



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMA-2019-00085

DATE: December 13, 2019

ADDRESS OF PROPERTY: 1101 Myrtle Avenue

TAX PARCEL NUMBER: 12305179

HISTORIC DISTRICT: Dilworth

OWNER/APPLICANT: Westwood Stevens Grove LLC

DETAILS OF APPROVED PROJECT: The project is a new three-unit townhome project with detached garages. The front setback of the project is approximately 20' from back of existing city sidewalk on Myrtle Avenue and approximately 17'-8" from the back of the city sidewalk on Lexington Avenue. Proposed trees are noted on the site plans. Townhome heights are +/- 29' from grade at Lexington Avenue and +/- 32' from grade at Myrtle Avenue.

Materials include brick veneer siding in a historic brick color range, mortar and style that varies amongst the three primary buildings to avoid a homogeneous appearance (see attached images). Windows are Lincoln aluminum clad Simulated True Divided Light (STDL) with wood shutters. The brick mold material on the windows is approved as wood. Any requests for non-traditional materials not specifically stated in this COA will require review/approval by the full Historic District Commission.

The front door on Buildings #1 & #3 will be the Tucker Door #412-V with #4704-V sidelights. The front door for Building #2 will be Tucker door #4661-V with #4661-V sidelights. (Note: Doors shown on the attached drawings are noted to be per the attached selections and are not drawn to exactly match the selected doors).

Garage heights are 16'-10" from grade. Garage siding material is Hardie Artisan smooth lap siding with mitered corners. All garage doors will be carriage-style Wayne Dalton #9405 Westfield with Clear II windows. The garage door facing Lexington will be wood, and the garage doors on the interior structures are not visible from the street and will be steel with a wood-look. Driveways will be a brick paver material in tones to compliment the main structures.

The proposed retaining wall detail between Building #3 and the Myrtle Square Condos is shown on A3.01 of the Building #3 set. The wall is proposed to be flush with the existing grade and thus will not have a visible elevation.

Continued on next page

See attached plans. The project was approved by the HDC on July 10, 2019.

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.



Jim Haden, Chairman



Staff

SPECIFICATIONS
DIVISION 1 - GENERAL REQUIREMENTS & CONDITIONS
The work shall comply with the provisions of the North Carolina State Building Code Volume VII - Residential 2018 Edition with current amendments and other applicable standards.

DIVISION 2 - SITE WORK

Demolition:
Remove existing trees and underbrush as required for the additions.

Earth Work and Site Grading:

Excavation and backfilling shall be in accordance with the Drawings and site conditions. All backfill shall be compacted in accordance with standard codes.

Soil Treatment:

Provide termite treatment to the wood framing elements and foundation as required.

Foundation Drain:

4" perforated corrugated plastic pipe and gravel fill to be provided based on drainage conditions as required by the building code. Use 4" pvc pipe for gutter down spout and Vapor Barrier:

Provide 100 % coverage with 6 mil poly vapor barrier

DIVISION 3 - CONCRETE

Slab Reinforcement:

See structural drawings for requirements.

Footings:

See structural drawings for specifications and locations.

Concrete Materials:

See structural drawings.

DIVISION 4 - MASONRY

Mortar:

See structural drawings.

Masonry Accessories:

See structural drawings.

Concrete Masonry Units:

See structural drawings.

Brick:

See selection by owner

DIVISION 5 - METALS

Structural shapes:

See structural drawings for steel members and specifications.

DIVISION 6 - WOOD AND PLASTIC

SEE STRUCTURAL ENGINEERING DRAWINGS FOR FRAMING CONSTRUCTION AND ROOF CONSTRUCTION SPECIFICATIONS

Carpentry, General:

See structural drawings.

Walls:

Which are in contact with masonry or concrete shall be pressure treated No. 2 southern yellow pine.

Floor Joists and structural members:

2x floor joists and 2x structural members shall be of sizes indicated in Southern yellow pine as indicated on the structural drawings. See the structural drawings for engineered lumber.

Exterior Wall Studs and Plates:

Exterior corners shall be composed of two studs with ladder blocking to catch the internal corner. Exterior intersecting walls to be attached with ladder tees. Headers in the exterior wall shall have a 1/2" foam insulation board between the structural members unless specified differently on the structural drawings.

Subfloor:

Use Grant Forest Products 3/4" T&G "RainBLOCK" or equal.

Builders Paper:

Shall be Tyvek or equal. Wraps at window and door openings to be per manufactures instructions. Laps in the wrap shall maintain the drain plane to the exterior.

Wall Sheathing:

Shall be 7/16" exterior grade OSB structural sheathing. Exterior to be wrapped in "Tyvek" or equivalent house wrap product.

Roof Sheathing:

Shall be 7/16" OSB by Grant Forest Products or equal.

Exterior Wood Trim & Soffits:

Shall be "Miracle" or equal in the sizes indicated on the plans. Joints shall be randomly staggered, bevel cut. Soffits shall be 3/8" AC plywood. Exterior porch ceilings to be Bead Board plywood on depth spans 8' or less.

Exterior Siding:

"Hardie Artisan" lap siding. See manufacturer's instructions for installation.

Interior Trim:

Kin dried SYP. Popular or paint grade MDF.

Hardwood Flooring:

3/4" T&G No. 1 common Red Oak installed over 15 lb. Felt, with 1 coat of stain and 3 coats of polyurethane finish. See the drawings for locations. Owner to select stain color and final polyurethane finish. Wood floor vents will be installed in hardwood areas, shoe mold to be 1/2" oak shoe mold with finish to match the hardwood floors.

Architectural Woodwork:

Cabinet work shall be custom fabricated from cabinet maker's standard styles and finishes per allowance.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

Building Insulation:

Install all building insulation in strict accordance with manufacturer's printed instructions. Provide a continuous thermal barrier between the inside conditioned space and the outside.

Provide a "Touch Air Barrier" on all 6 sides of insulation except ceiling and floor insulation which will touch air barriers on 5 sides.

Insulation to be properly labeled or be the proper depth to indicate the proper R-value.

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Use sill sealer between the foundation and sill plates.

Caulk the bottom plate of the exterior wall.

Air seal the band joint cavities between floors.

Ensure air barrier continuity at all framed cavities (especially behind tubs on the exterior wall). Caulk or foam all electrical, plumbing, and HVAC penetrations between floors to the exterior and between floors. Block and seal kneewalls. Weatherstrip attic hatches and kneewall doors. Insulate, caulk or foam the gaps between window and door jambs and framing. All recessed lighting into unconditioned space to be air tight and insulation rated. Caulk or foam HVAC register boots to the subfloor or drywall that penetrate the conditioned envelope. Cap and seal all chases to unconditioned space. Provide an Attic Tent over the pull down stair or provide an attic stair with an insulated door with weather-stripping. Exterior Wall Stud Insulation: Shall be R-15 batt insulation. Attic Insulation: Blown fiberglass to min R-38. Roofing Felt: 1 layer 15 lb. Inorganic felt, asphalt-saturated. Rolls shall be 36" wide and shall conform to ASTM D 250. Roofing Material: 30 yr. Fiberglass Architectural asphalt shingles installed per manufacturers printed instructions. Color as selected by the Owner. Flashing and Sheet Metal: All metal cap and counter flashing shall be aluminum or Galvanized as required, painted black. Use copper at roof returns, exposed header flashing, and as alternate for the wall flashing. Gutters: Install gutters on all fascias in color as selected by the owner from standard colors. Caulking and Sealants: Provide a one-part butyl sealant on exterior and around interior of all doors and windows. Interior sealant shall be acrylic latex to fill all cracks and voids in the construction. Sealant shall be installed after priming is completed.

DIVISION 8 - DOORS, WINDOWS, AND GLASS

Mirrors:

As supplied by the owner

Exterior Doors:

Per SELECTIONS.

Interior Doors:

Shall be 1 3/8" MDO in style as selected by the owner.

Hardware:

Door hardware as selected by the owner.

Windows:

Shall be as selected with insulated Low-E glass. Windows in sizes and SDL patterns as shown on the plans. Exterior Casings to be Brickmold unless specified differently. Windows to have a U-factor rating of less than 0.40. Glass doors to have a SHGC of less than 0.35.

Attic Pull down Stair & Door:

Verify size to accommodate new HVAC equipment. Install an insulated and weather-stripped door.

DIVISION 9 - FINISHES

All surfaces to be painted shall be filled, sanded, cleaned and primed in preparation for finish painting.

Gypsum Drywall:

Gypsum board shall be tapered-edged 1/2" thick throughout conforming to ASTM C 36 and as manufactured by USG or equal. Tape shall be "Perf-A-Tape" by USG or equal. Compound for embedding fill coat application shall be "Perf-A-Tape" Joint Compound by USG or equal. Trim shall be zinc or vinyl. All corners shall receive corner beads.

Carpet:

Provided per allowance. Allowance to include pad, carpet, installation and taxes.

Ceramic Tile:

Floors (per plan). Tile shall be as selected by owner. Tile to be thin set installed over 1/2" Dura rock or equal. All corners and intersections between Dura rock to be waterproofed, joints to be taped and waterproofed.

Painting:

Provide painting for new areas as follows: All exterior wood, metal, and trim; interior rooms (including walls, trim, door, etc). Colors shall be selected by the Owner. Paint shall be as manufactured by ICI or approved equal. Paint in accordance with following schedules:

Gypsum Wallboard (Walls):

Spot prime all cemented and tape joints with Fast-Dri Latex wall primer.

One (1) Coat Latex Wall Primer

Two (2) Coats Latex, flat

Wood (Interior and Exterior) Paint Finish: Verify proper paint for existing surfaces to be painted

One (1) Coat Latex Primer (unless factory primed)

Two (2) Coats Latex Semi-Gloss Enamel

DIVISION 10 - SPECIALTIES

Closet Shelving:

Solid particle board and Melamine as indicated on plans, manufactured by "Closet Maid" or equal. See allowance

Cabinets:

As selected by the owner

Countertops:

Granite or quartz per owner's selection

DIVISION 11 - MECHANICAL AND PLUMBING

MECHANICAL:

As directed by owner.

PLUMBING:

Fixtures:

As selected by the Owner, All fixtures to meet National Energy Act low flow standards.

Miscellaneous:

Water Heater: As selected by Owner

Roof Flashing: One piece neoprene

Piping Specifications:

Interior Drainage, waste, and vent piping:

Schedule 40 PVC DWV FC pipe and fittings or equal.

Interior water supply and distribution:

CPVC or equal with copper crimping ring type fittings, piping not insulated.

Sanitary Sewer:

4" Schedule 40 PVC DWV FC pipe and fittings, Tie into the existing.

Water Service:

Existing

DIVISION 12 - ELECTRICAL

Switches, Receptacles, and Cover Plates:

Device color shall be selected by Owner. Switches shall be toggle type silent mercury.

Provide outside receptacles at all decks as required by the building code.

Provide Cable TV Locations: Per Owner

Provide Phone Locations: Per Owner

Bell Locations: at Front and side entries per Owner.

All Cable and Telephone wires to be home run to exterior location as indicated.

Light Fixtures:

Shall be certified by Energy Star

Indicated fixtures shall be as selected by Owner.

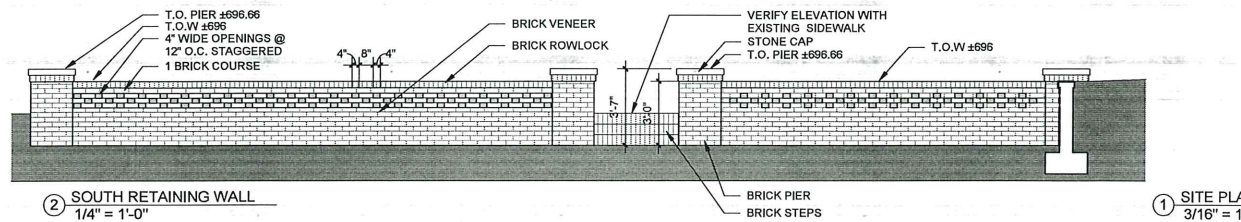
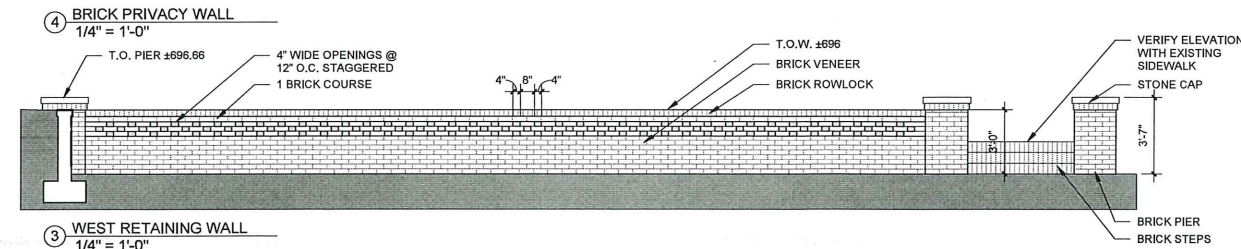
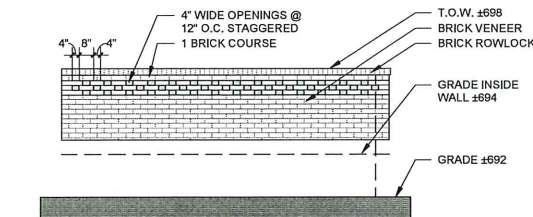
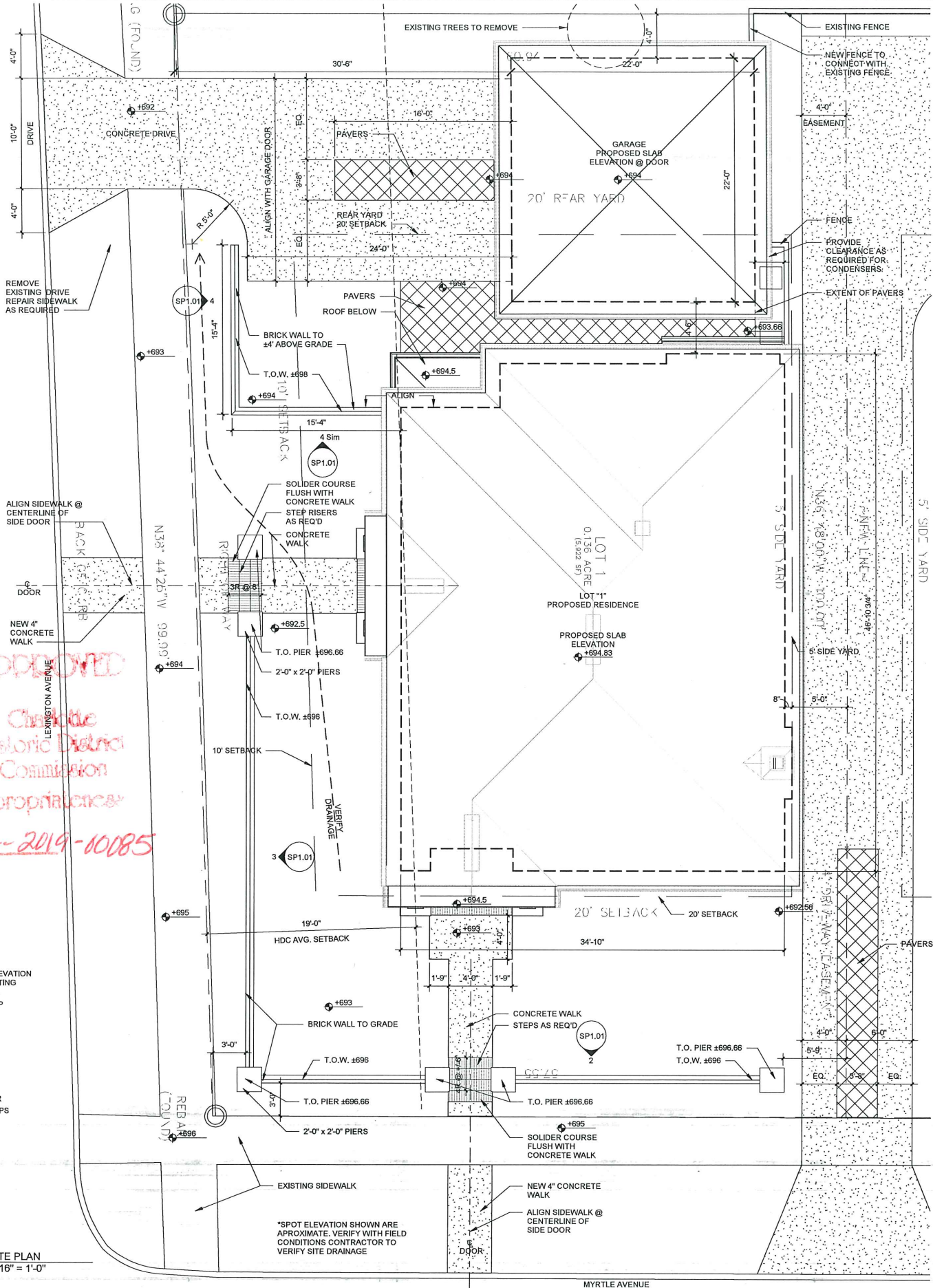
Recessed lights installed into unconditioned space shall be Air tight insulation rated with gasketed trim rings.

