



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCCMA-2019-00041 DATE: November 8, 2019

ADDRESS OF PROPERTY: 508 East Boulevard TAX PARCEL NUMBER: 12105116

HISTORIC DISTRICT: Dilworth

OWNER(S): David Furman APPLICANT: Jessica Hindman

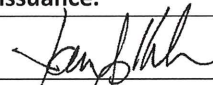
DETAILS OF APPROVED PROJECT: The proposal is an addition no taller or wider than the existing structure but will increase the square footage greater than 50%. The new addition will connect at an existing one-story element at the rear. The addition is shorter than the main ridge by 1'-6". Materials are Hardie Artisan siding with an exposure to match existing, wood shingle siding in the rear gable to match existing, and a combination of fixed and casement aluminum clad windows. All roof and trim details will be wood to match existing. The proposal includes the removal of one canopy tree. See attached plans.

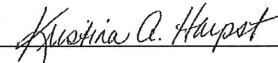
The project was approved by the HDC March 13, 2019.

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman


Staff

GENERAL NOTES:

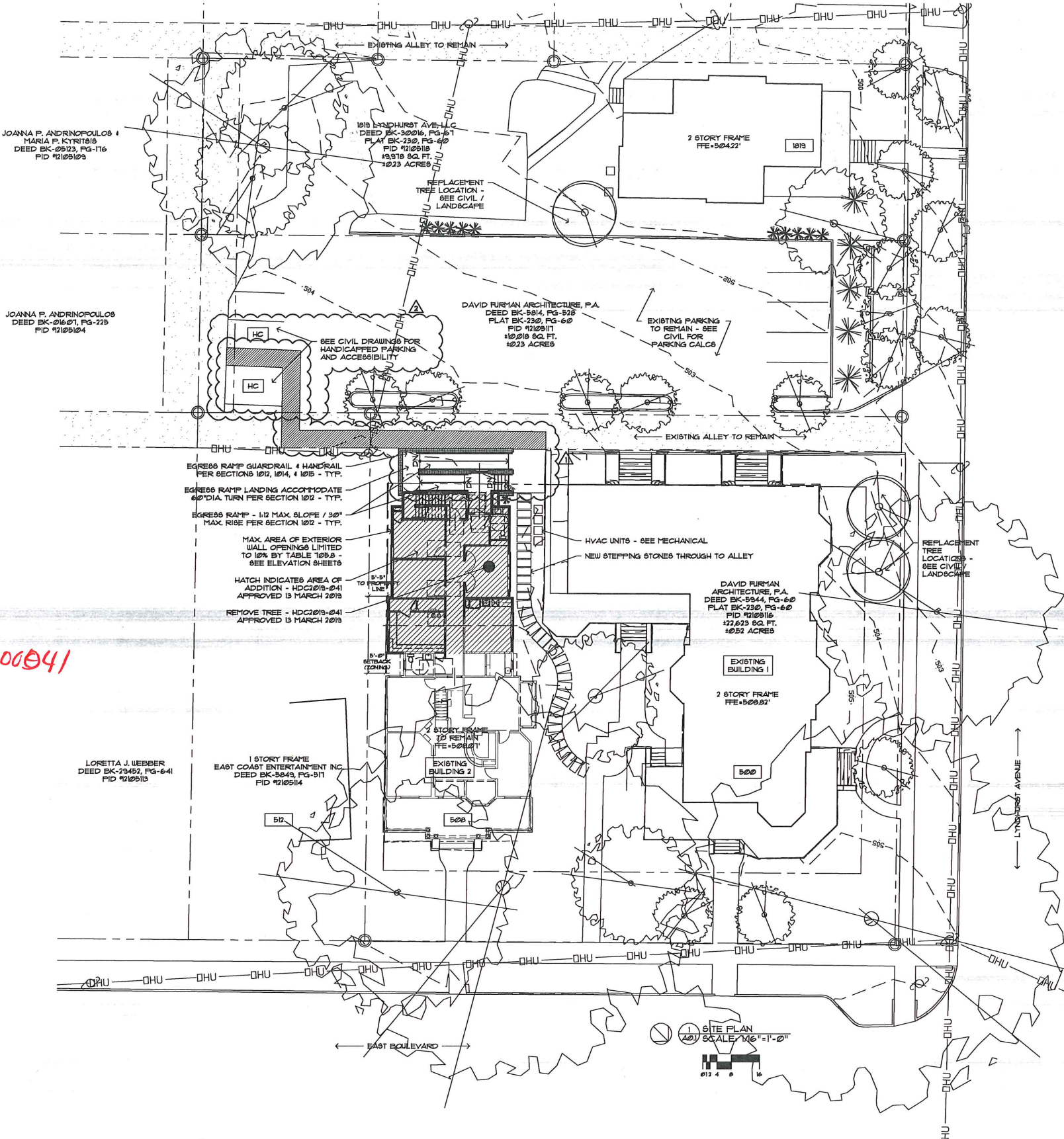
1. It is the responsibility of the Contractor to become fully aware of any and all conditions related to the site and existing conditions that may affect construction activities and/or construction scheduling prior to submitting a bid.
2. Contractor shall verify all dimensions and conditions at the jobsite including soil conditions, foundation conditions, and conditions related to the location of existing utilities and services before commencing work. All discrepancies shall be reported to the Designer.
3. Do not scale drawings or details - use given dimensions. Check details for location of all items not dimensioned on plans.
4. The drawings indicate general details of construction - where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the Designer and, if required, structural engineer.
5. Building systems and components not specifically detailed shall be installed, as per minimum manufacturer's recommendations. Notify the Designer of any resulting conflicts.
6. All work shall conform to applicable building codes and ordinances. In case of any conflict wherein the methods or standards or the materials specified do not equal or exceed the requirements of the laws or ordinances, the laws or ordinances shall govern. Notify the Designer of all conflicts immediately.
7. Coordinate all operations with the Building Owner or Representative including, but not limited to, areas used for material storage, access to and from work, timing of work, interruption of plumbing, mechanical and electrical services, etc.
8. It is the responsibility of the Contractor to install proper dust barriers and other protection as required to protect both existing and new building finishes and facilities.
9. Contractor shall provide temporary bracing for structure and structural components until all final connections have been completed in accordance with the plans.
10. Contractor shall provide certificates of insurance, including, but not limited to, Worker's Comp and General Liability. Owner shall notify Contractor of any additional insurance requirements.
11. It is the responsibility of the Owner to review all drawings and associated contract documents.



