.
2. The applicable Design Guidelines for Landscaping and Yards (page 8.4) have been met.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

James Haden, Chairman

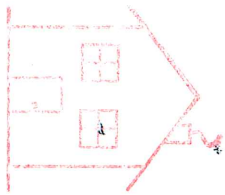
Staff

Plans - March 2019

2019 - 00089

#HDCADM121

Certificate of Appropriateness



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Lyndhurst Avenue

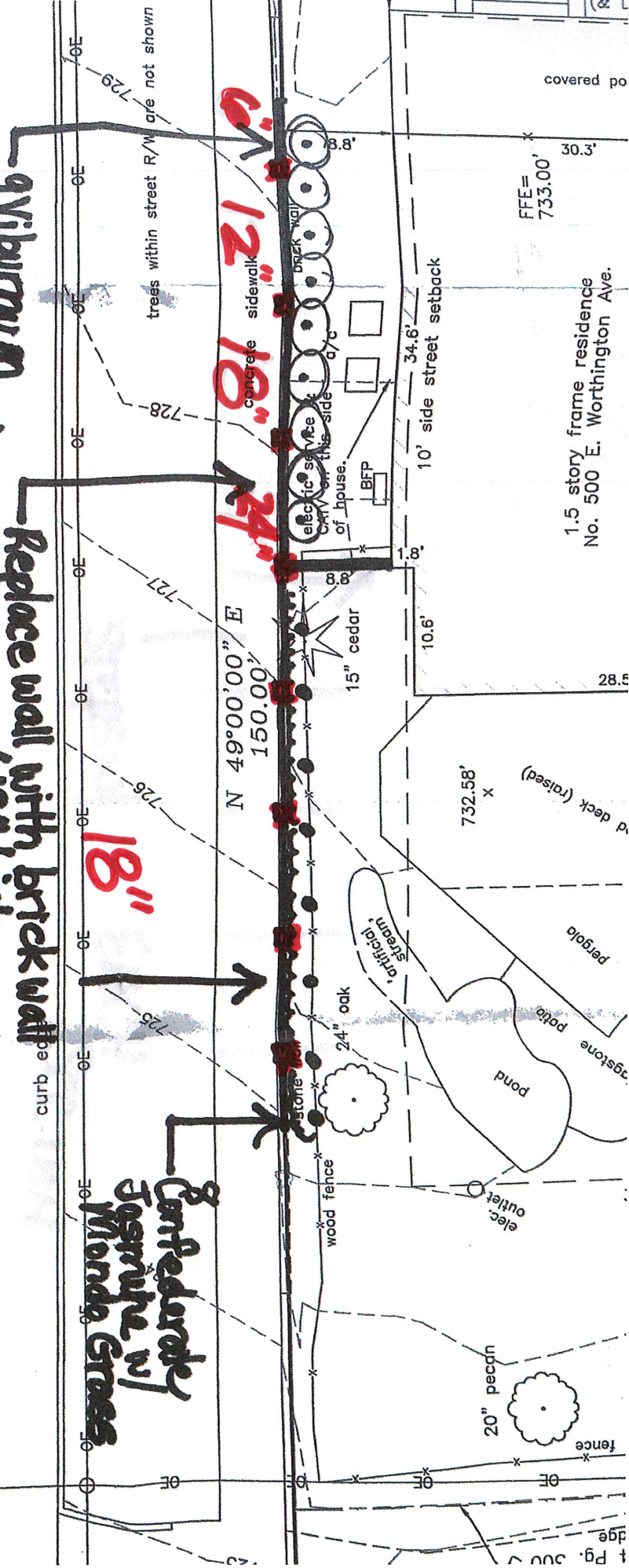
60' public R/W per M.P. 20.60

9Viburnum
trees Compaction

Replace wall with brick wall
218" high

18"

Confederate
Jasmine w/
Yucca Grass



FFE= 733.00'

1.5 story frame residence
No. 500 E. Worthington Ave.

28.5

732.58'

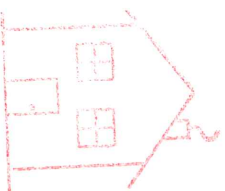
10.6'

34.6'

10'

30.3'

covered po



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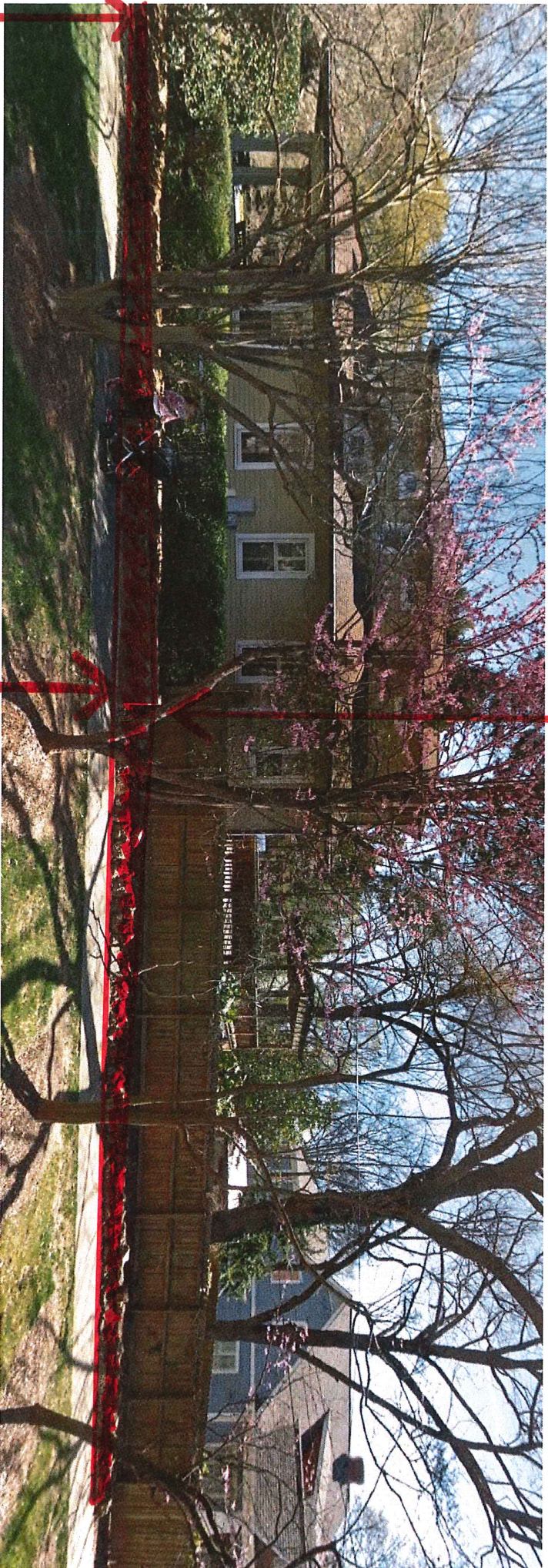
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Certificate of Appropriateness

HDCASMEW

2019 - 00089

Plans - March 2019



4"

Step-4P

24" ΔT
High Point

18"
from
this
point
Back



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HDCADM2M

2019-00089