Appliances:

As selected by the Owner, appliance to be Energy Star certified.

LANDSCAPING & IRRIGATION

Landscaping and irrigation to be provided per allowance.



1 SITE PLAN
3/16" = 1'-0"



1009 East Boulevard
Charlotte, NC 28203
phone: (704) 333-3360
fax: (704) 333-3362

construction@dasarchitecture.com

Myrtle Ave Bld 1

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SITE PLAN

Drawn By: JA Checked By: KP
DAS Project Number 18 20800
Date 11-08-19

SP1.01

Scale As indicated



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Myrtle Ave Bld 1

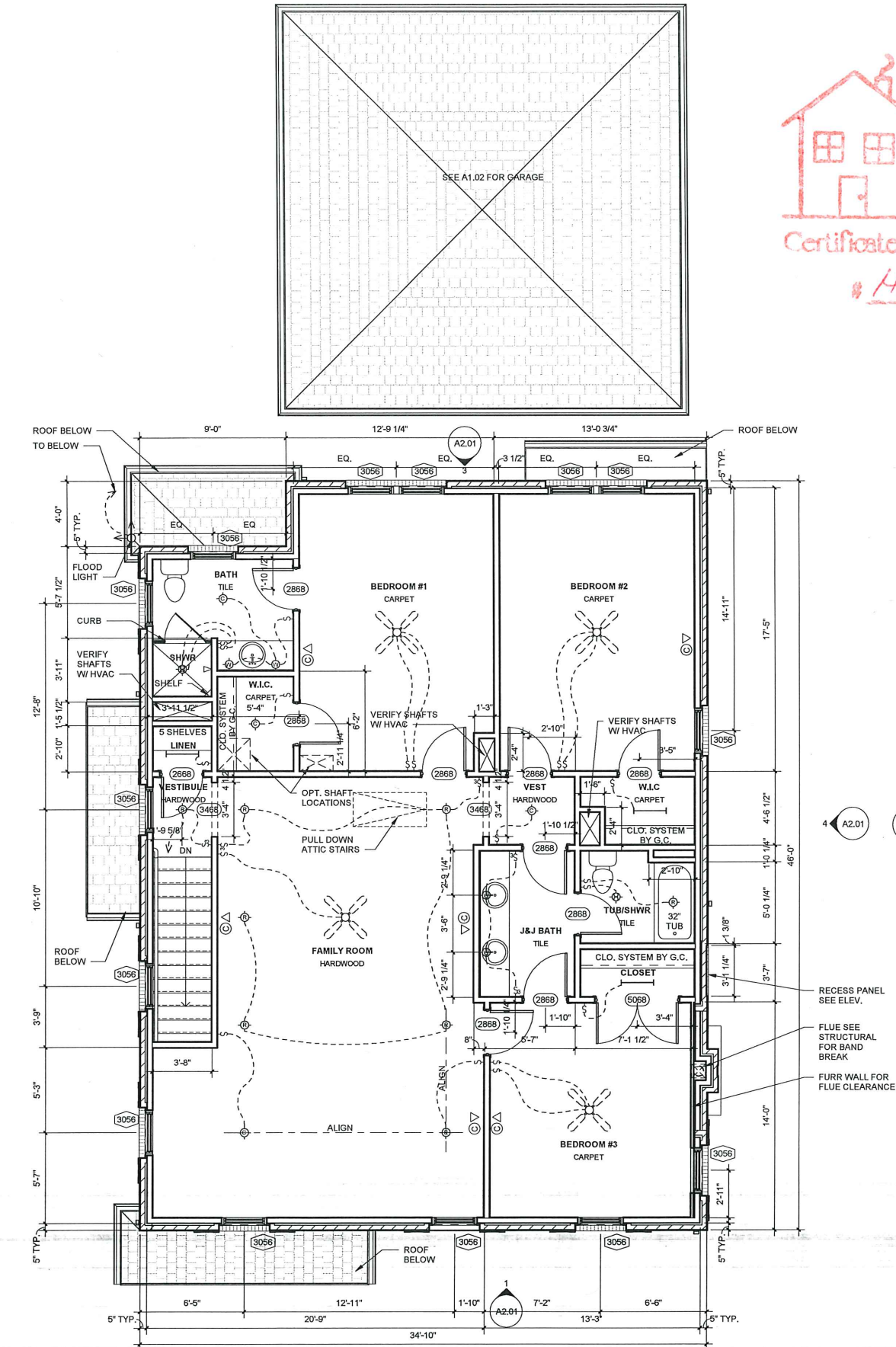
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PLANS

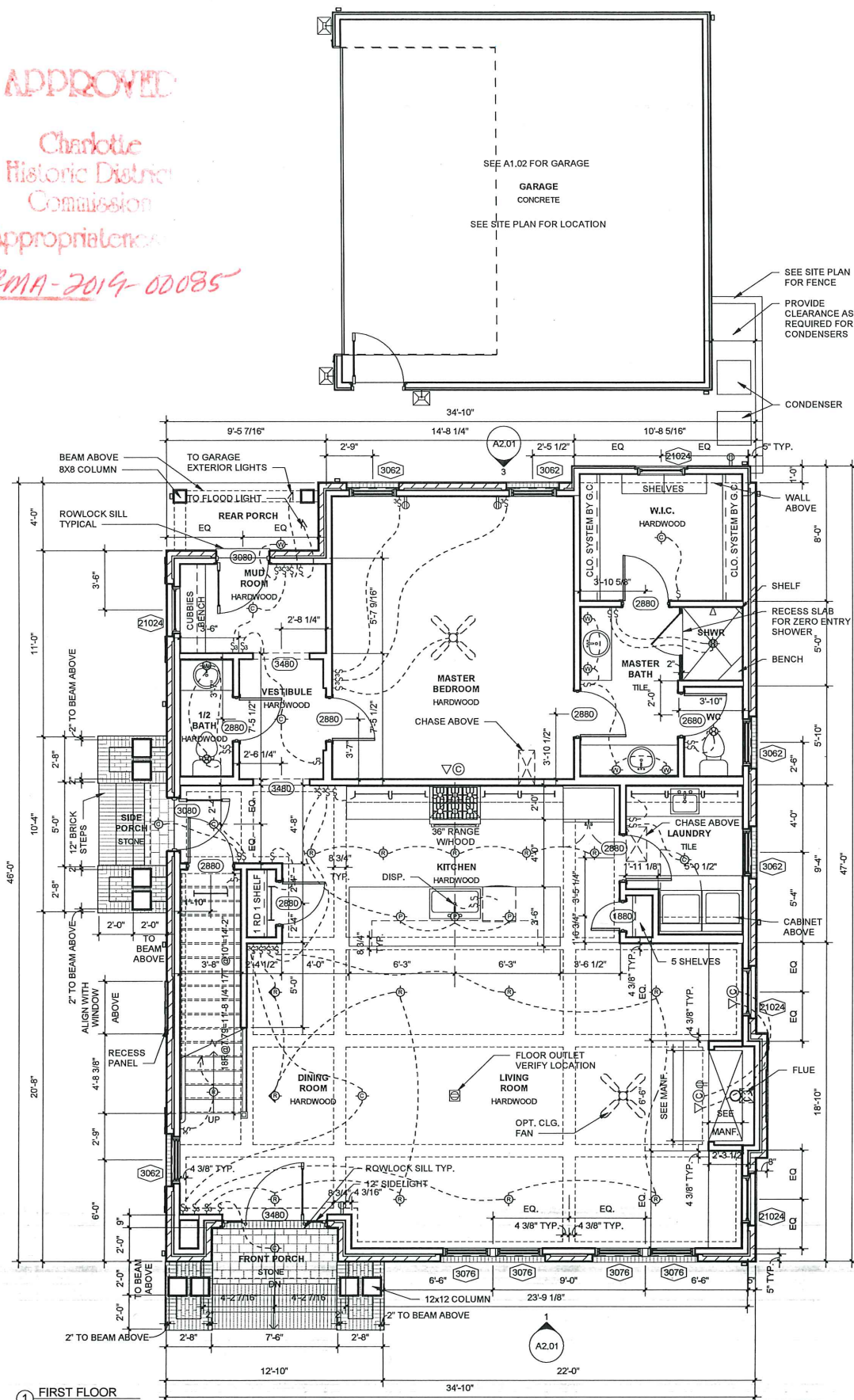
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DAS Project Number 18 20800
Date 11-08-19

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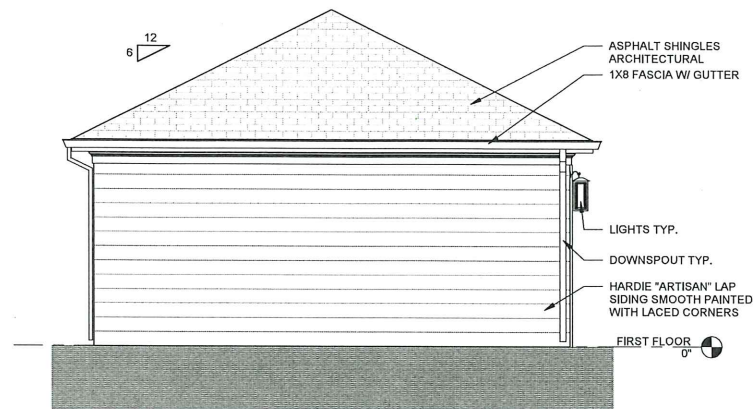
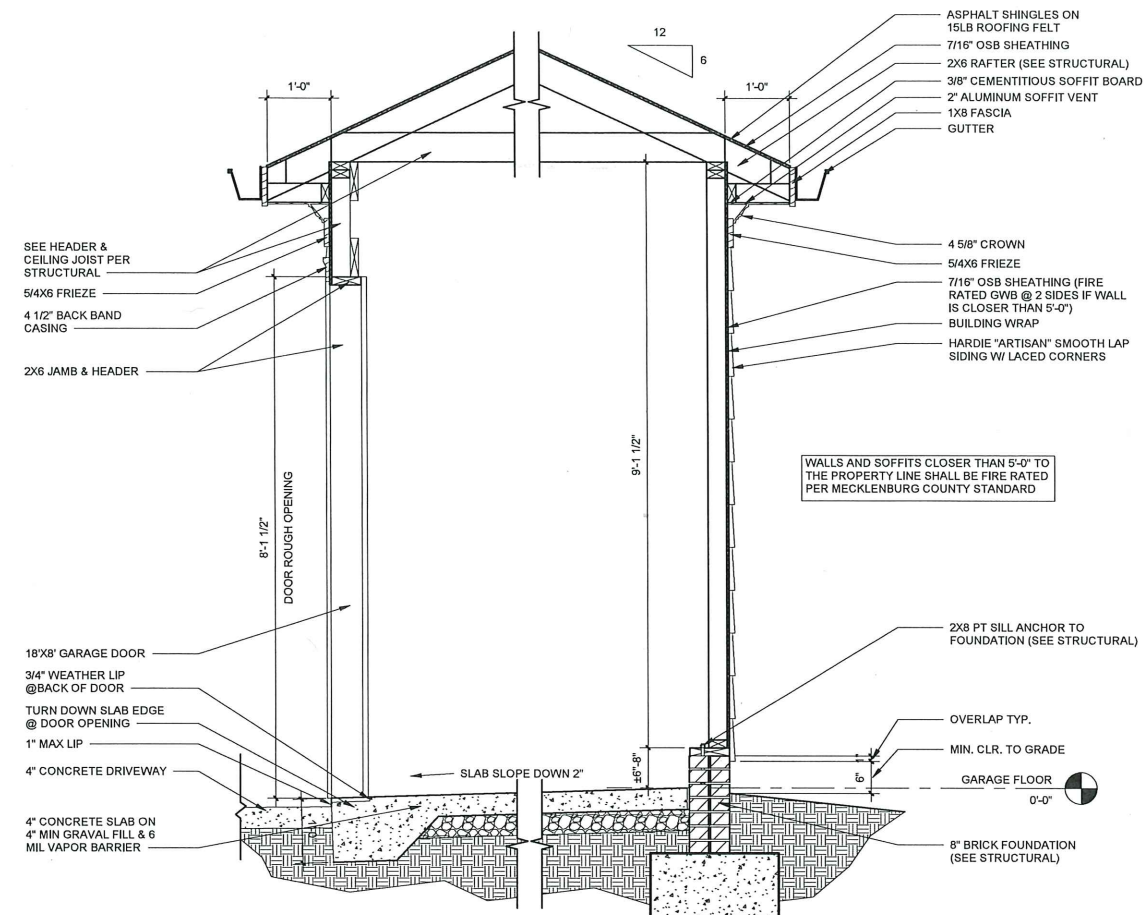
Scale 1/4" = 1'-0"



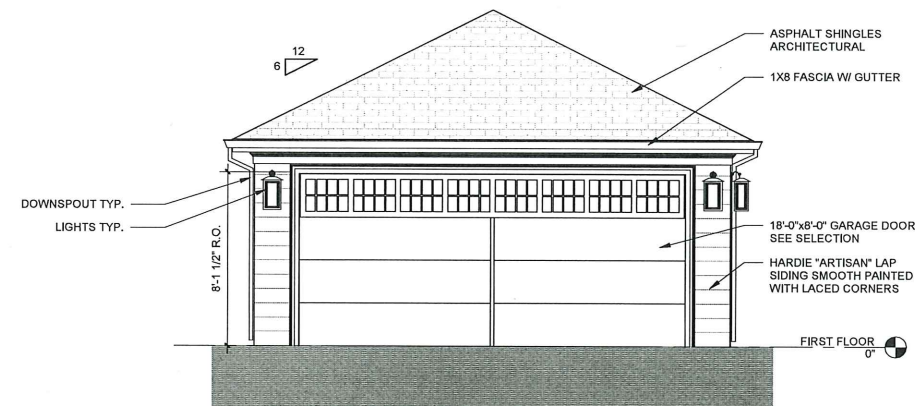
② SECOND FLOOR
1/4" = 1'-0"