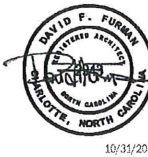
APPROVED
Charlotte
Historic District
Commission

Certificate of Appropriateness

HDC/MR-2019-00041



DAVID FURMAN,
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535 WEST TRADE ST.
SUITE 210
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T 704.332.4098



508 EAST
ADDITION
508 EAST BLVD
CHARLOTTE, NORTH CAROLINA

1 OCTOBER 4, 2019
2 OCTOBER 31, 2019

SITE PLAN

AUGUST 2, 2019
REVISION 2
PERMIT REVIEW
2 OCTOBER 31, 2019

A0.3

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10/31/2019

508 EAST
A D D I T I O N
508 EAST BLVD
CHARLOTTE, NORTH CAROLINA

▲ OCTOBER 4, 2019

▲ OCTOBER 31, 2019

LIFE SAFETY PLANS

AUGUST 2, 2019

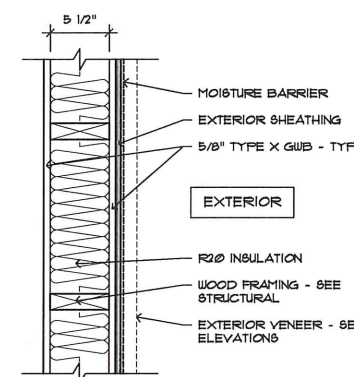
REVISION 2
PERMIT REVIEW

▲ OCTOBER 31, 2019

A0.2

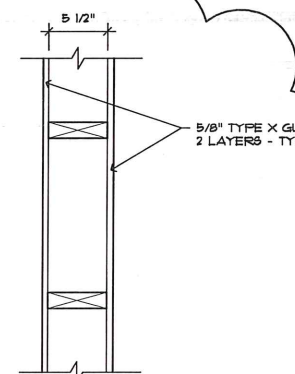
WALL LEGEND	
1	2X6 EXTERIOR WALL 1 HR RATING
2	2X6 EXTERIOR WALL NO RATING
3	2X6 INTERIOR WALL 1 HR RATING
4	2X6 INTERIOR WALL NO RATING
5	2X4 INTERIOR WALL NO RATING

LEGEND	
---	COMMON PATH OF TRAVEL LESS THAN 15 FT
---	1 HR RATED EXTERIOR WALL PER 105.5
15 130	EXIT LOAD EXIT CAPACITY



1 HR RATING
EXTERIOR WALL RATED
FROM BOTH SIDES 1 1/2" = 1'-0"

5/8" TYPE X
GWB
WOOD STUDS
TOTAL 40 MIN.
(PER SIDE)
20 MIN.
100 MIN.



1 HR RATING
INTERIOR WALL RATED
FROM BOTH SIDES 1 1/2" = 1'-0"

5/8" TYPE X
GWB
TOTAL 40 MIN.
(2 LAYERS)
80 MIN.

PROXIMITY TO
SETBACK - SEE SHEET
A2.1 FOR TABLE 105.5
CALCS - MAXIMUM AREA
OF EXTERIOR WALL
OPENINGS BASED ON
FIRE SEPARATION
DISTANCE AND OPENING
DEGREE OF PROTECTION

RATED WALL BOTH
SIDES PER 105.5 - SEE
SECTIONS 4 DETAILS

PROPERTY LINE
5'-5" TO PROPERTY LINE

TABLE 105.5 CALCS
MAXIMUM AREA OF EXTERIOR
WALL OPENINGS BASED ON FIRE
SEPARATION DISTANCE AND
OPENING DEGREE OF PROTECTION

FIRE SEPARATION DISTANCE 5
FEET TO LESS THAN 10 FEET

AREA OF GLAZING LVL1 = 60 SF.
AREA OF WALL LVL1 = 538 SF.
% GLAZING LVL1 = 60 / 538 = 10%
AREA OF GLAZING LVL2 = 52 SF.
AREA OF WALL LVL2 = 505 SF.
% GLAZING LVL2 = 52 / 505 = 10%

EXISTING 51 SF. OL.1

EXISTING 31 SF. OL.1

EXISTING 45 SF. OL.1

EXISTING 196 SF. OL.2

EXISTING 219 SF. OL.3

EXISTING 71 SF. OL.1

EXISTING 222 SF. OL.3

EXISTING 238 SF. OL.2

EXISTING 159 SF. OL.2

EXISTING 325 SF. OL.4

EXISTING 43 SF. OL.1

EXISTING 196 SF. OL.2

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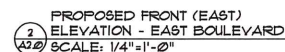
EXISTING 1