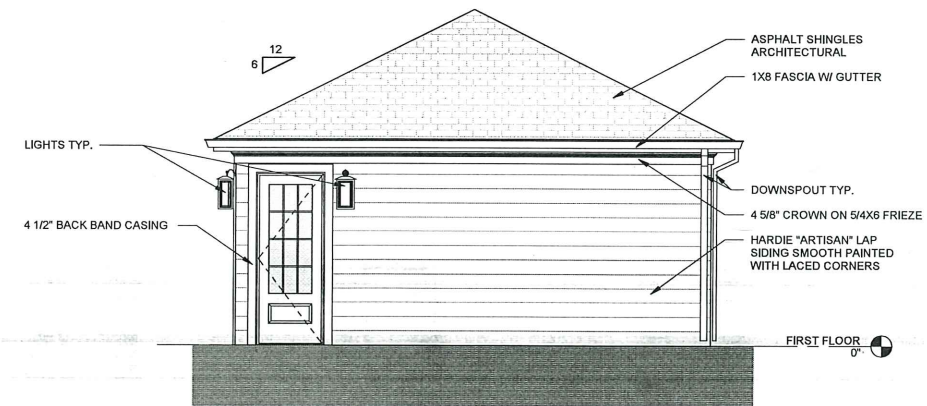
① FIRST FLOOR
1/4" = 1'-0"



5 REAR GARAGE ELEVATION
1/4" = 1'-0"

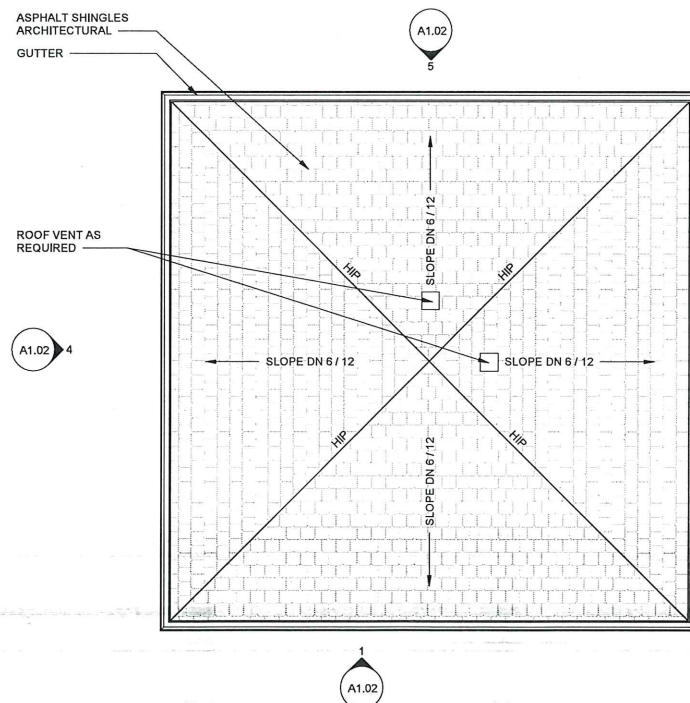


4 LEFT GARAGE ELEVATION
1/4" = 1'-0"

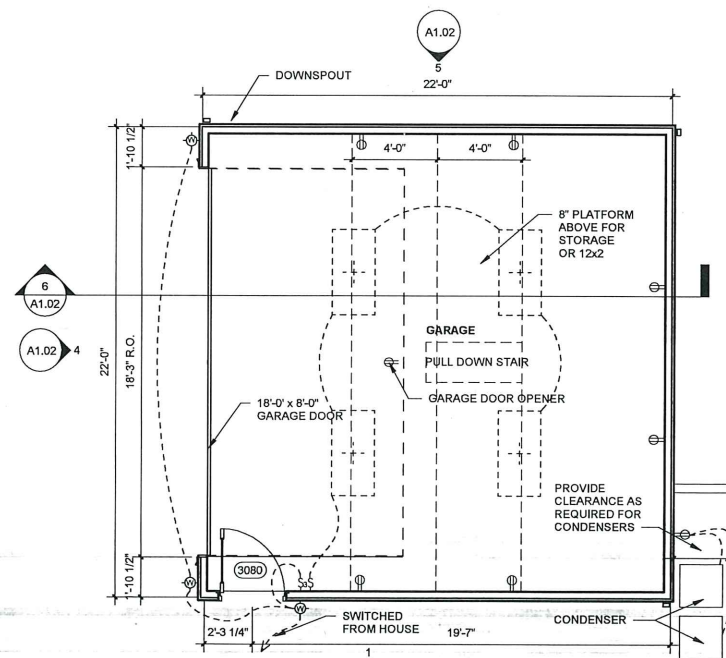


1 FRONT GARAGE ELEVATION
1/4" = 1'-0"

6 SECTION THROUGH GARAGE
3/4" = 1'-0"



3 GARAGE ROOF PLAN
1/4" = 1'-0"



2 GARAGE PLAN
1/4" = 1'-0"



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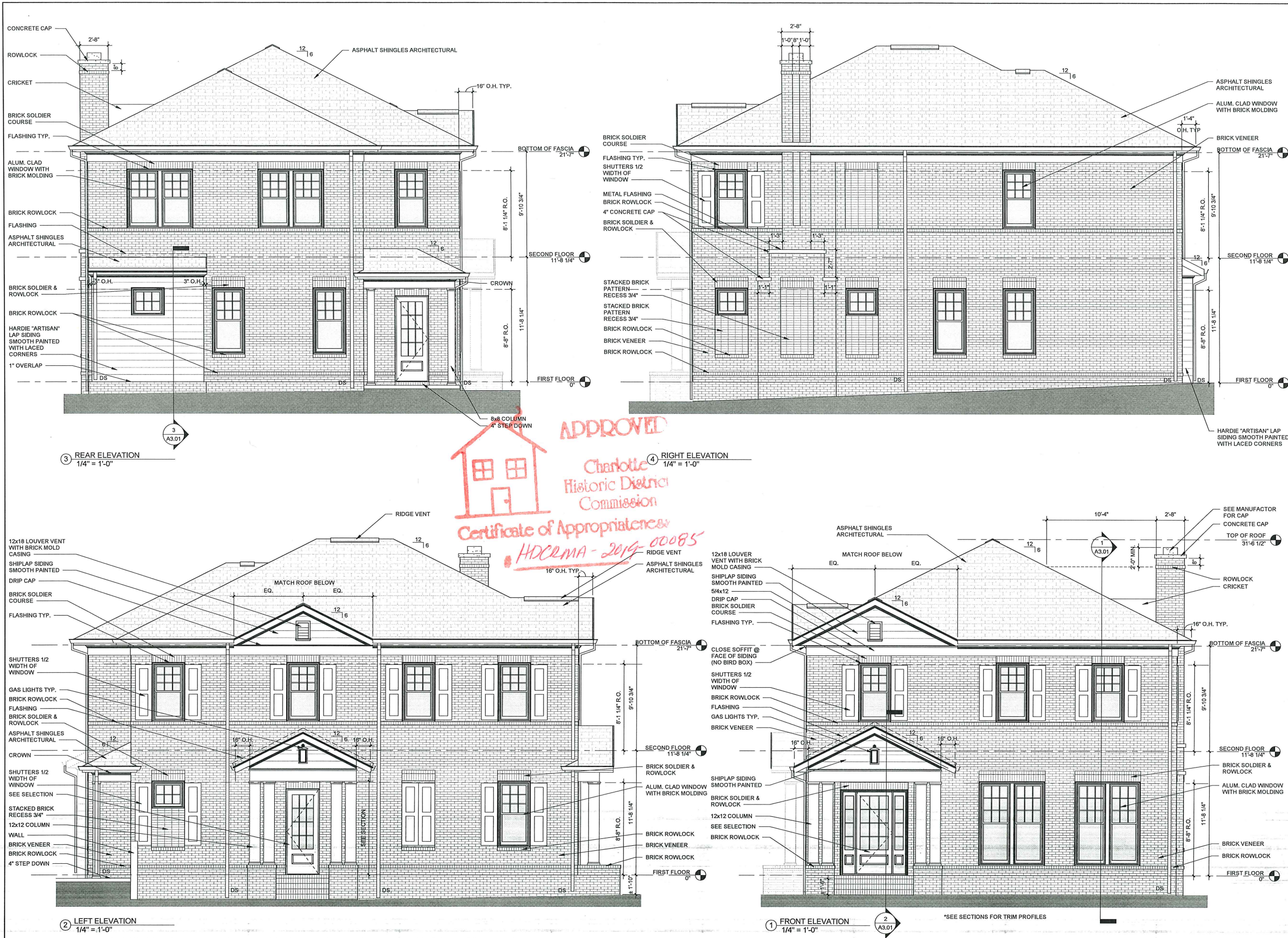
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GARAGE PLANS AND ELEVATIONS

Drawn By: JA Checked By: KP
DAS Project Number 18 20800
Date 11-08-19

A1.02

Scale As indicated



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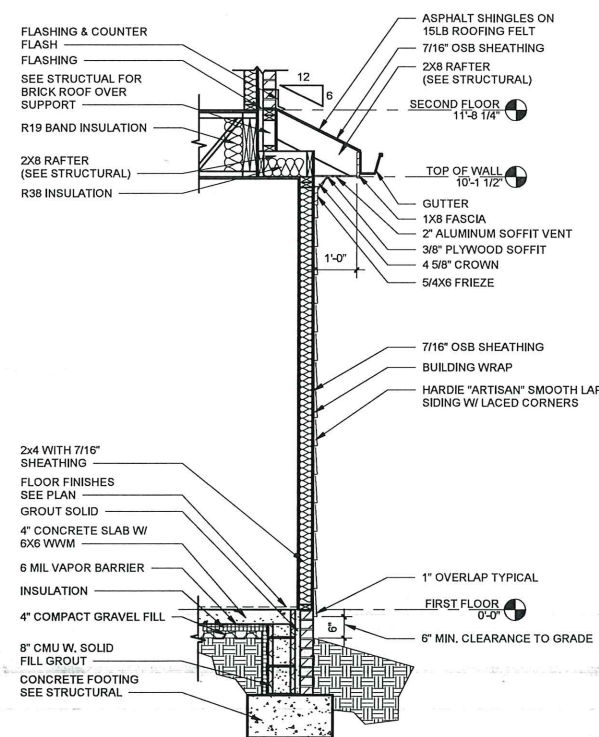
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EXTERIOR ELEVATION

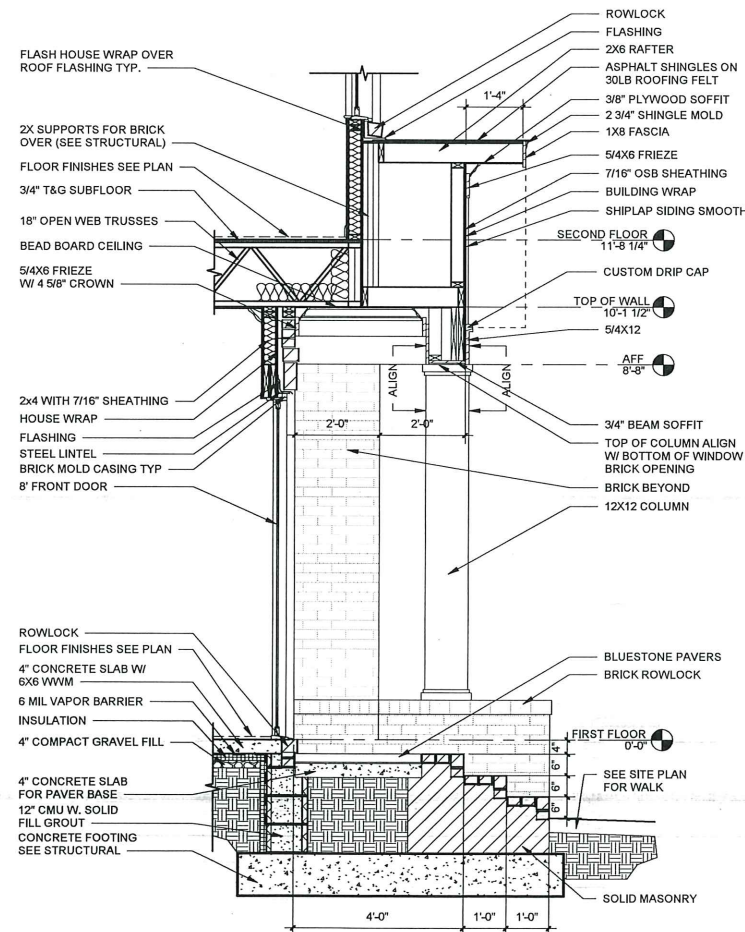
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A2.01

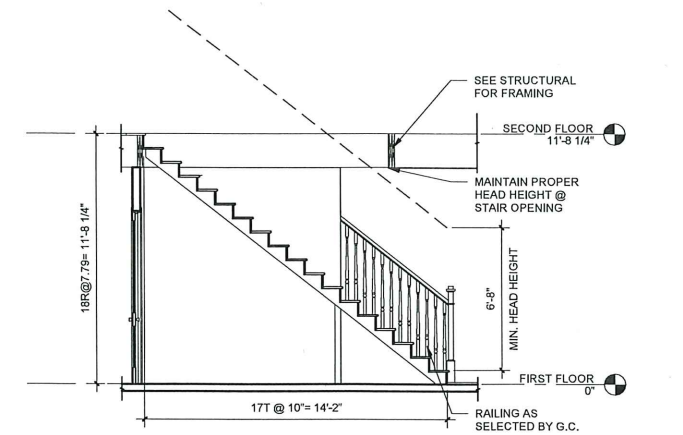
Scale 1/4" = 1'-0"



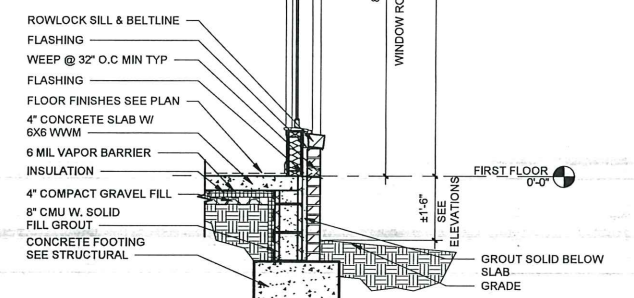
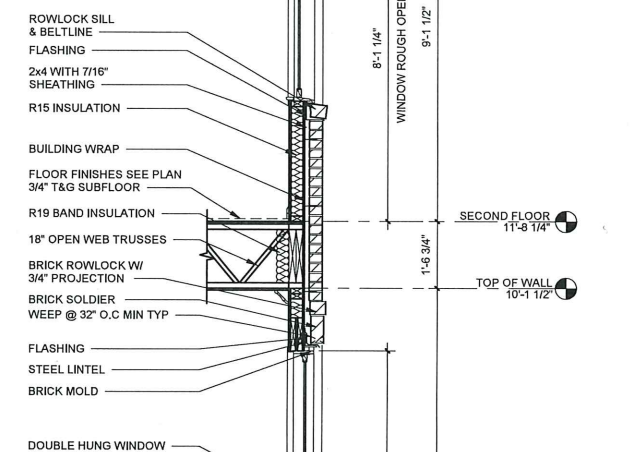
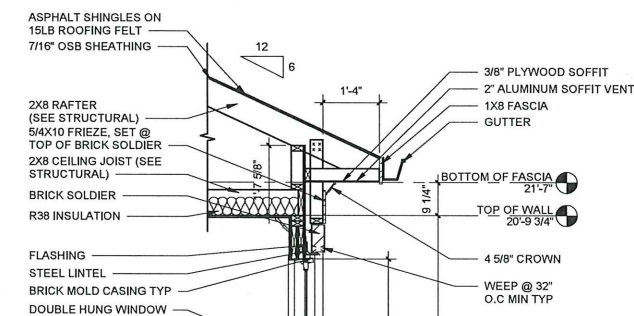
③ SECTION AT REAR WALL
1/2" = 1'-0"