Charlotte
Historic District
Commission

Certificate of Appropriateness

НОССМА-2019-00041



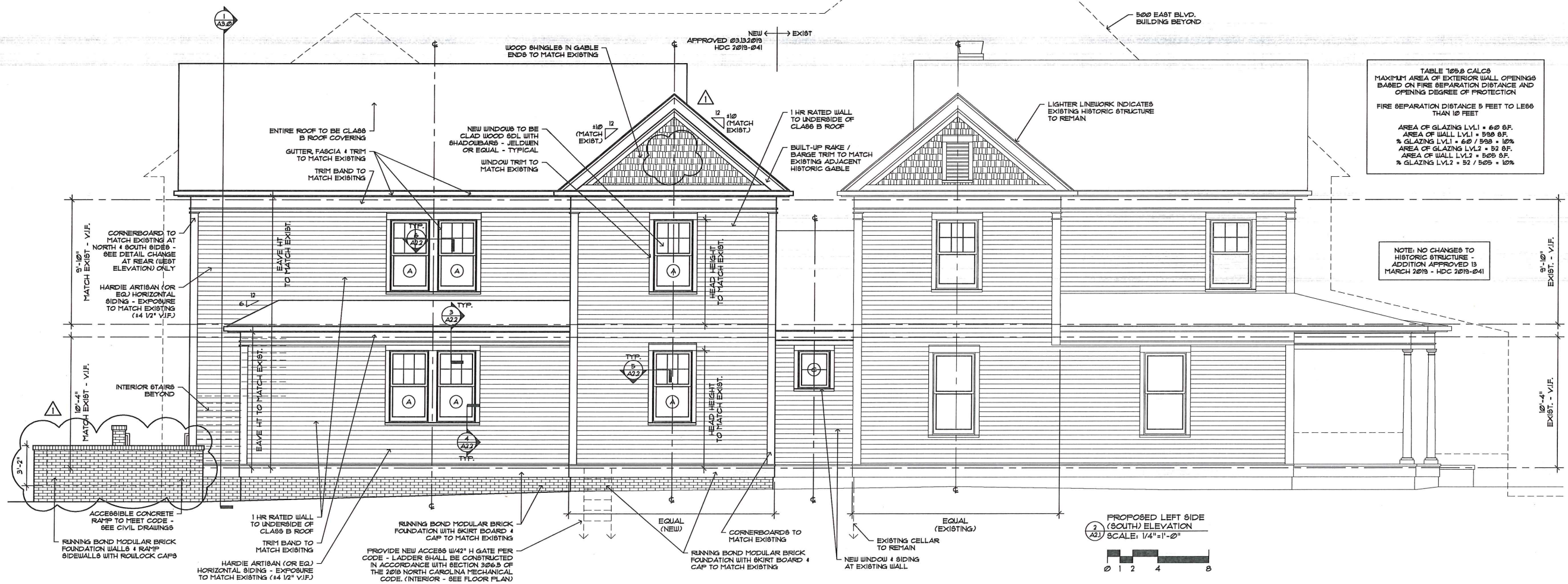
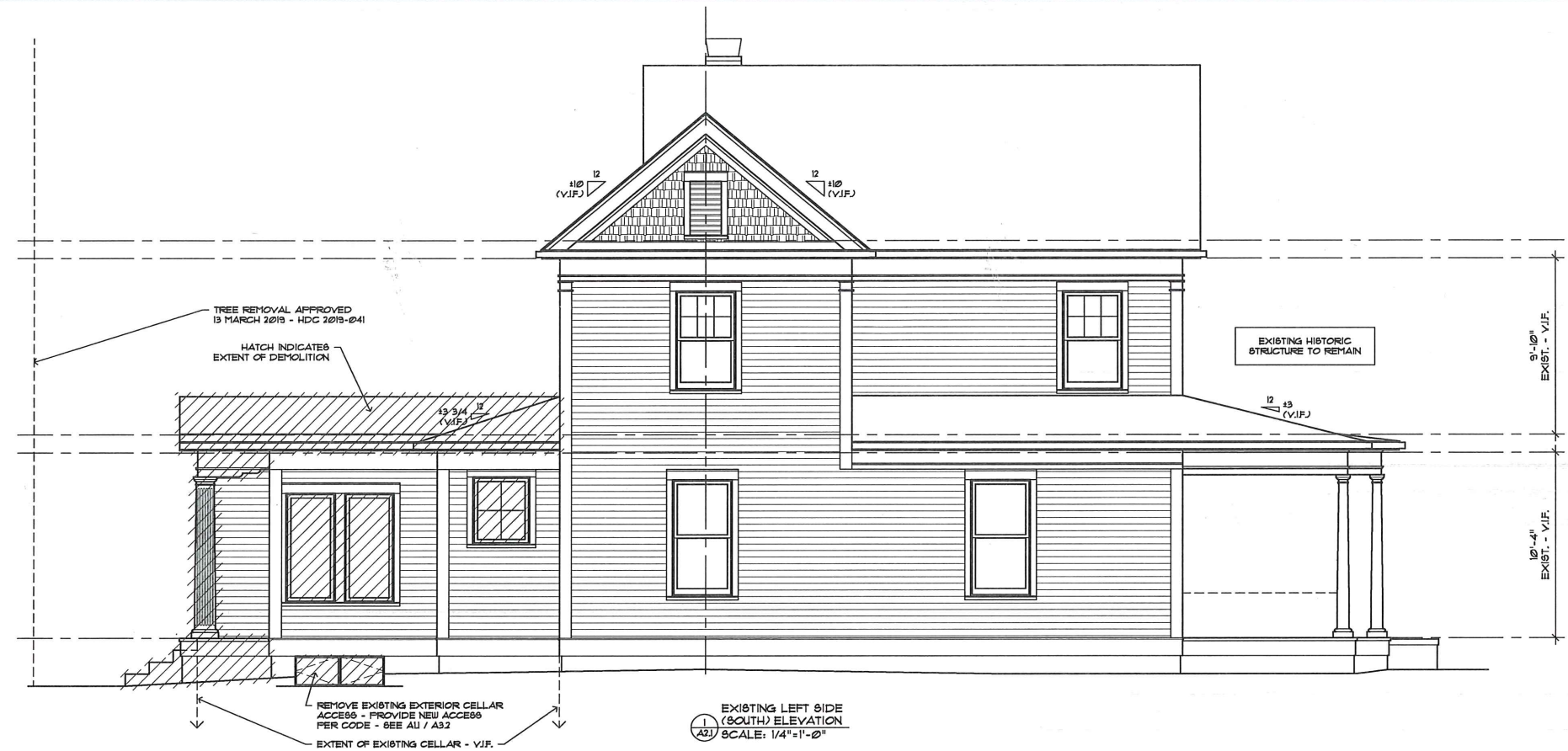
08/02/2019

508 EAST
ADDITON
508 EAST BLVD
CHARLOTTE, NORTH CAROLINA

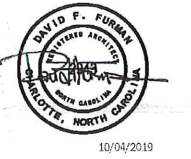
AUGUST 2, 2019

ELEVATIONS

A2.Ø



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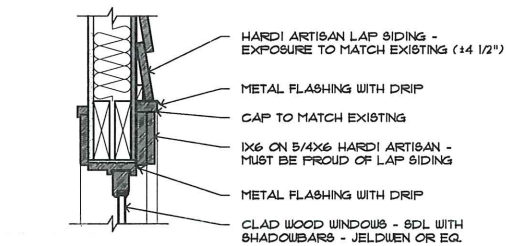
508 EAST BLVD
ADDITON
CHARLOTTE, NORTH CAROLINA

ELEVATIONS

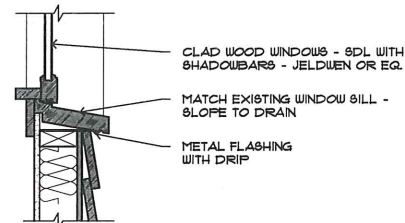
AUGUST 2, 2019

REVISION 1
PERMIT REVIEW
OCTOBER 4, 2019

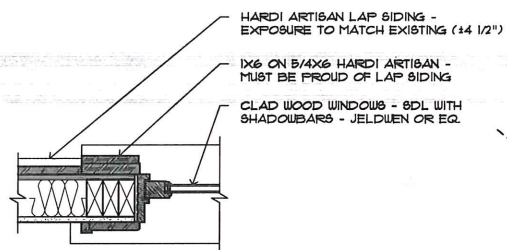
A2.1



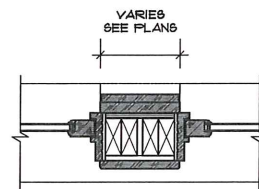
3 HEAD DETAIL AT SIDING
SCALE: 1 1/2"=1'-0"