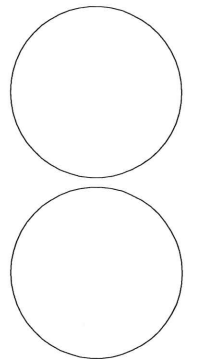
② FRONT PORCH SECTION
1/2" = 1'-0"



④ STAIR SECTION
1/4" = 1'-0"



① TYPICAL WALL SECTION
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SECTIONS

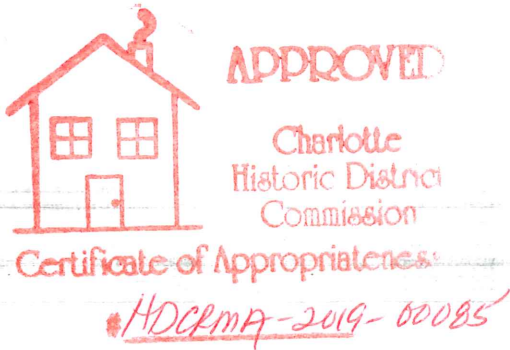
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A3.01

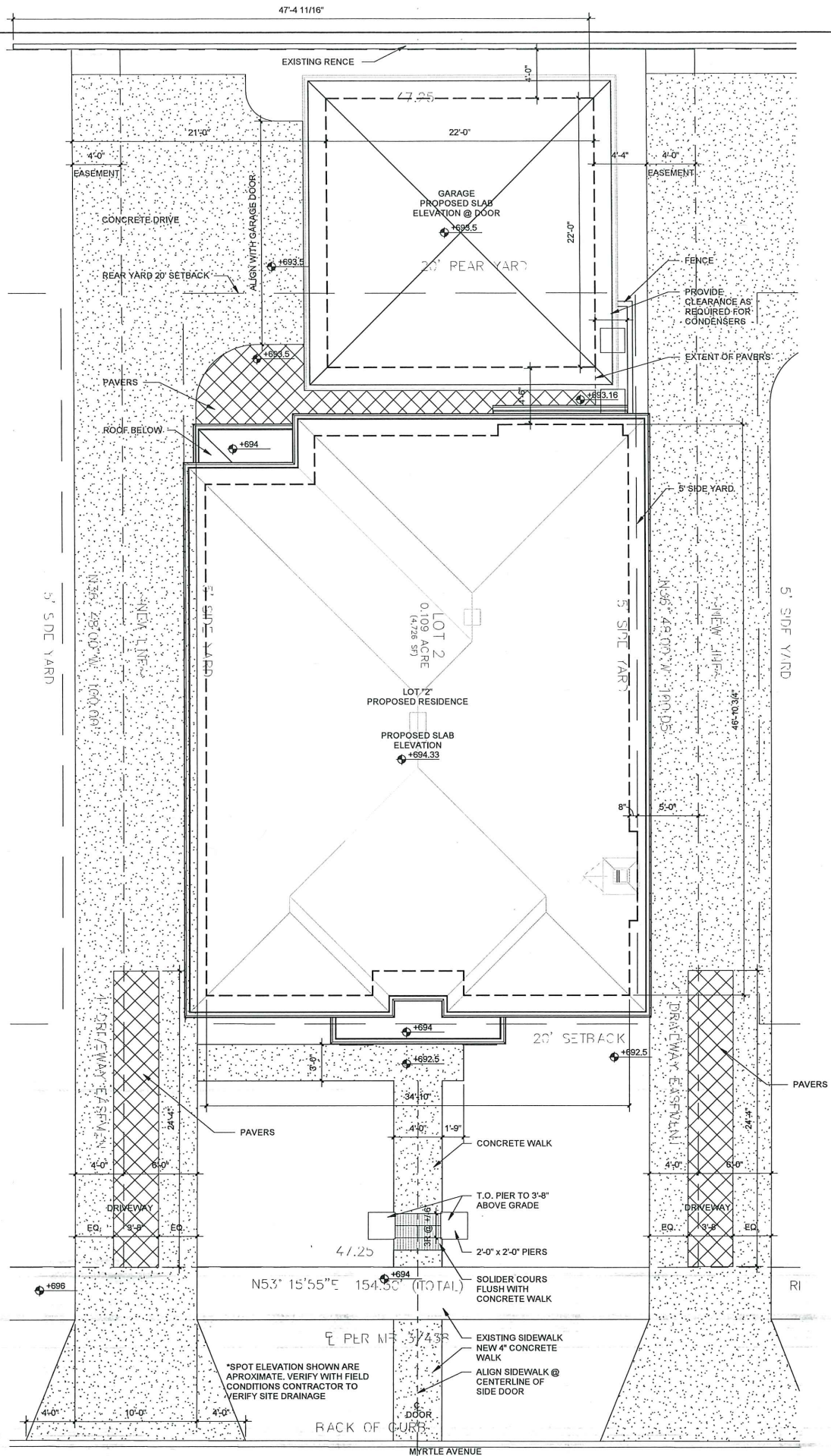
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Air seal the band joist cavities between floors.

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All surfaces to be painted shall be filled, sanded, cleaned and primed in preparation for finish painting.
Gypsum Drywall:
Gypsum board shall be tapered-edged 1/2" thick throughout conforming to ASTM C 36 and as manufactured by USG or equal. Tape shall be "Perf-A-Tape" by USG or equal. Compound for embedding fill coat application shall be "Perf-A-Tape" Joint Compound by USG or equal. Trim shall be zinc or vinyl. All corners shall receive corner beads.
Carpet:
Provided per allowance. Allowance to include pad, carpet, installation and taxes.
Ceramic Tile:
Floors (per plan). Tile shall be as selected by owner. Tile to be thin set installed over 1/2" Dura rock or equal. All corners and intersections between Dura rock to be waterproofed, joints to be taped and waterproofed.
Painting:
Provide painting for new areas as follows: All exterior wood, metal, and trim; interior rooms (including walls, trim, door, etc). Colors shall be selected by the Owner. Paint shall be as manufactured by ICI or approved equal. Paint in accordance with following schedules:
Gypsum Wallboard (Walls):
Spot prime all cemented and tape joints with Fast-Dri Latex wall primer.
One (1) Coat Latex Wall Primer
Two (2) Coats Latex, flat
Wood (Interior and Exterior) Paint Finish: Verify proper paint for existing surfaces to be painted
One (1) Coat Latex Primer (unless factory primed)
Two (2) Coats Latex Semi-Gloss Enamel
DIVISION 10 - SPECIALTIES
Closet Shelving:
Solid particle board and Melamine as indicated on plans, manufactured by "Closet Maid" or equal. See allowance
Cabinets:
As selected by the owner
Countertops:
Granite or quartz per owner's selection
DIVISION 11 - MECHANICAL AND PLUMBING
MECHANICAL:
As directed by owner.
PLUMBING:
Fixtures:
As selected by the Owner. All fixtures to meet National Energy Act low flow standards.
Miscellaneous:
Water Heater: As selected by Owner
Roof Flashing: One piece neoprene
Piping Specifications:
Interior Drainage, waste, and vent piping:
Schedule 40 PVC DWV FC pipe and fittings or equal.
Interior water supply and distribution:
CPVC or equal with copper crimping ring type fittings, piping not insulated.
Sanitary Sewer:
4" Schedule 40 PVC DWV FC pipe and fittings, Tie into the existing.
Water Service:
Existing
DIVISION 16 - ELECTRICAL
Switches, Receptacles, and Cover Plates:
Device color shall be selected by Owner. Switches shall be toggle type silent mercury.
Provide outside receptacles at all decks as required by the building code.
Prewire Cable TV Locations: Per Owner
Prewire Phone Locations: Per Owner
Bell Locations: at Front and side entries per Owner.
All Cable and Telephone wires to be home run to exterior location as indicated.
Light Fixtures:
Shall be certified by Energy Star
Indicated fixtures shall be as selected by Owner.
Recessed lights installed into unconditioned space shall be Air tight insulation rated with gasketed trim rings.
Appliances:
As selected by the Owner, appliance to be Energy Star certified.
LANDSCAPING & IRRIGATION
Landscaping and irrigation to be provided per allowance.



1 SITE PLAN
3/16" = 1'-0"



1009 East Boulevard
Charlotte, NC 28203
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fax: (704) 333-3362

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Myrtle Ave Bld 2

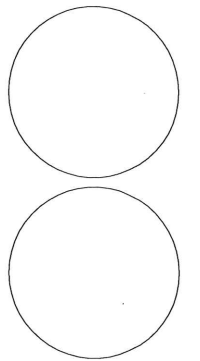
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SITE PLAN

Drawn By: JA Checked By: KP
DAS Project Number 18 20800
Date 11-08-19

SP1.01

Scale As indicated



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Myrtle Ave Bld 2

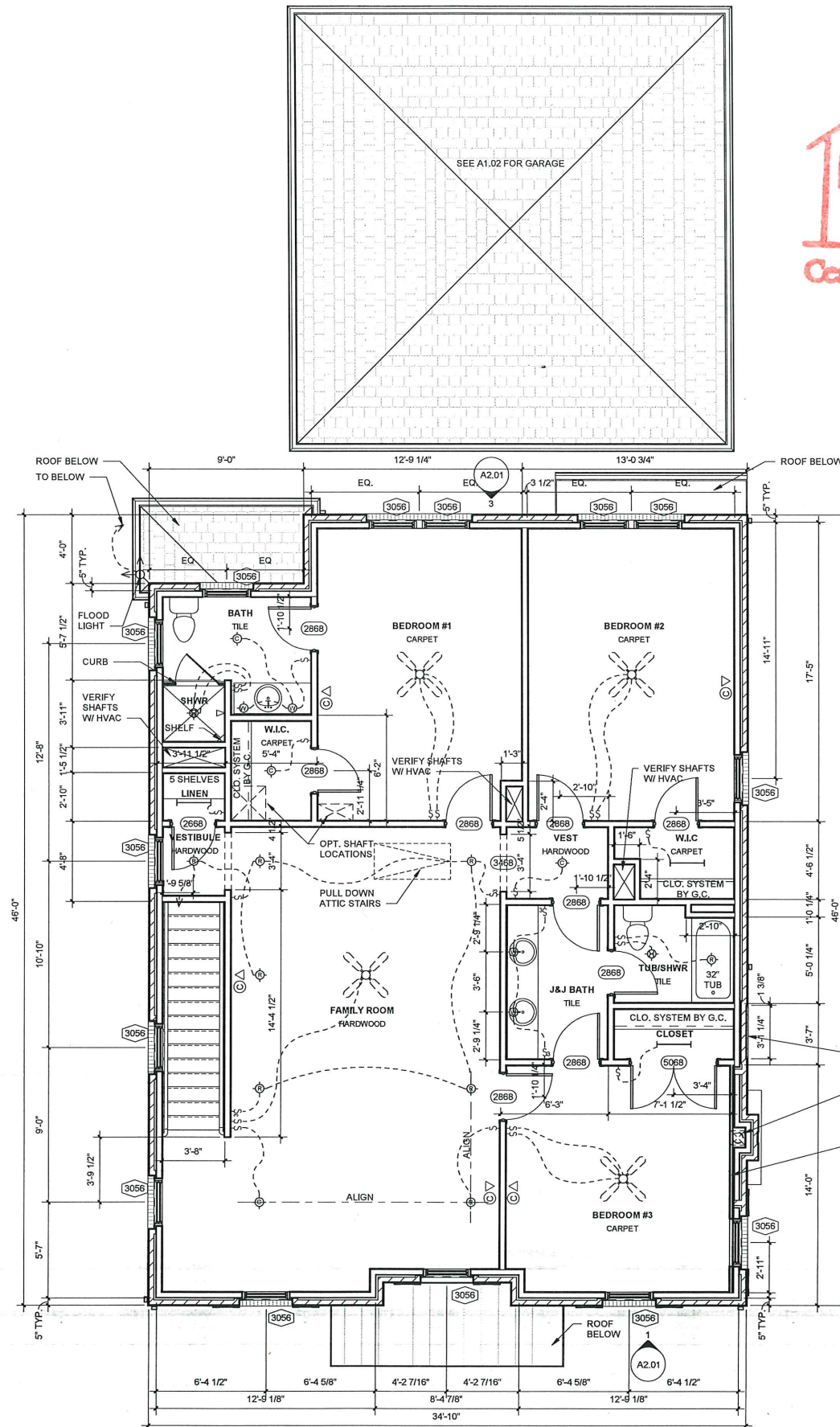
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PLANS

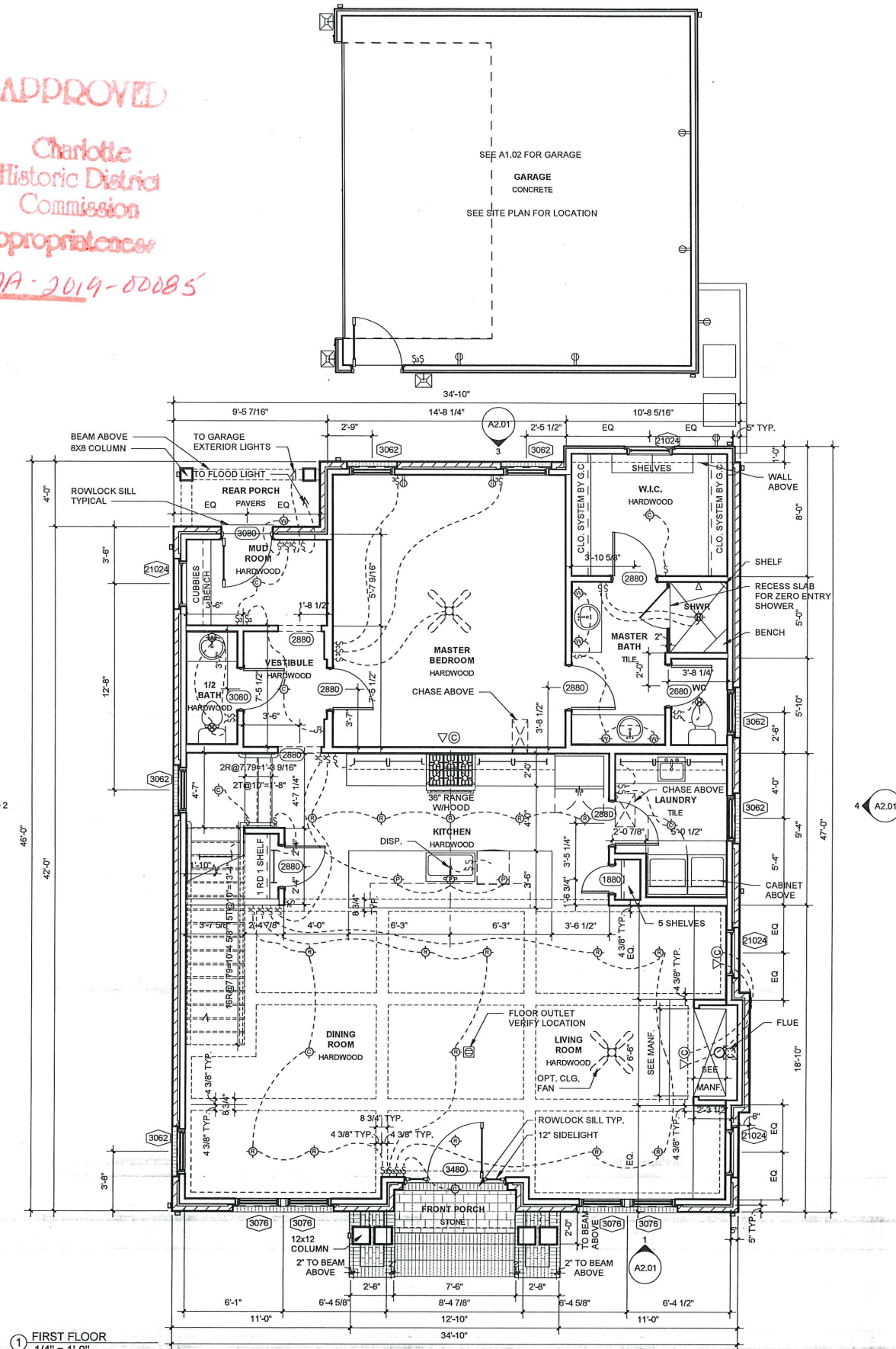
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DAS Project Number 18 20800
Date 11-08-19

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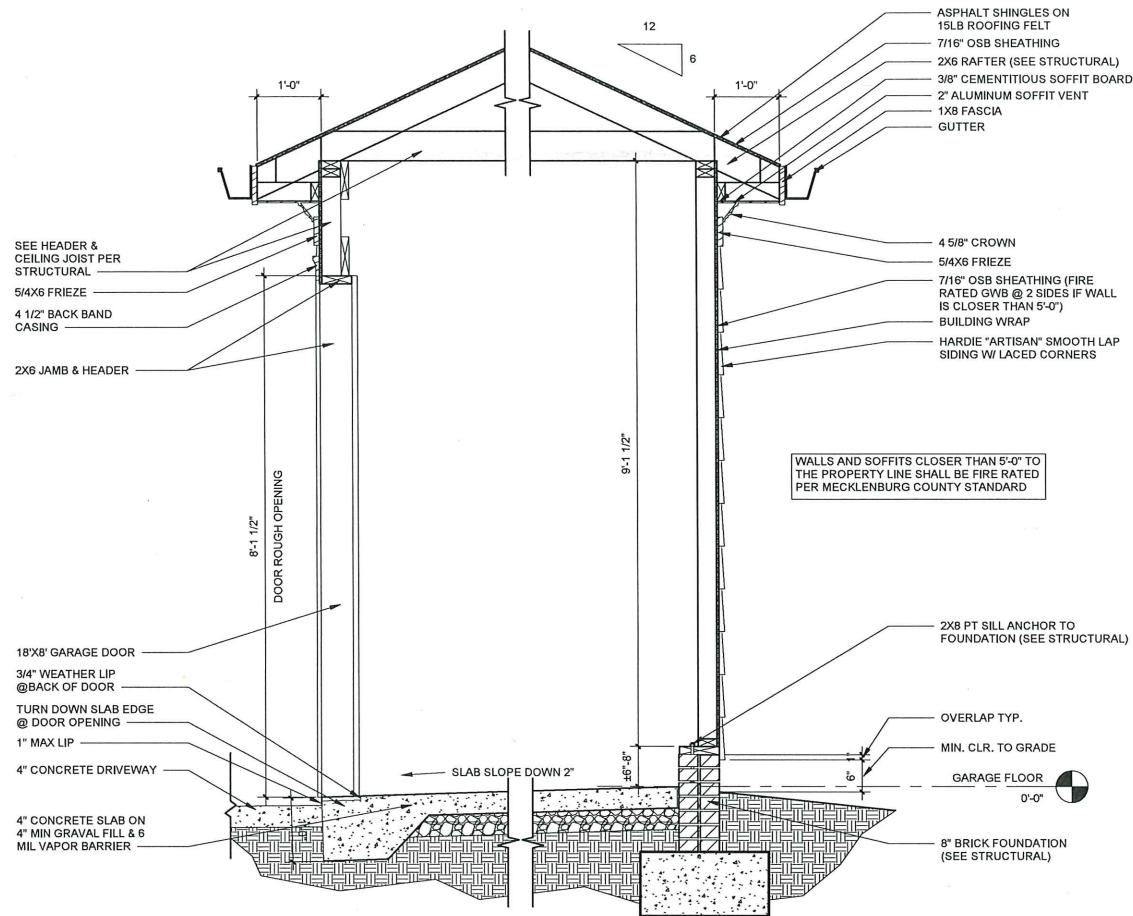
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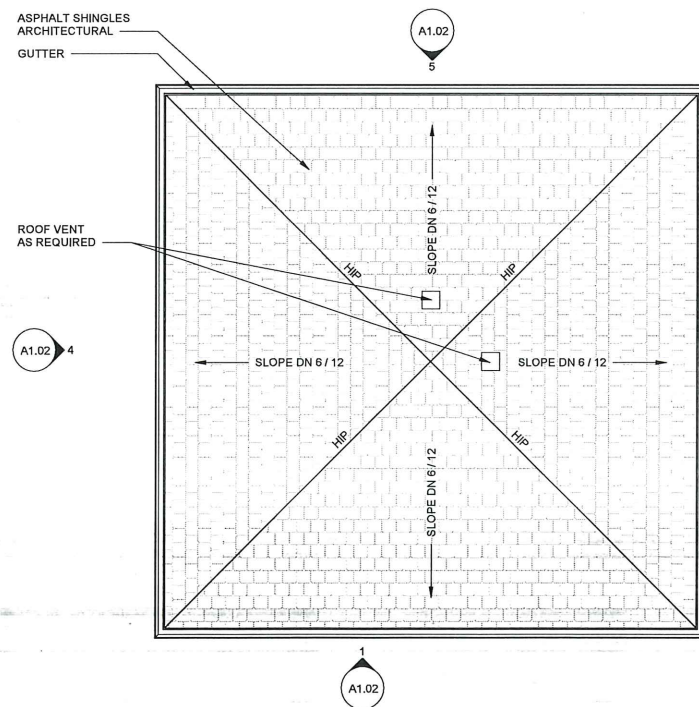
② SECOND FLOOR
1/4" = 1'-0"



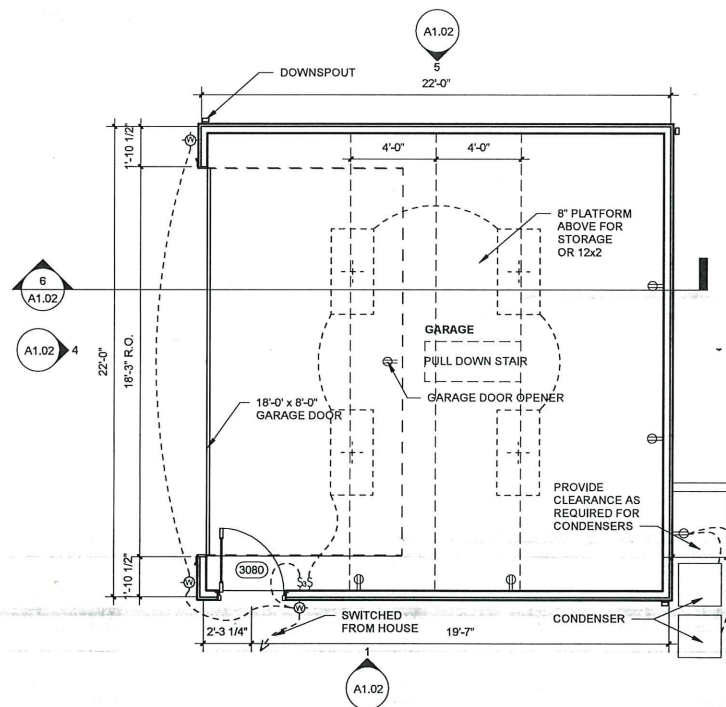
① FIRST FLOOR
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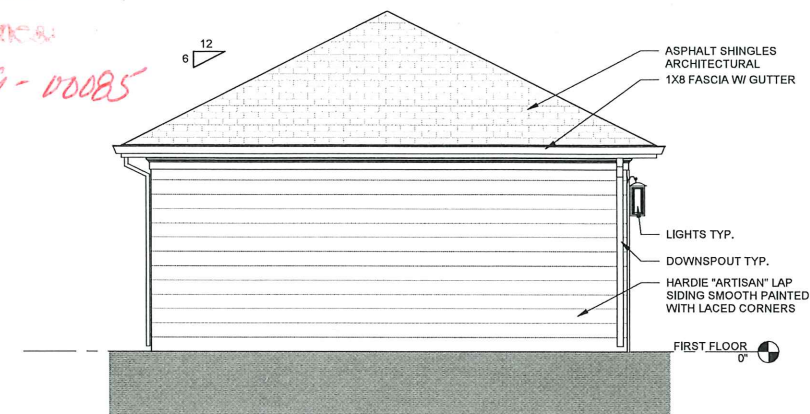
SECTION THROUGH GARAGE
 3/4" = 1'-0"



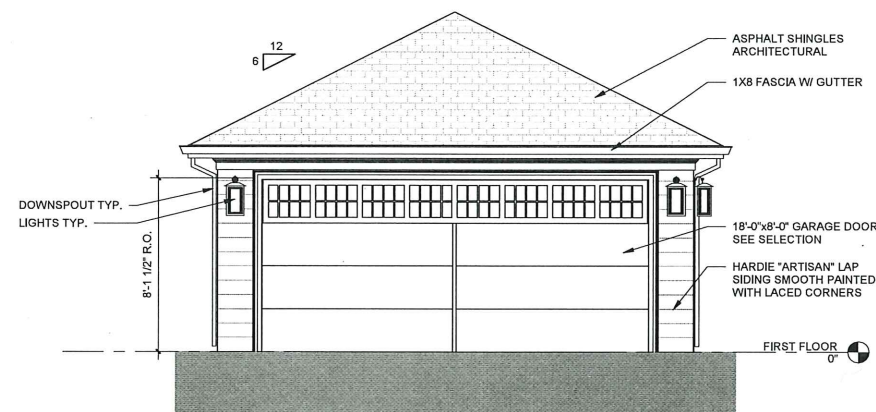
GARAGE ROOF PLAN
 1/4" = 1'-0"



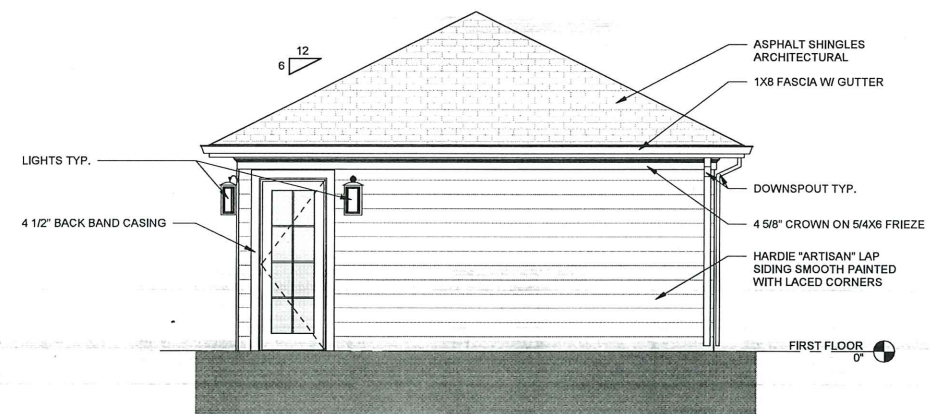
GARAGE PLAN
 1/4" = 1'-0"



REAR GARAGE ELEVATION
 1/4" = 1'-0"



LEFT GARAGE ELEVATION
 1/4" = 1'-0"



FRONT GARAGE ELEVATION
 1/4" = 1'-0"



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GARAGE PLANS AND ELEVATIONS

Drawn By: JA Checked By: KP
 DAS Project Number 18 20800
 Date 11-08-19

A1.02

Scale As indicated





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Myrtle Ave Bld 2

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EXTERIOR ELEVATION

Drawn By: JA

Checked By: KP

DAS Project Number

18 20800

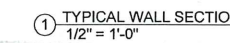
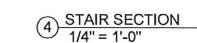
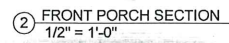
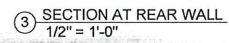
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A2.01

Scale

1/4" = 1'-0"