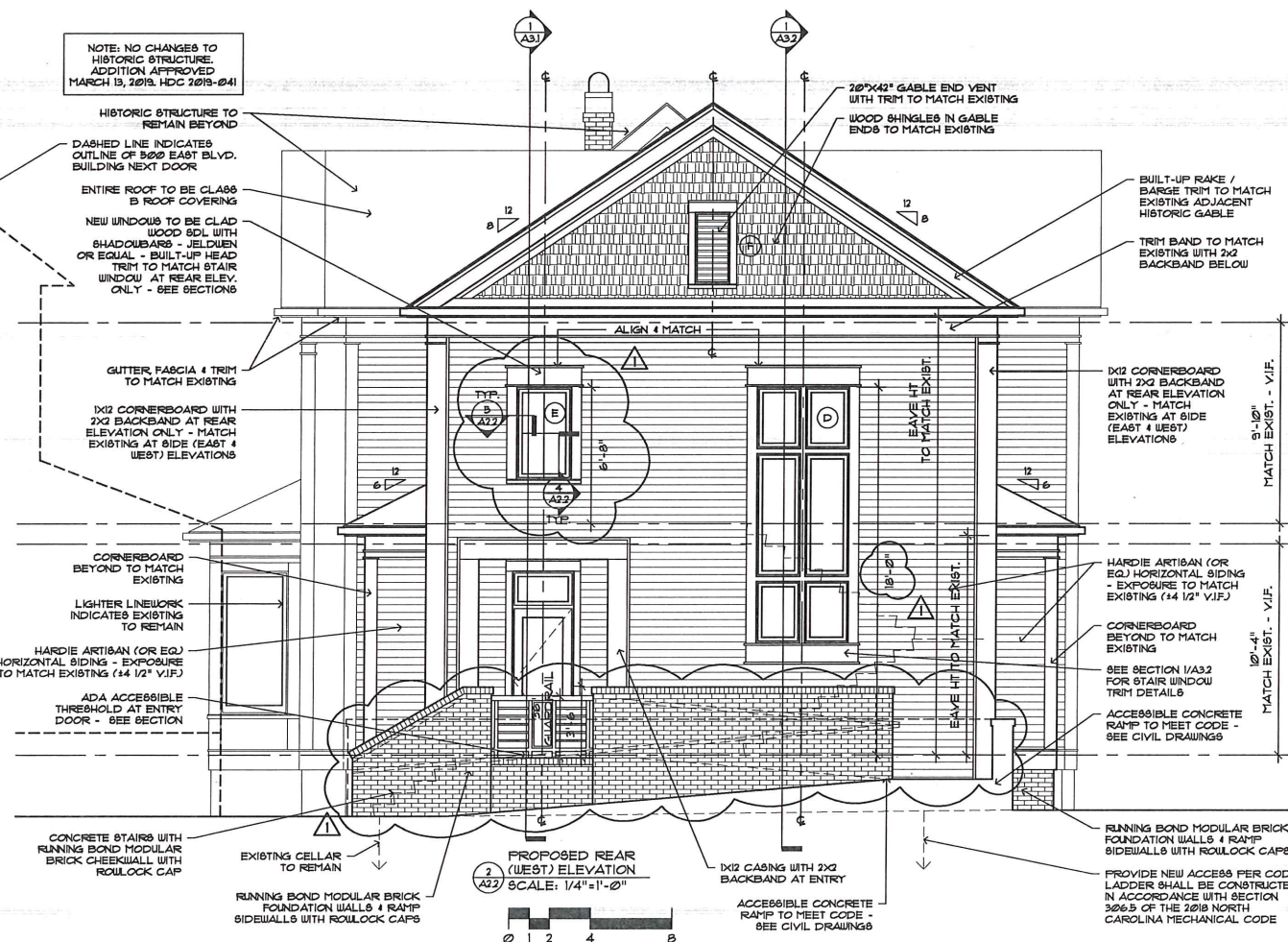
4 SILL DETAIL AT SIDING
SCALE: 1 1/2"=1'-0"