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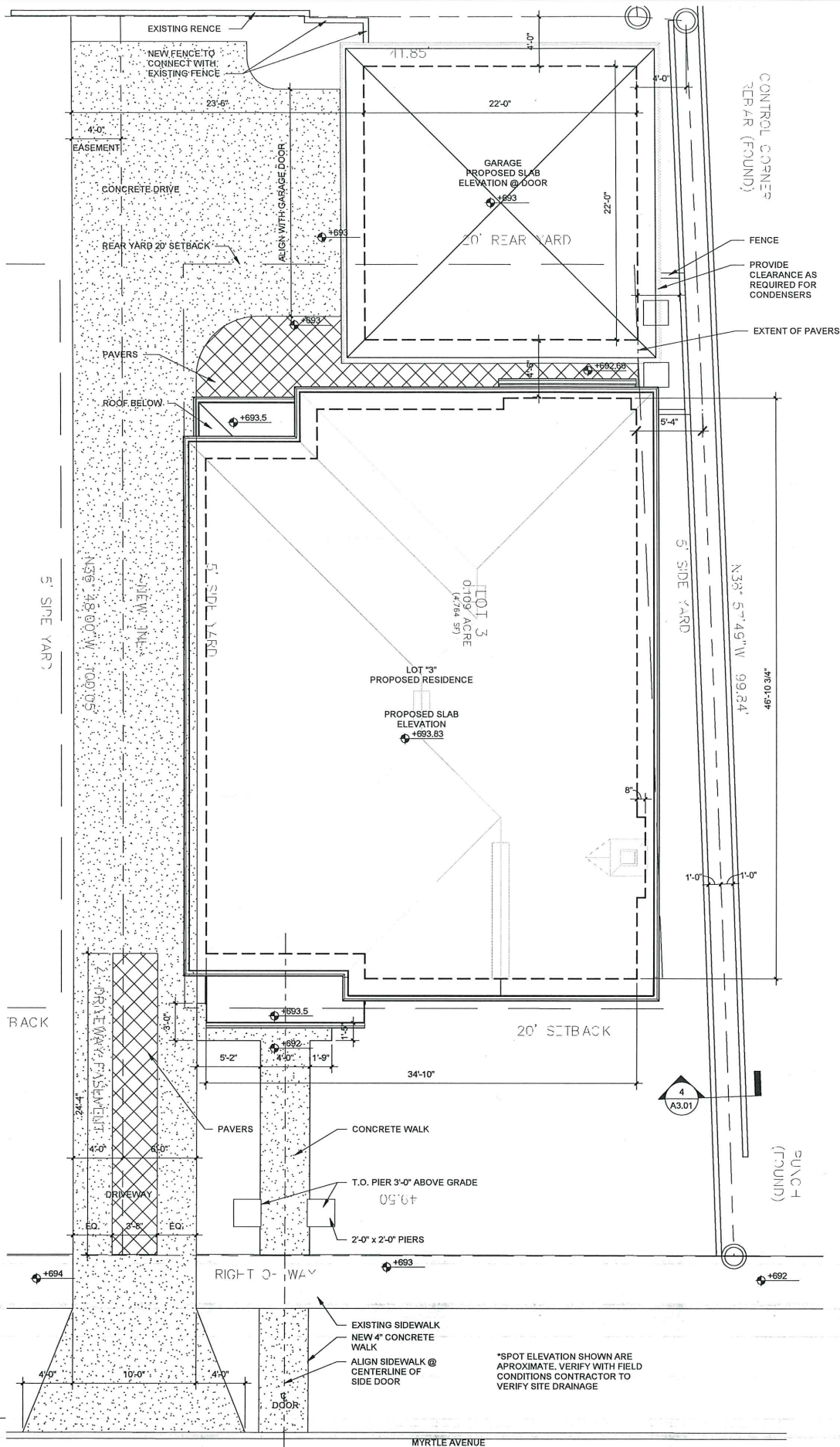
SPECIFICATIONS
DIVISION 1 - GENERAL REQUIREMENTS & CONDITIONS
The work shall comply with the provisions of the North Carolina State Building Code Volume VII - Residential 2018 Edition with current amendments and other applicable standards.
DIVISION 2 - SITE WORK
Demolition:
Remove existing trees and underbrush as required for the additions.
Earth Work and Site Grading:
Excavation and backfilling shall be in accordance with the Drawings and site conditions. All backfill shall be compacted in accordance with standard codes.
Soil Treatment:
Provide termite treatment to the wood framing elements and foundation as required.
Foundation Drain:
4" perforated corrugated plastic pipe and gravel fill to be provided based on drainage conditions as required by the building code. Use 4" pvc pipe for gutter down spout and Vapor Barrier:
Provide 100 % coverage with 6 mil poly vapor barrier
DIVISION 3 - CONCRETE
Slab Reinforcement:
See structural drawings for requirements.
Forming Rebar:
See Structural drawings for specifications and locations.
Concrete Materials:
See Structural drawings.
DIVISION 4 - MASONRY
Mortar
See Structural drawings.
Masonry Accessories:
See Structural drawings.
Concrete Masonry Units:
See Structural drawings.
Brick:
See selection by owner
DIVISION 5 - METALS
Structural shapes:
See structural drawings for steel members and specifications.
DIVISION 6 - WOOD AND PLASTIC
SEE STRUCTURAL ENGINEERING DRAWINGS FOR FRAMING CONSTRUCTION AND ROOF CONSTRUCTION SPECIFICATIONS
Carpentry, General:
Walls:
Which are in contact with masonry or concrete shall be pressure treated No. 2 southern yellow pine.
Floor Joists and structural members:
2x floor joists and 2x structural members shall be of sizes indicated in Southern yellow pine as indicated on the Structural drawings. See the structural drawings for engineered lumber.
Exterior Wall Studs and Plates:
Exterior corners shall be composed of two studs with ladder blocking to catch the internal corner. Exterior intersecting walls to be attached with ladder tees. Headers in the exterior wall shall have a 1/2" foam insulation board between the structural members unless specified differently on the structural drawings.
Subfloor:
Use Grant Forest Products 5/8" T&G "RainBLOCK" or equal.
Builders Paper:
Shall be Tyvek or equal. Wraps at window and door openings to be per manufactures instructions. Laps in the wrap shall maintain the drain plane to the exterior.
Wall Sheathing:
Shall be 7/16" exterior grade OSB structural sheathing. Exterior to be wrapped in "Tyvek" or equivalent house wrap product.
Roof Sheathing:
Shall be 7/16" OSB by Grant Forest Products or equal.
Exterior Wood Trim & Soffits:
Shall be "Miracle" or equal in the sizes indicated on the plans. Joints shall be randomly staggered, bevel cut. Soffits shall be 3/8" AC plywood. Exterior porch ceilings to be Bead Board plywood on depth spans 8' or less, or 1 x 4 T&G bead board on depth spans greater than 8'.
Exterior Siding:
"Hardie Arisan" lap siding. See manufacturer's instructions for installation.
Interior Trim:
Kiln dried SYP, Popular or paint grade MDF.
Hardwood Flooring:
3 1/4" T&G No. 1 common Red Oak installed over 1/2" Felt, with 1 coat of stain and 3 coats of polyurethane finish. See the drawings for locations. Owner to select stain color and final polyurethane finish. Wood floor vents will be installed in hardwood areas. Shoe mold to be 3/4" oak shoe mold with finish to match the hardwood floors.
Architectural Woodwork:
Cabinet work shall be custom fabricated from cabinet maker's standard styles and finishes per allowance.
DIVISION 7 - THERMAL AND MOISTURE PROTECTION
Building Insulation:
Install all building insulation in strict accordance with manufacturer's printed instructions. Provide a continuous thermal barrier between the inside conditioned space and the outside.
Provide a "Touch Air Barrier" on all 6 sides of insulation except ceiling and floor insulation which will touch air barriers on 5 sides.
Install to the proper R-value
Install without gaps or voids.
Insulation to be properly labeled or be the proper depth to indicate the proper R-value.
Air Sealing: (For use with fiberglass or Cellulose insulation)
Use sill sealer between the foundation and sill plates.
Caulk the bottom plate of the exterior wall.
Air seal the band joint cavities between floors.

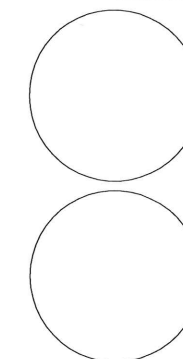
Ensure air barrier continuity at all framed cavities (especially behind tubs on the exterior wall).
Caulk or foam all electrical, plumbing, and HVAC penetrations between floors to the exterior and between floors. Block and seal kneewalls. Weatherstrip attic hatches and kneewall doors.
Insulate, caulk or foam the gaps between window and door jambs and framing
All recessed lighting into unconditioned space to be air tight and insulation rated
Caulk or Foam HVAC register boots to the subfloor or drywall that penetrate the conditioned envelope.
Cap and seal all chases to unconditioned space.
Provide an Attic Tent over the pull down stair or provide an attic stair with an insulated door with weather-stripping.
Exterior Wall Stud Insulation:
Shall be R-15 batt insulation.
Attic Insulation:
Blown fiberglass to min R-38.
Roofing Felt:
1 layer 15 lb. Inorganic felt, asphalt-saturated. Rolls shall be 36" wide and shall conform to ASTM D 250.
Roofing Material:
30 yr. Fiberglass Architectural asphalt shingles installed per manufacturers printed instructions. Color as selected by the Owner.
Flashing and Sheet Metal:
All metal cap and counter flashing shall be aluminum or Galvanized as required, painted black. Use copper at roof returns, exposed header flashing, and as alternate for the wall flashing.
Gutters:
Install gutters on all fascias in color as selected by the owner form standard colors.
Caulking and Sealants:
Provide a one-part butyl sealant on exterior and around interior of all doors and windows.
Interior sealant shall be acrylic latex to fill all cracks and voids in the construction. Sealant shall be installed after priming is completed.
DIVISION 8 - DOORS, WINDOWS, AND GLASS
Mirrors:
As supplied by the owner
Exterior Doors:
Per SELECTIONS.
Interior Doors:
Shall be 1 3/8" MDO in style as selected by the owner.
Hardware:
Door hardware as selected by the owner.
Windows:
Shall be as selected with insulated Low-E glass. Windows in sizes and SDL patterns as shown on the plans. Exterior Casings to be Brickmold unless specified differently. Windows to have a U-factor rating of less than 0.40. Glass doors to have a SHGC of less than 0.35.
Attic Pull down Stair & Door:
Verify size to accommodate new HVAC equipment. Install an insulated and weather-stripped door.
DIVISION 9 - FINISHES
All surfaces to be painted shall be filled, sanded, cleaned and primed in preparation for finish painting.
Gypsum Drywall:
Gypsum board shall be tapered-edged 1/2" thick throughout conforming to ASTM C 36 and as manufactured by USG or equal. Tape shall be "Perf-A-Tape" by USG or equal. Compound for embedding fill coat application shall be "Perf-A-Tape" Joint Compound by USG or equal. Trim shall be zinc or vinyl. All corners shall receive corner beads.
Carpet:
Provided per allowance. Allowance to include pad, carpet, installation and taxes.
Ceramic Tile:
Floors (per plan). Tile shall be as selected by owner. Tile to be thin set installed over 1/2" Dura rock or equal. All corners and intersections between Dura rock to be waterproofed, joints to be taped and waterproofed.
Painting:
Provide painting for new areas as follows: All exterior wood, metal, and trim; interior rooms (including walls, trim, door, etc). Colors shall be selected by the Owner. Paint shall be as manufactured by ICI or approved equal. Paint in accordance with following schedules:
Gypsum Wallboard (Walls):
Spot prime all cemented and tape joints with Fast-Dri Latex wall primer.
One (1) Coat Latex Wall Primer
Two (2) Coats Latex, flat
Wood (Interior and Exterior) Paint Finish: Verify proper paint for existing surfaces to be painted
One (1) Coat Latex Primer (unless factory primed)
Two (2) Coats Latex Semi-Gloss Enamel
DIVISION 10 - SPECIALTIES
Closet Shelving:
Solid particle board and Melamine as indicated on plans, manufactured by "Closet Maid" or equal. See allowance
Cabinets:
As selected by the owner
Countertops:
Granite or quartz per owner's selection
DIVISION 11 - MECHANICAL AND PLUMBING
MECHANICAL:
As directed by owner.
PLUMBING:
Fixtures:
As selected by the Owner. All fixtures to meet National Energy Act low flow standards.
Miscellaneous:
Water Heater: As selected by Owner
Roof Flashing: One piece neoprene
Piping Specifications:
Interior Drainage, waste, and vent piping:
Schedule 40 PVC DWV FC pipe and fittings or equal.
Interior water supply and distribution:
CPVC or equal with copper crimping ring type fittings, piping not insulated.
Sanitary Sewer:
4" Schedule 40 PVC DWV FC pipe and fittings, Tie into the existing.
Water Service:
Existing
DIVISION 12 - ELECTRICAL
Switches, Receptacles, and Cover Plates:
Device color shall be selected by Owner. Switches shall be toggle type silent mercury.
Provide outside receptacles at all decks as required by the building code.
Prewire Cable TV Locations: Per Owner
Prewire Phone Locations: Per Owner
Bell Locations: at Front and side entries per Owner.
All Cable and Telephone wires to be home run to exterior location as indicated.
Light Fixtures:
Shall be certified by Energy Star
Indicated fixtures shall be as selected by Owner.
Recessed lights installed into unconditioned space shall be Air tight insulation rated with gasketed trim rings.
Appliances:
As selected by the Owner, appliance to be Energy Star certified.
LANDSCAPING & IRRIGATION
Landscaping and irrigation to be provided per allowance.



HDCema-2019-00085

1 SITE PLAN
3/16" = 1'-0"





1009 East Boulevard
Charlotte, NC 28203
phone: (704) 333-3360
fax: (704) 333-3362

construction@dasarchitecture.com

Myrtle Ave Bld 3

| NO | DESCRIPTION | DATE |
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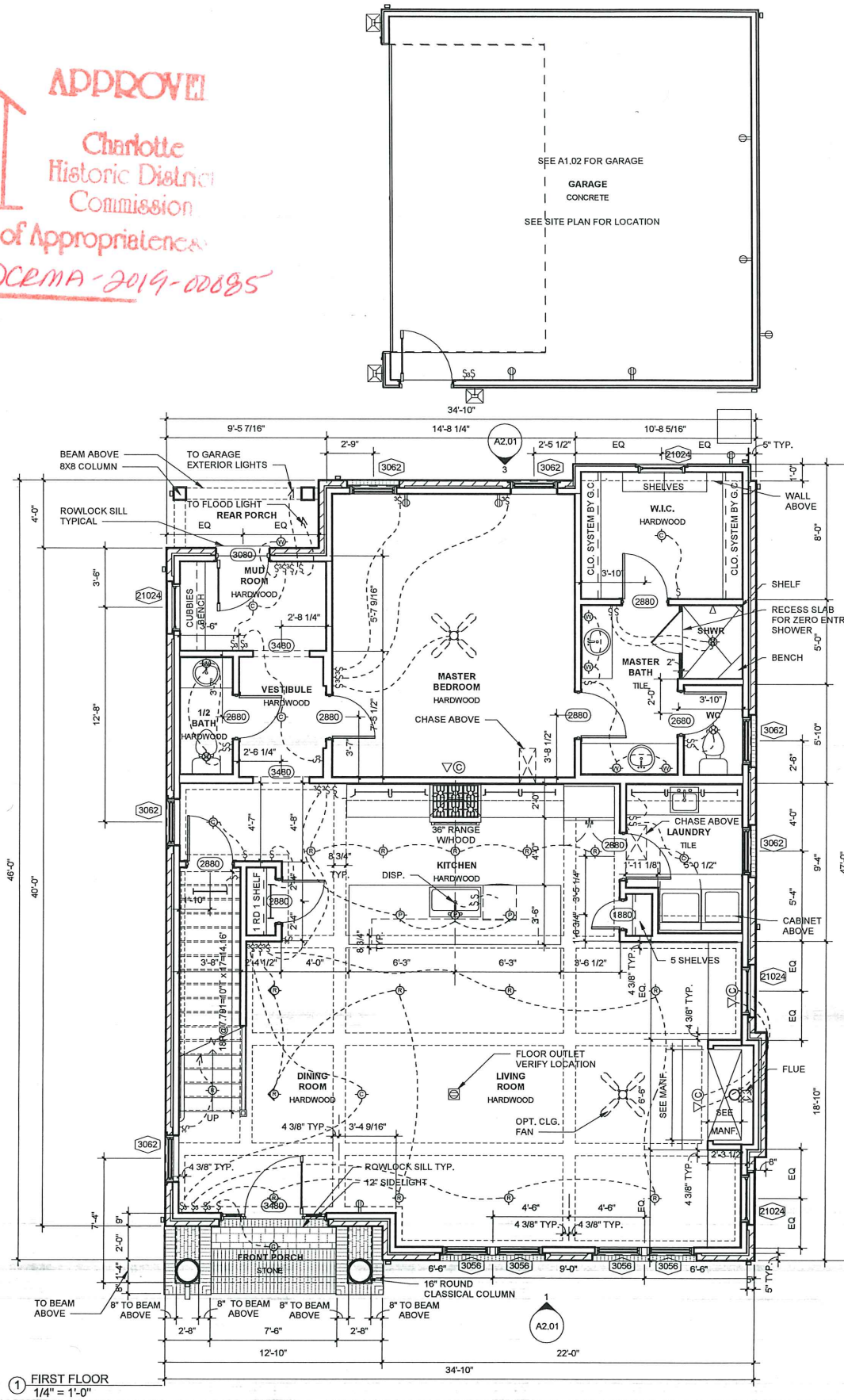
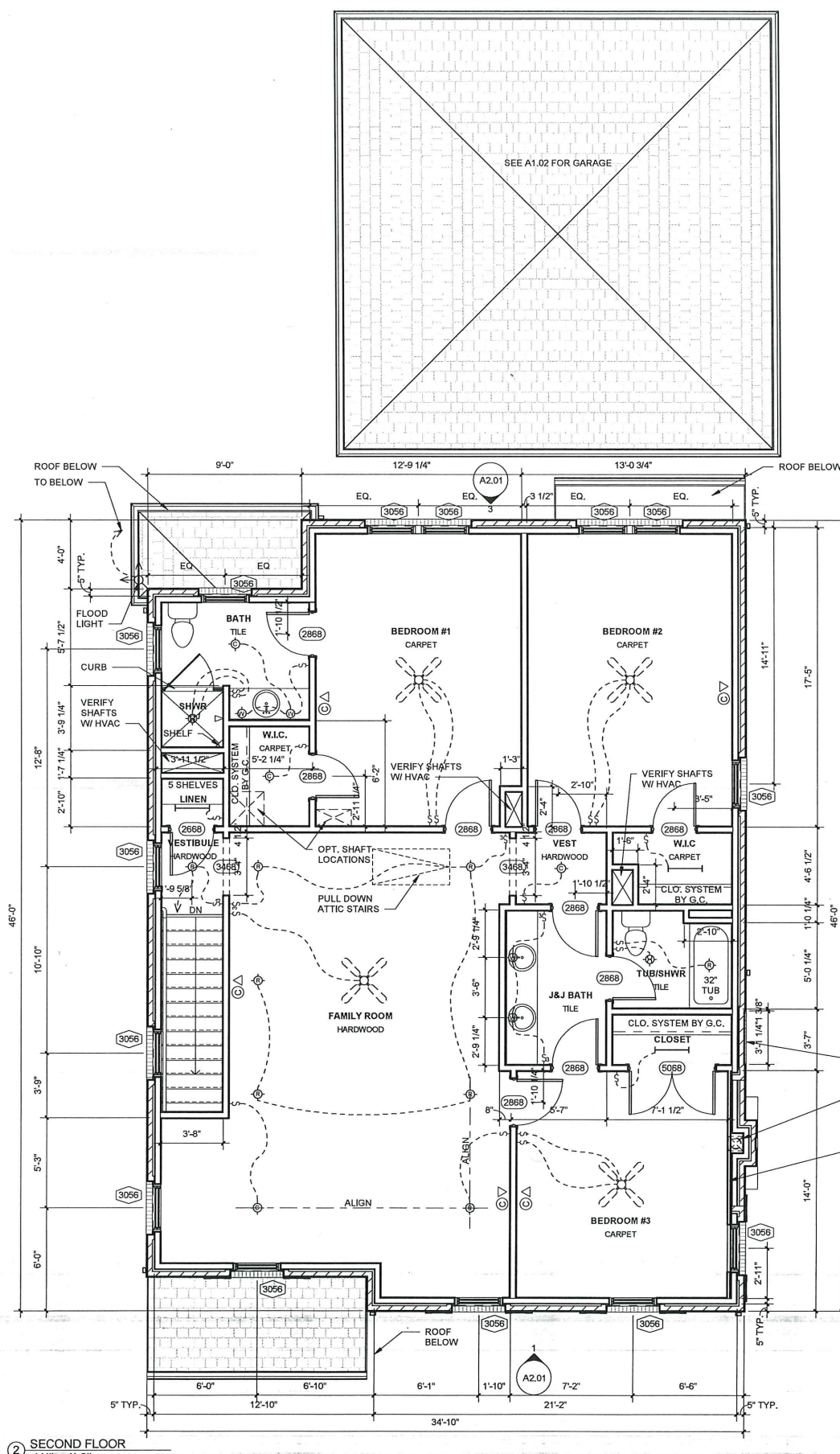
PLANS

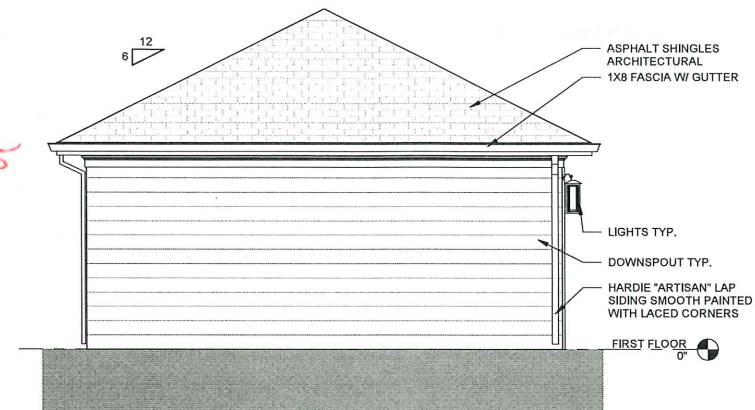
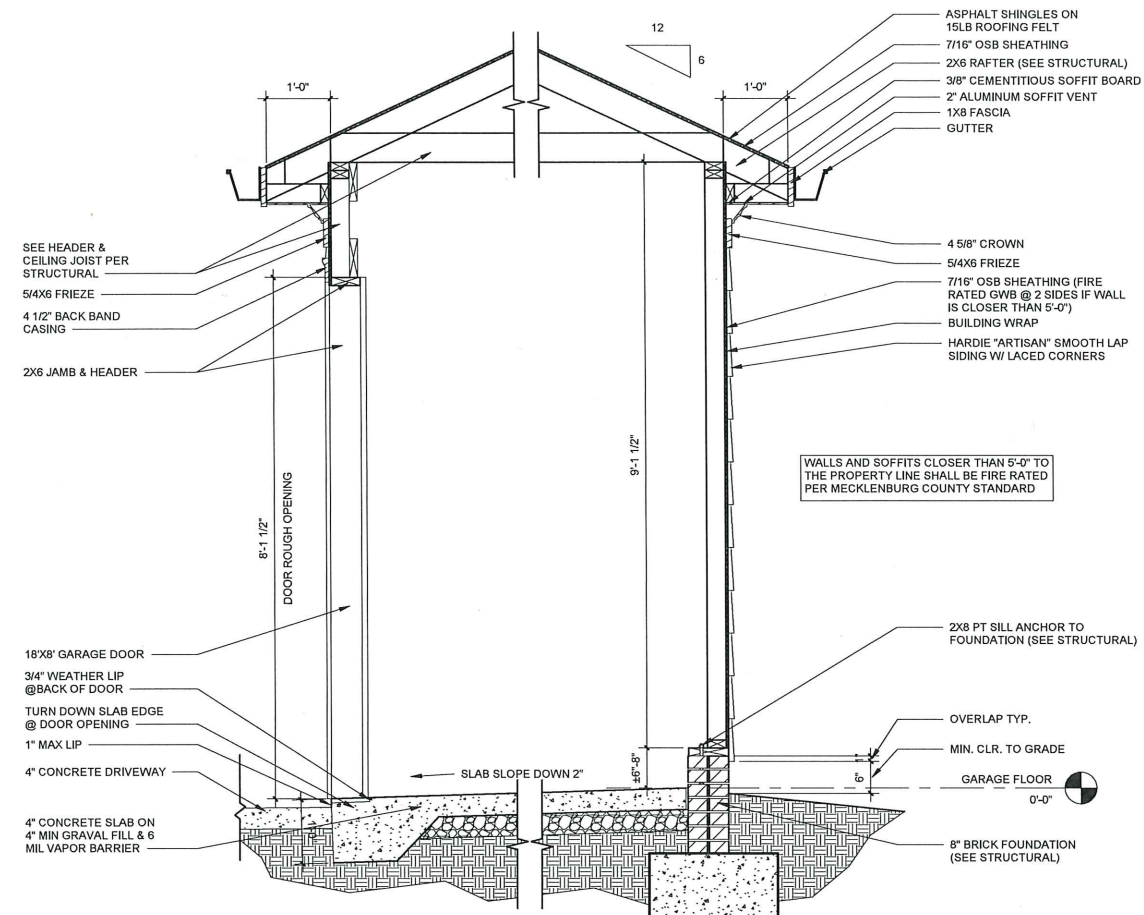
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DAS Project Number 18 20800
Date 11-08-19

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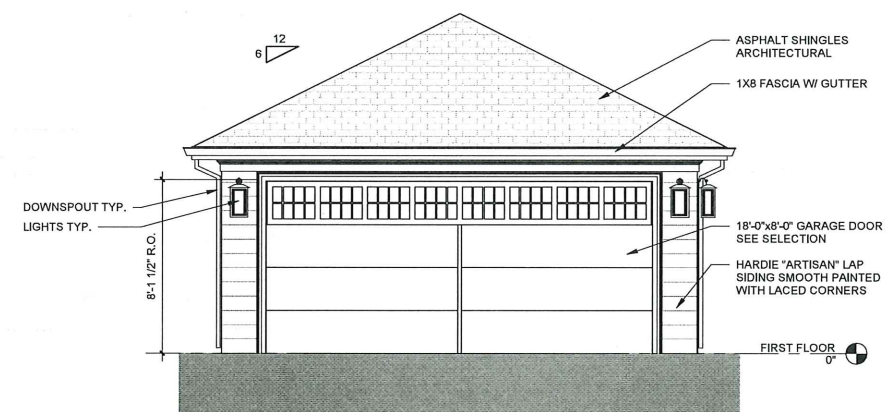
Scale 1/4" = 1'-0"

APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
HDC/EMA-2019-00085

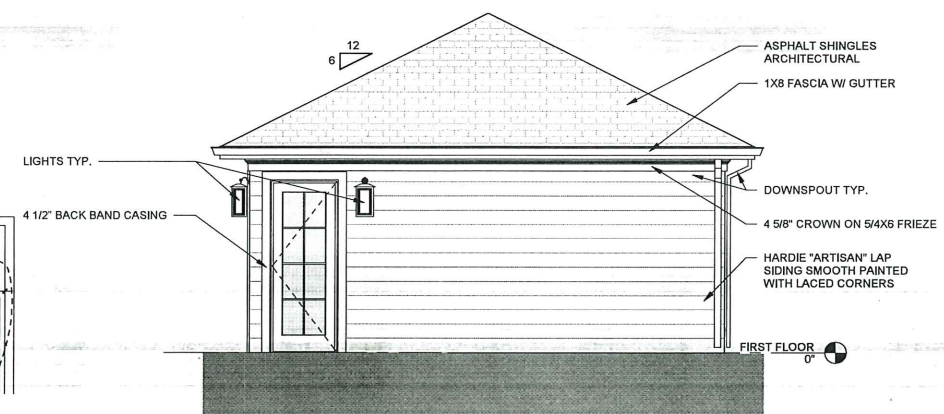




5 REAR GARAGE ELEVATION
1/4" = 1'-0"

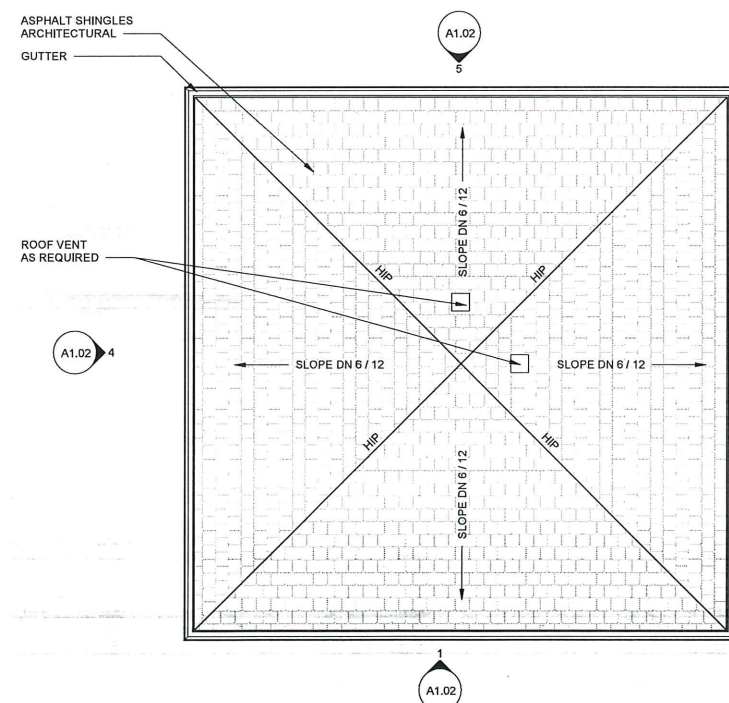


4 LEFT GARAGE ELEVATION
1/4" = 1'-0"

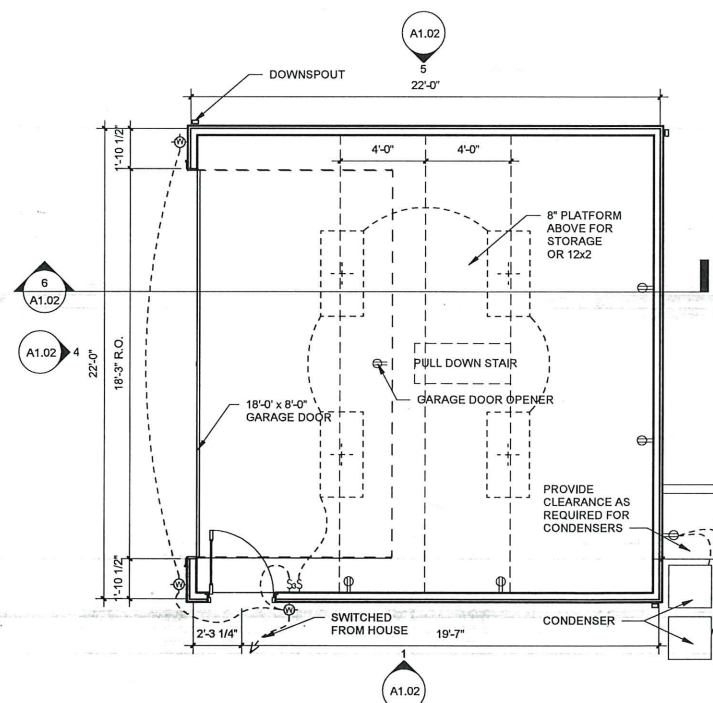


1 FRONT GARAGE ELEVATION
1/4" = 1'-0"

6 SECTION THROUGH GARAGE
3/4" = 1'-0"



3 GARAGE ROOF PLAN
1/4" = 1'-0"



2 GARAGE PLAN
1/4" = 1'-0"



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Myrtle Ave Bld 3

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GARAGE PLANS AND ELEVATIONS

Drawn By: JA Checked By: KP
DAS Project Number 18 20800
Date 11-08-19

A1.02

Scale As indicated



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Myrtle Ave Bld 3

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EXTERIOR ELEVATION

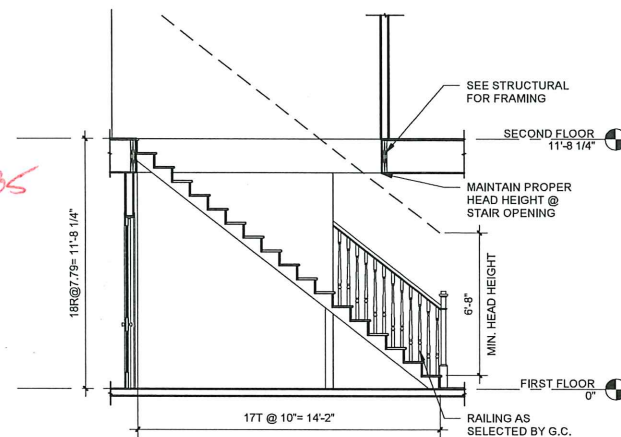
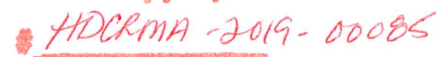
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DAS Project Number 18 20800

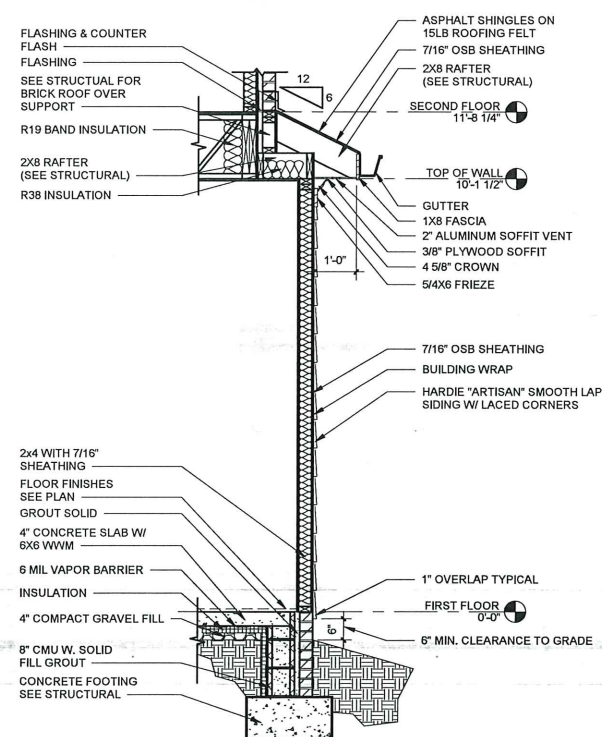
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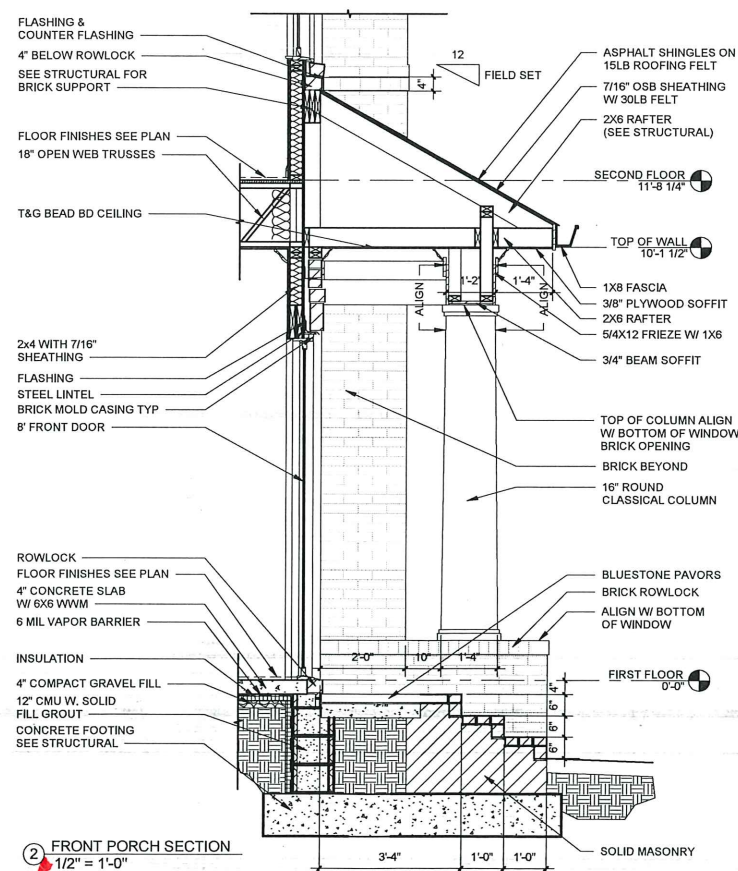
Scale 1/4" = 1'-0"