5 JAMB DETAIL AT SIDING
SCALE: 1 1/2"=1'-0"



6 JAMB DETAIL BETWEEN WINDOWS
SCALE: 1 1/2"=1'-0"



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10/04/2019

508 EAST
508 EAST BLVD
CHARLOTTE, NORTH CAROLINA

ELEVATIONS

AUGUST 2, 2019

REVISION 1
PERMIT REVIEW
OCTOBER 4, 2019

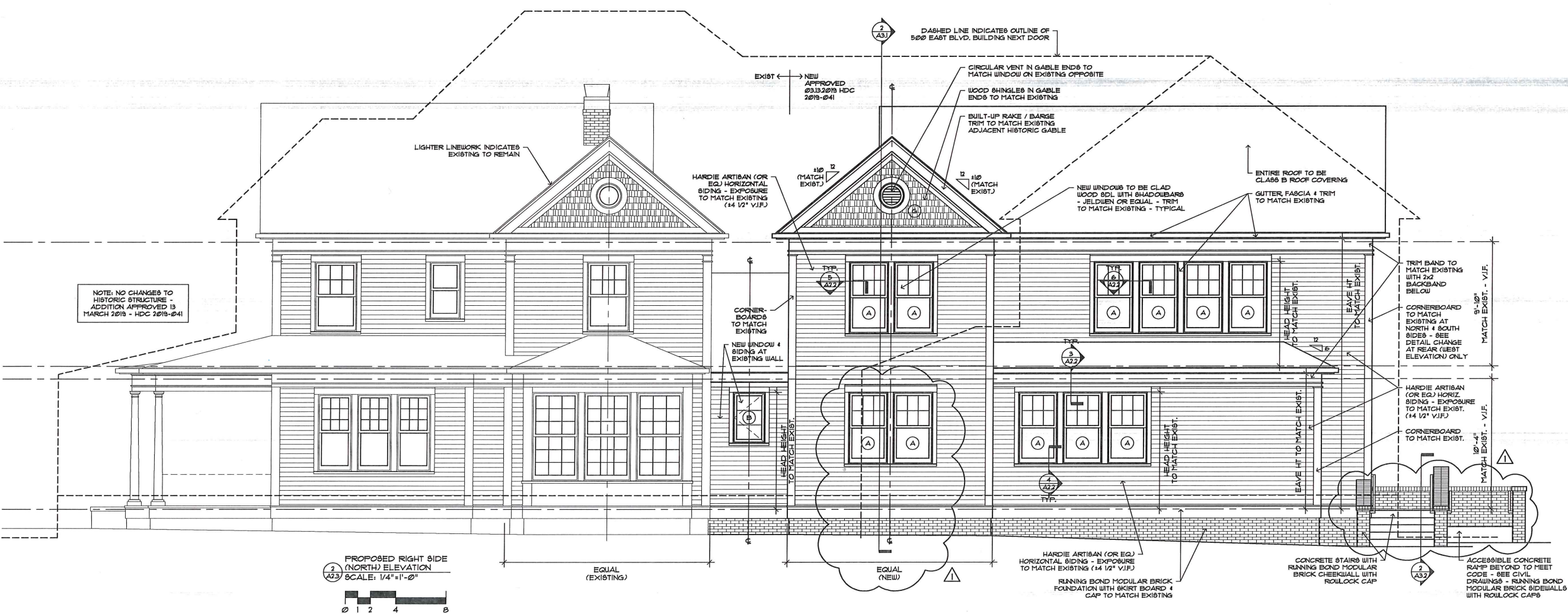
A2.2



1
A23
EXISTING RIGHT SIDE
(NORTH) ELEVATION
SCALE: 1/4"=1'-0"

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HDCCMA-2019-00041

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2
A23
PROPOSED RIGHT SIDE
(NORTH) ELEVATION
SCALE: 1/4"=1'-0"

508 EAST
A D D I T I O N
508 EAST BLVD
CHARLOTTE, NORTH CAROLINA

ELEVATIONS

AUGUST 2, 2019

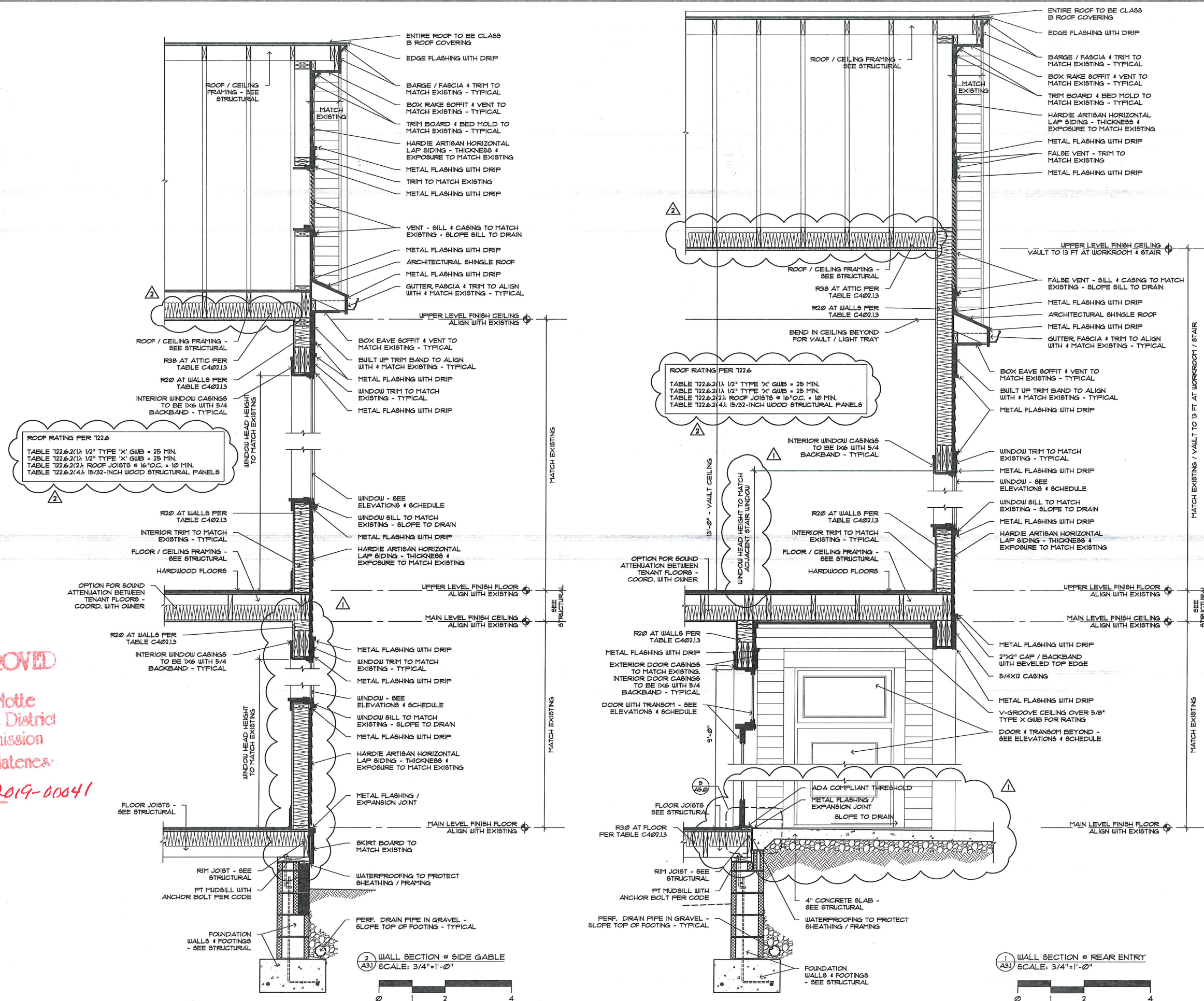
REVISION 1
PERMIT REVIEW
OCTOBER 4, 2019

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Charlotte
Historic District
Commission

Certificate of Appropriateness

АДССМН - 2019-00041



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10/31/20

508 EAST
ADDITON

 OCTOBER 4, 2019

2 OCTOBER 31, 2015

WALL SECTIONS

AUGUST 2, 2013

REVISION 2
PERMIT REVIEW
2 OCTOBER 31, 2019

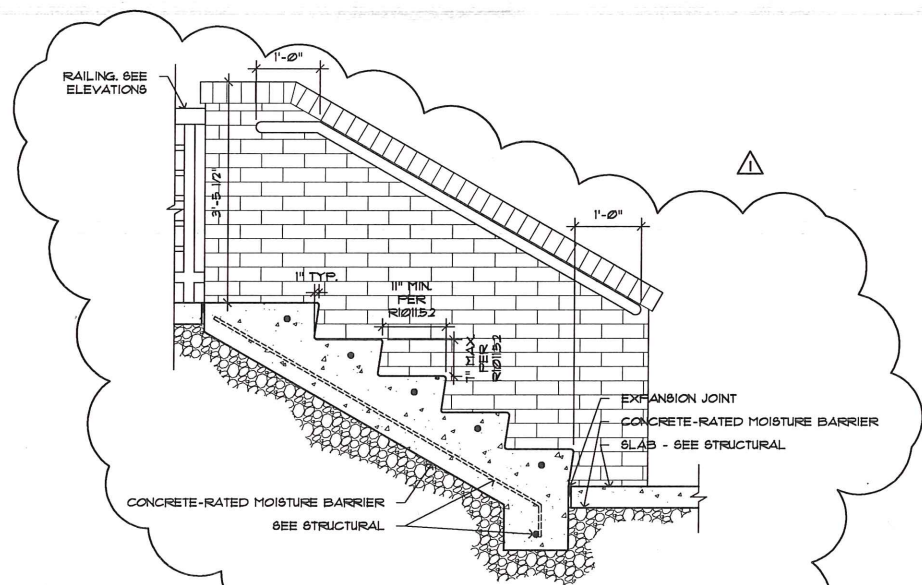
A3.1



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HDCMA-2019-00041



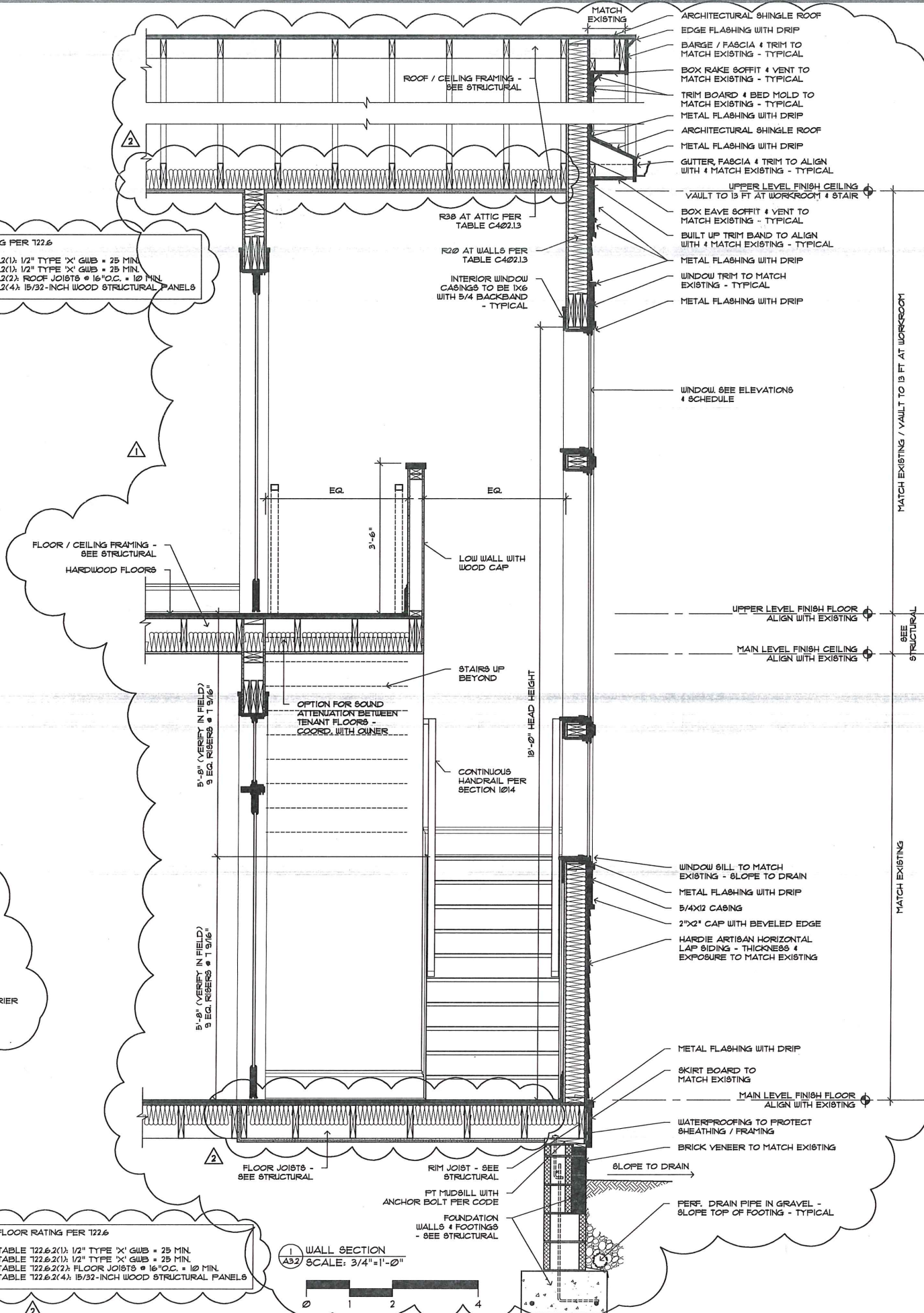
2 REAR ENTRANCE STAIR DETAIL
A32 SCALE: 3/4"=1'-0"



ROOF RATING PER 122.6
TABLE 122.6.2(1): 1/2" TYPE 'X' GWB = 25 MIN.
TABLE 122.6.2(1): 1/2" TYPE 'X' GWB = 25 MIN.
TABLE 122.6.2(2): ROOF JOISTS @ 16" O.C. = 10 MIN.
TABLE 122.6.2(4): 15/32-INCH WOOD STRUCTURAL PANELS

FLOOR RATING PER 122.6
TABLE 122.6.2(1): 1/2" TYPE 'X' GWB = 25 MIN.
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TABLE 122.6.2(2): FLOOR JOISTS @ 16" O.C. = 10 MIN.
TABLE 122.6.2(4): 15/32-INCH WOOD STRUCTURAL PANELS