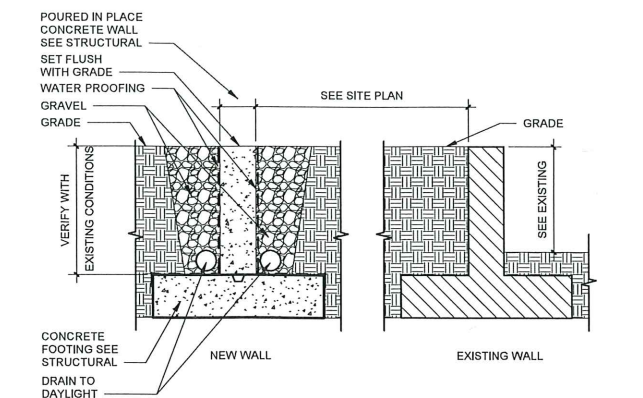
⑤ STAIR SECTION
1/4" = 1'-0"



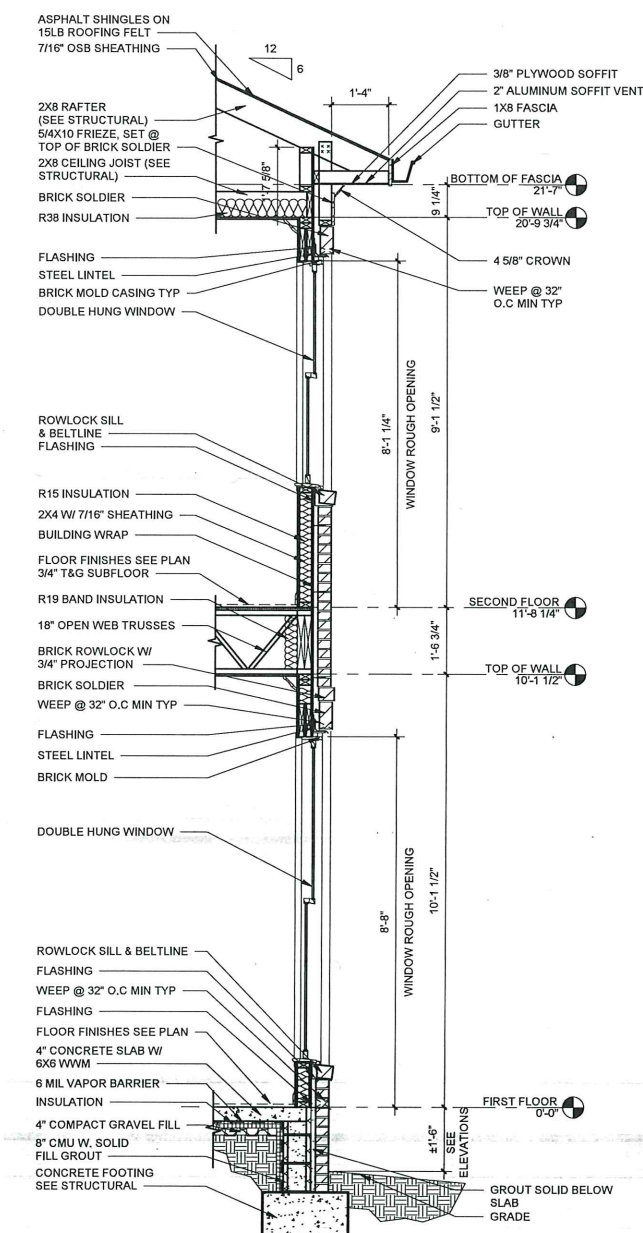
③ SECTION AT REAR WALL
1/2" = 1'-0"



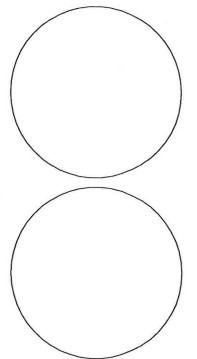
② FRONT PORCH SECTION
1/2" = 1'-0"



④ SECTION AT RETAINING WALL
1/2" = 1'-0"



① TYPICAL WALL SECTION
1/2" = 1'-0"



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Myrtle Ave Bld 3

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SECTIONS

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| Drawn By: JA | Checked By: KP |
| DAS Project Number | 18 20800 |
| Date | 11-08-19 |

A3.01

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| Scale | As indicated |
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Brick for Building #1 (Corner lot): Triangle Brick Canyon Creek w/ std gray mortar
<http://www.trianglebrick.com/vintage-collection/canyon-creek>



Brick For Building #2 (middle lot): Triangle Brick Oxford w/ std gray mortar
<http://www.trianglebrick.com/village-collection/oxford>

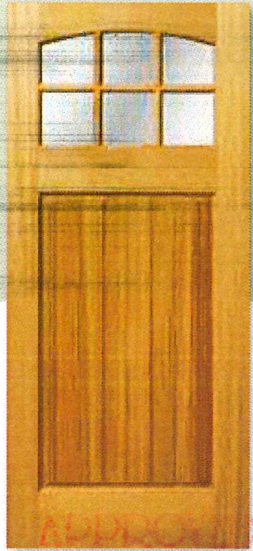


APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
#HDCRMA-2019-00085

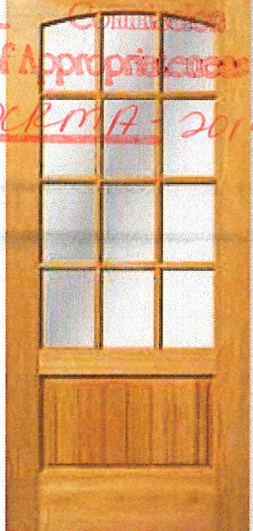
Building #3: Triangle Brick Old Colony
<http://www.trianglebrick.com/village-collection/old-colony>



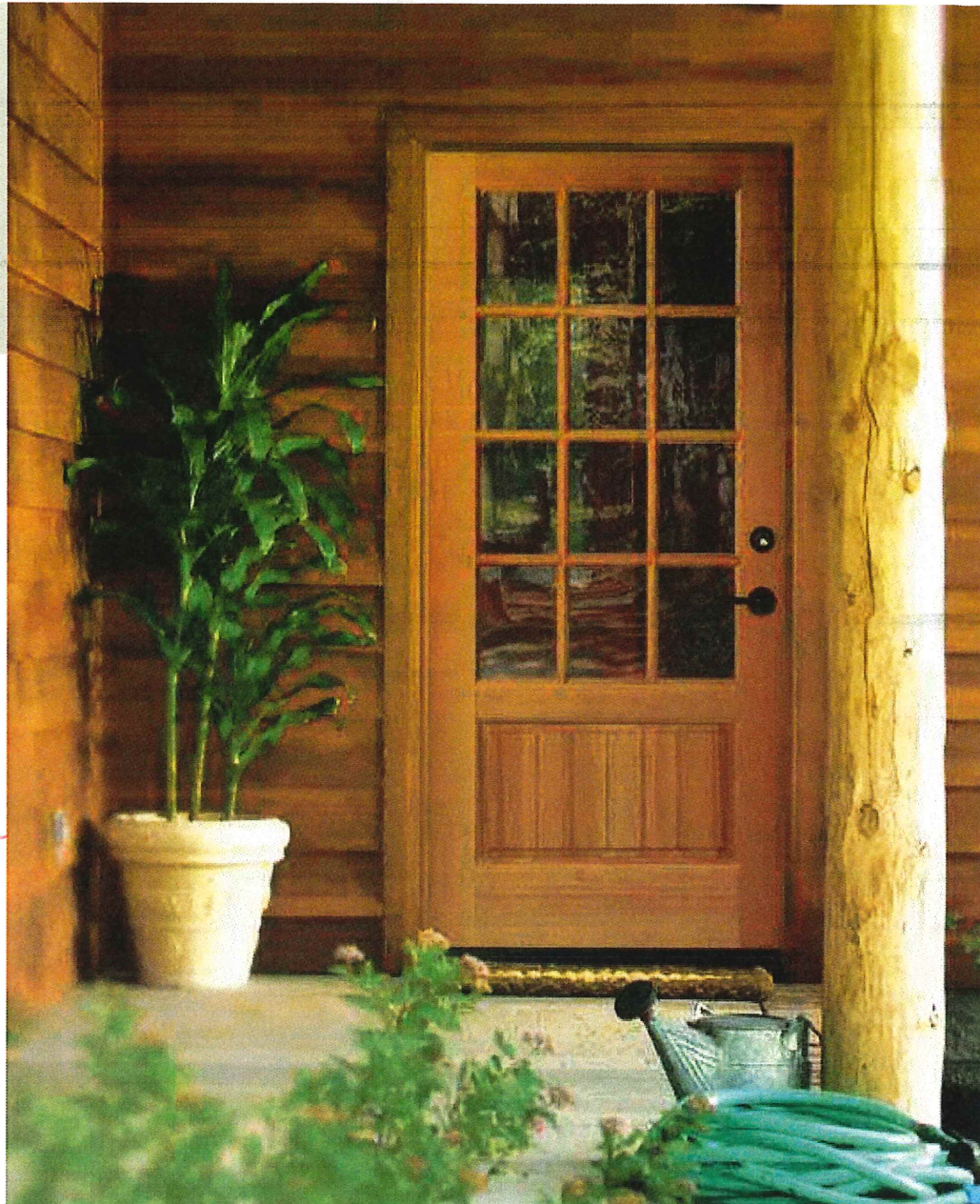
 **APPROVED**
Charlotte
Historic District
Commission
Certificate of Appropriateness
HDCRMA-2019-00085



Door 4661-VA (LOW-E IG) in Fir
with Modified Ovolo Sticking



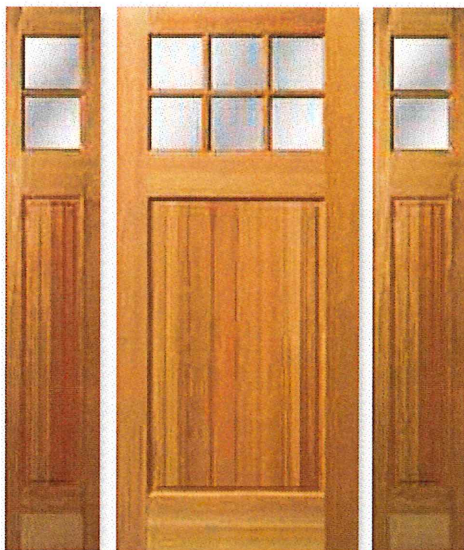
Door 412-VA (LOW-E IG) in Fir
with Modified Ovolo Sticking



Door 412-V shown in Fir



Door 4082-V in Fir with Ovolo
Sticking



Door 4661-V (LOW-E) and Side Lites 4661-V SL
in Fir with Modified Ovolo Sticking



Door 412-V (LOW-E) and Side Lites 4704-V SL in
Fir with Modified Ovolo Sticking

Wayne
Dalton®
GARAGE DOORS

M O D E L

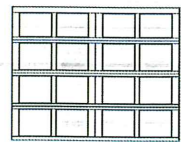
9405

CARRIAGE HOUSE STEEL

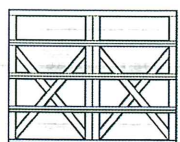


Westfield panel, Custom painted after installation, Stockbridge windows

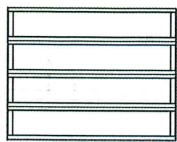
1 Choose Your Style



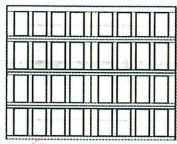
Newport



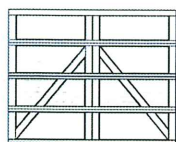
Lexington



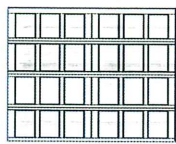
Camden



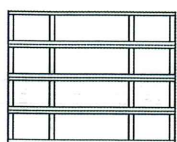
Oak Park



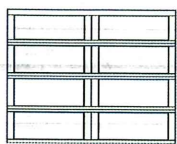
Charleston



Providence



Hampton



Westfield

Available in 8', 9', 10', 15', 16' and 18' wide by 7' and 8' high. Doors measuring over 10' wide come with a double-car door design, which is equivalent to 2 single-car doors side by side. See dealer for details on double car door designs for Hampton and Camden.

2 Choose Your Color

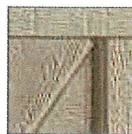
Painted Finishes



White (Standard)



Almond



Clay



Gray



Green



Brown



Green/White



Gray/White



Clay/White



Wayne Dalton's custom painting process offers more than 6,000 colors. See dealer for details.

Two-Toned Painted Finishes

All door sections will be painted in the color chosen. All trim pieces will be white.

3 Choose Your Windows



Stockton III



Arched Stockton



Arched Stockton Single



Cascade III



Clear II



Stockbridge



Waterton III



Arched Stockton Double

Glass Options



Clear (Standard)



Obscure



Satin Etched



Gray Tinted



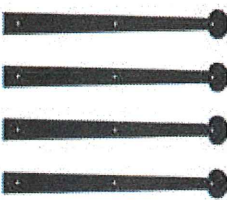
Green Tinted



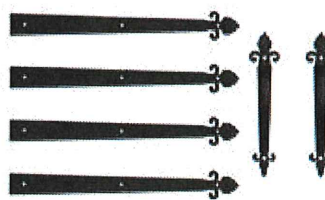
Bronze Tinted

4 Choose Your Hardware

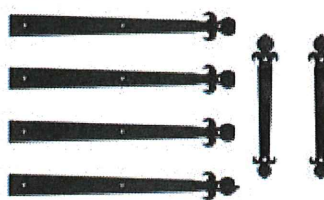
For our full decorative hardware offering, visit our website at wayne-dalton.com



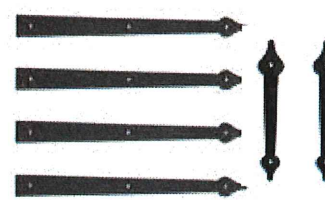
Aspen



Barcelona



Fleur-de-Lis



Spear