1 WALL SECTION
A32 SCALE: 3/4"=1'-0"



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10/31/2019

508 EAST
A D D I T I O N
S O B E A S T B L V D
C H A R L O T T E , N O R T H C A R O L I N A

1 OCTOBER 4, 2019

2 OCTOBER 31, 2019

STAIR & WALL
SECTIONS

AUGUST 2, 2019

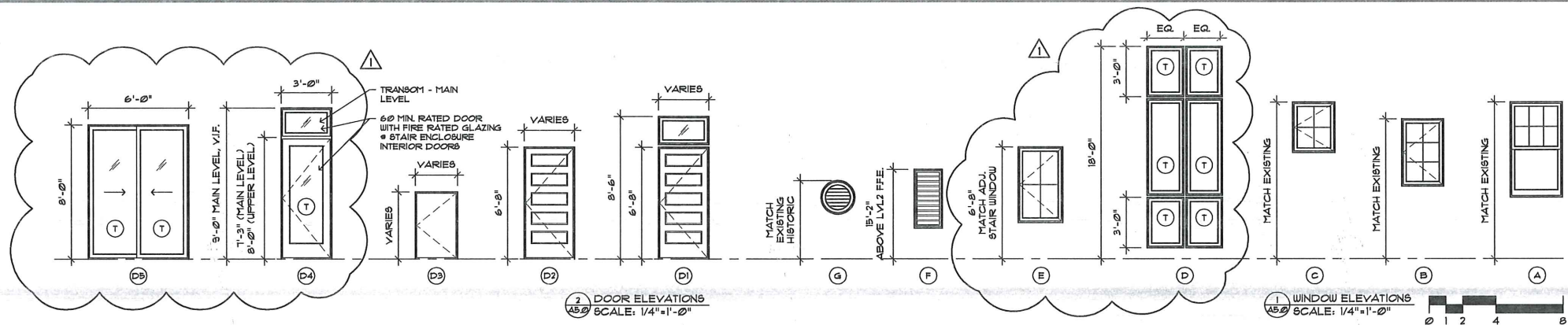
REVISION 2
PERMIT REVIEW
2 OCTOBER 31, 2019

A3.2

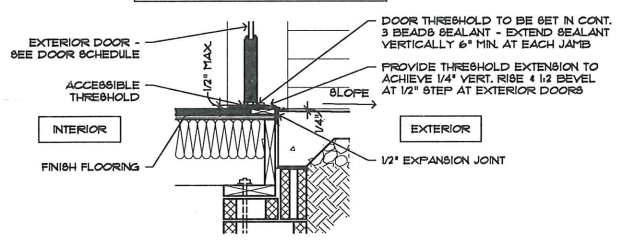
DAVID FURMAN, FAIA
333 WEST THIRD ST.
SUITE 210
CHARLOTTE, NC 28202
T 704.332.4008



10/04/2019



TOP OF EXTERIOR CONCRETE TO BE 1/2" BELOW INTERIOR F.F.E. TYP.
FEATHER EXTERIOR SLAB UP AT ALL DOORS TO BE 1/4" MAX BELOW F.F.E. W/ SLOPE NOT TO EXCEED 2% TYP.



ACCESSIBLE THRESHOLD DETAIL
SCALE: 1"=1'-0"



WINDOW SCHEDULE:

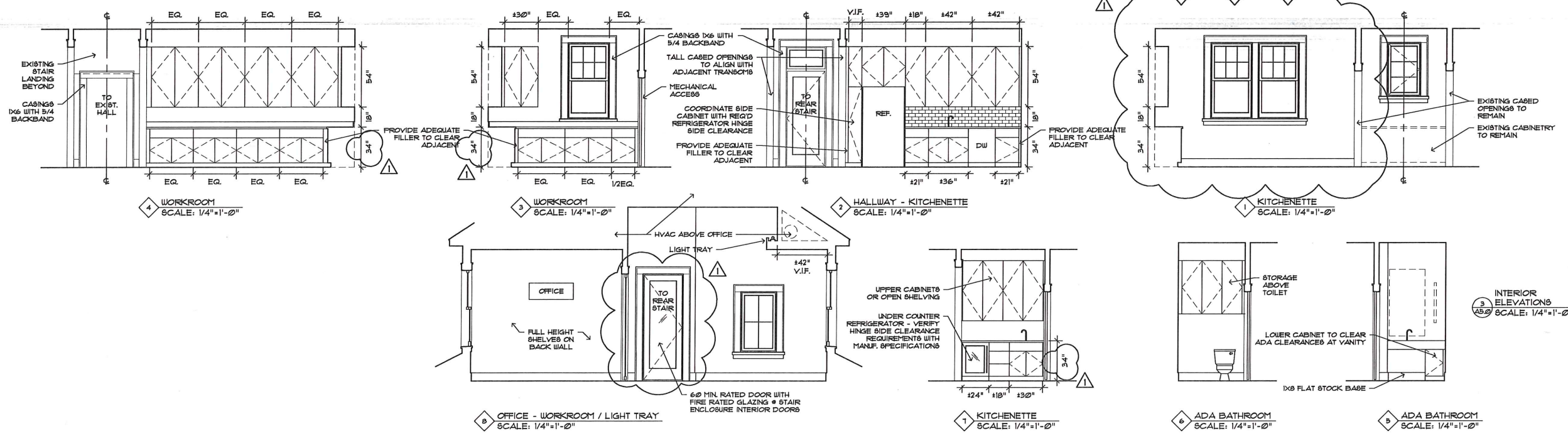
SYMBOL	MANUF.	MANUF. #	WIDTH	HEIGHT	HEAD HT **	CONFIG.	TYPE	REMARKS	SYMBOL
A	JELDUEH OR EQUAL	ECC3166	3'-1"	5'-8"	MATCH EXISTING	SEE VAB.0	CLAD*	DOUBLE HUNG	A
B	JELDUEH OR EQUAL	ECC3048	2'-6"	4'-0"	MATCH EXISTING	SEE VAB.0	CLAD*	CASEMENT - SEE ELEV. FOR OPERABLE / FIXED	B
C	JELDUEH OR EQUAL	ECC3036	2'-6"	3'-0"	MATCH EXISTING	SEE VAB.0	CLAD*	CASEMENT - SEE ELEV. FOR OPERABLE / FIXED	C
D	JELDUEH OR EQUAL	-	4'-6"	12'-0"	11'-8"	SEE VAB.0	CLAD*	CUSTOM FIXED ASSEMBLY WITH DIVISIONS AS SHOWN - SEE ELEV.	D
E	JELDUEH OR EQUAL	ECC3254	2'-8"	4'-6"	MATCH EXISTING	SEE VAB.0	CLAD*	CASEMENT - SEE ELEV. FOR OPERABLE / FIXED	E
F	-	-	1'-8"	3'-6"	15'-2"	SEE VAB.0	-	ATTIC VENT	F
G	-	-	MATCH EXIST.	MATCH EXIST.	MATCH EXISTING	SEE VAB.0	-	ATTIC VENT TO MATCH EXISTING	G

* ALL WINDOWS - INCLUDING REPLACEMENT SASH KITS - TO BE CLAD WOOD SOL WITH SHADOBARS AND PUTTY PROFILE. COLOR TO BE SELECTED BY OWNER.
** HEAD HEIGHT MAY VARY BY LOCATION - VERIFY WITH ELEVATIONS.
E WINDOWS MUST COMPLY WITH NC RESIDENTIAL CODE SECTION 310.1: MINIMUM 5.0 SF. TOTAL GLAZING AREA IN GROUND LEVEL BEDROOM WINDOWS AND 5.1 SF. TOTAL GLAZING AREA IN UPPER STORY BEDROOM WINDOWS FOR EGRESS.
T PROVIDE TINTED GLASS AS REQUIRED PER CODE.

DOOR SCHEDULE:

#	LOCATION	MANUF.	MANUF. #	WIDTH	HEIGHT	TYPE	HARDWARE	RATING	ELEV.	REMARKS	#
MAIN LEVEL											
101	REAR FOYER EXT. ENTRANCE	JELDUEH OR EQUAL	-	3'-0"	9'-0"	CLAD W/ GLASS + TRANSOM	DEAD BOLT / KEY / LATCH	-	D4	ACCESSIBLE THRESHOLD - SEE VAB.0 - LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	101
102	STAIR EXTERIOR ENTRANCE	JELDUEH OR EQUAL	-	3'-0"	9'-0"	CLAD W/ GLASS + TRANSOM	DEAD BOLT / KEY / LATCH	-	D4	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	102
103	- NOT USED -	-	-	-	-	-	-	-	-	-	103
104	STAIR TO HALLWAY	JELDUEH OR EQUAL	-	3'-0"	9'-0"	CLAD W/ GLASS + TRANSOM	DEAD BOLT / KEY / LATCH	60 MIN.	D4	60 MIN. RATING PER 116.5 / FIRE RATED GLAZING / RATED JAMB - LEVER / ACCESS. HOUR PER ICC/ANSI	104
105	- NOT USED -	-	-	-	-	-	-	-	-	-	105
106	- NOT USED -	-	-	-	-	-	-	-	-	-	106
107	ACCESSIBLE BATHROOM	-	-	3'-0"	6'-8"	SOLID WOOD	PRIVACY	-	D2	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	107
108	OFFICE	-	-	3'-0"	6'-8"	SOLID WOOD + TRANSOM	PRIVACY	-	D1	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	108
109	CLOSET	-	-	2'-0"	6'-8"	SOLID WOOD	PASSAGE	-	D2	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	109
110	OFFICE	-	-	3'-0"	6'-8"	SOLID WOOD + TRANSOM	PRIVACY	-	D1	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	110
111	OFFICE	-	-	3'-0" DBL	6'-8"	SOLID WOOD DBL + TRANS	PRIVACY	-	D1 DBL	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	111
112	HALLWAY TO WORKROOM	-	-	5'-0"	6'-8"	CASED OPENING	-	-	-	-	112
113	MECHANICAL ACCESS	-	-	3'-0"	6'-8"	SOLID WOOD	PASSAGE	-	D2	WEATHERSTRIP + SEAL - LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	113
114	CLOSET	-	-	2'-0"	6'-8"	SOLID WOOD	PASSAGE	-	D2	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	114
115	HALLWAY - NEW TO OLD	-	-	4'-0"	6'-8" V.J.F.	CASED OPENING	-	-	-	-	115
116	HALLWAY TO KITCHENETTE	-	-	5'-0"	8'-6"	CASED OPENING	-	-	-	-	116
117	ACCESSIBLE BATHROOM	-	-	3'-0"	6'-8"	SOLID WOOD	PRIVACY	-	D2	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	117
118	CELLAR GATE	-	-	3'-0"	3'-6"	METAL GATE	GATE LATCH	-	-	-	118
UPPER LEVEL											
201	OFFICE	-	-	3'-0" DBL	8'-0"	INTERIOR STOREFRONT	-	-	D5	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	201
202	OFFICE	-	-	3'-0" DBL	8'-0"	INTERIOR STOREFRONT	-	-	D5	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	202
203	OFFICE	-	-	3'-0"	8'-6"	SOLID WOOD + TRANSOM	PRIVACY	-	D1	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	203
204	- NOT USED -	-	-	-	-	-	-	-	-	-	204
205	HALLWAY	-	-	3'-0"	8'-6"	CASED OPENING	-	-	-	-	205
206	CLOSET	-	-	3'-0"	6'-8"	SOLID WOOD	PASSAGE	-	D2	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	206
207	ATTIC / MECHANICAL ACCESS	-	-	V.J.F.	V.J.F.	ACCESS PANEL	-	-	-	-	207
208	BATHROOM	-	-	3'-0"	6'-8"	SOLID WOOD	PRIVACY	-	D2	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	208
209	KITCHENETTE	-	-	3'-0"	8'-6"	CASED OPENING	-	-	-	-	209
210	CLOSET	-	-	3'-0"	6'-8"	SOLID WOOD	PASSAGE	-	D1	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	210
211	OFFICE	-	-	3'-0"	8'-6"	SOLID WOOD + TRANSOM	PRIVACY	-	D1	LEVER / ACCESSIBLE HARDWARE PER ICC/ANSI	211
212	- NOT USED -	-	-	-	-	-	-	-	-	-	212
213	STAIRS	JELDUEH OR EQUAL	-	3'-0"	8'-0"	CLAD W/ GLASS (NO TRANSOM)	DEAD BOLT / KEY / LATCH	60 MIN.	D4	60 MIN. RATING PER 116.5 / FIRE RATED GLAZING / RATED JAMB - LEVER / ACCESS. HOUR PER ICC/ANSI	213

* ALL NEW EXTERIOR DOORS TO BE CLAD WOOD SOL WITH SHADOBARS AND PUTTY PROFILE. COLOR TO BE SELECTED BY OWNER.
** REUSED SALVAGED DOORS SHALL RETAIN SPECIFIED SIZES UNLESS OTHERWISE APPROVED BY OWNER / DESIGNER. COORDINATE DOOR SIZE CHANGES WITH SALVAGED INVENTORY.
ME. MATCH EXISTING



508 EAST
ADDITIONAL NORTH CAROLINA
CHARLOTTE, NORTH CAROLINA

WINDOW & DOOR SCHEDULES, INTERIOR ELEVATIONS & DETAILS

AUGUST 2, 2019

REVISION 1
PERMIT REVIEW
OCTOBER 4, 2019

A5.0