
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 630 East Tremont Avenue

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: Andrew Woodruff/Sheena Patterson

Details of Proposed Request

Existing Conditions

The existing structure is a 1.5 story brick cottage-style house constructed in 1925. Design features include a steep side gable block with steeply pitched front gable projection, engaged front porch on square columns. Adjacent structures are one to two story houses and multi-family dwellings. Lot size is approximately 50' x 150'.

Proposal

The proposal is a new covered porch to replace an existing deck. Design features include a new brick chimney, square wood columns to match existing, and a brick foundation. To accommodate the new porch roof, a pair of double-hung windows on the main house will be replaced with smaller windows to match existing. An alternate proposal includes enclosing the porch with Simulated True Divided Light (STD L) wood casement windows and painted wood panels. All traditional materials to match existing. The existing deck is over a concrete pad. No changes made to the existing landscape wall around the tree or the paver patio in the rear yard. No changes to rear yard permeability.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The proposal for the rear porch is not incongruous with the District and meets the guidelines for Additions, 7.2 and New Construction above.
2. Minor revisions may be reviewed by staff.



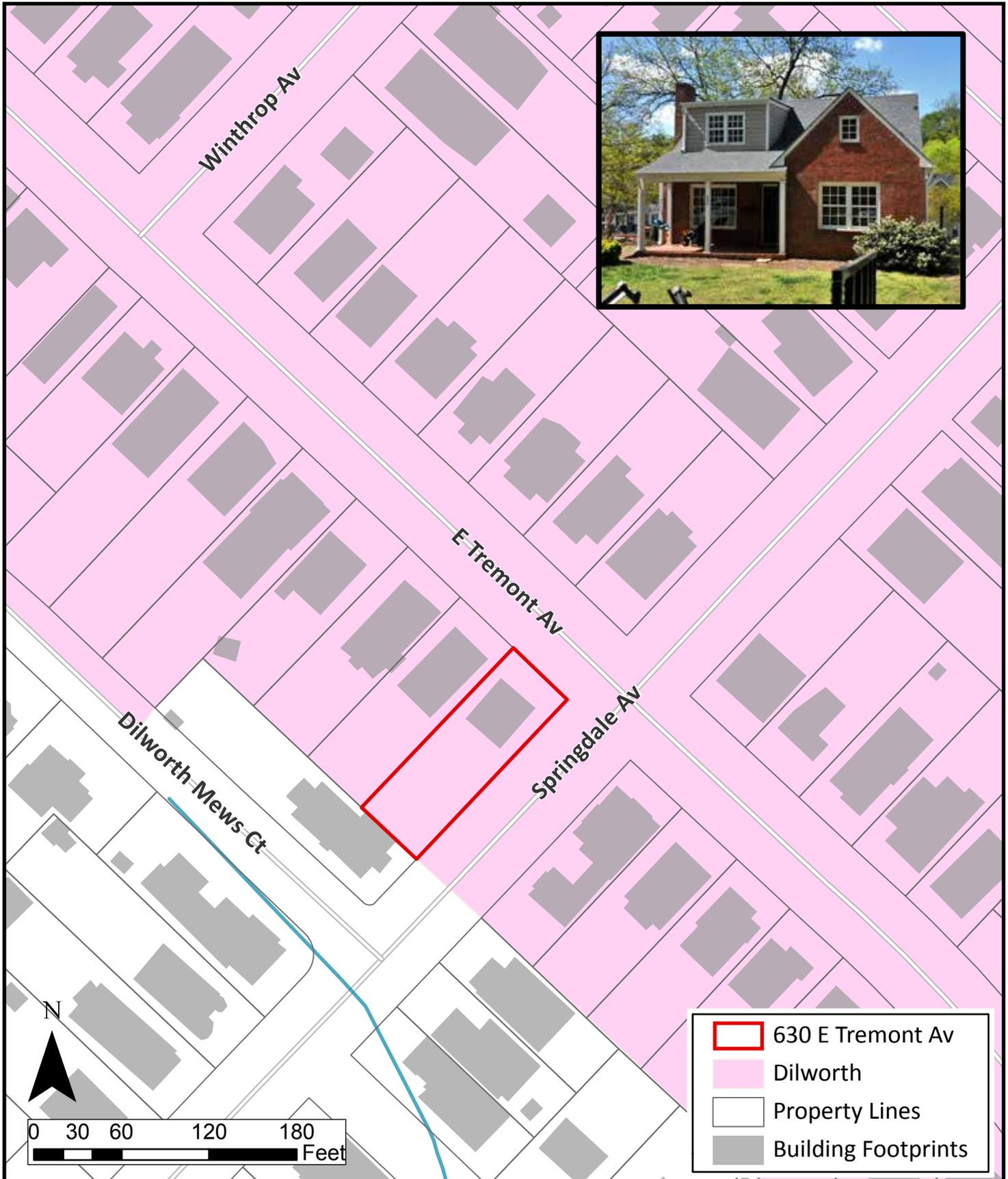
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LOCAL HISTORIC DISTRICT: DILWORTH

PROPOSED PROJECT: ADDITIONS

June Meeting 2019



The Patterson Porch

PROJECT INFORMATION:

FIRST FLOOR: 360 SF (Un-heated)
BASEMENT FLOOR: 360 SF (Un-heated)

TOTAL GROSS: 720 SF

OWNER: Todd and Shenna Patterson
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630 E. Tremont Avenue
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336-423-7340

ARCHITECT: Woodruff Architecture (#53240)
R. Andrew Woodruff, R.A. (#6682)
2301 Greenway Avenue
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704-953-5994

Project Description

New two-story porch to replace existing elevated wood deck. Existing deck to be demolished and new elevated covered porch to align with main floor. Lower covered porch at existing walk-out basement. Alternate will enclose covered porch into heated square footage.

All materials and detailing to comply with Charlotte Historic District Guidelines.

TABLE OF CONTENTS

1. Site Plan
2. Rear Perspective Sketch - EXISTING
3. Rear Perspective Sketch - PORCH
4. Rear Perspective Sketch - PORCH (w/ Window Alternate)
5. First Floor Plan - EXISTING
6. Basement Floor Plan - EXISTING
7. Roof Plan - EXISTING
8. Side Elevation - EXISTING
9. Rear Elevation - EXISTING
10. Floor Plan - FIRST FLOOR
11. Floor Plan - BASEMENT
12. Roof Plan - NEW PORCH
13. Side Elevation - NEW PORCH
14. Side Elevation - NEW PORCH (w/ Window Alternate)
15. Rear Elevation - NEW PORCH
16. Rear Elevation - NEW PORCH (w/ Window Alternate)



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5/13/2019



Patterson Porch Project

Backyard view of porch – Visible from Springdale



Front of house – Street view from E. Tremont



Dilworth Mews Court

E Tremont Avenue

Springdale Avenue

New 2-story covered porch @ existing rear of house -
(Footprint to match approximate size of existing deck in same location)

35' Rear Lawn

Terrace

New Covered Porch

1-1/2 Story Residence

Lawn

20' Front

Lawn

Drive

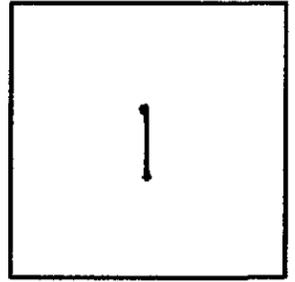
Site Plan
1" = 20'



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The Patterson Residence
March 15th, 2019



Remove exist. deck
Remove exist. stairs
Remove retaining walls
as req'd.

Rear Perspective Sketch - EXSITING
n.t.s.



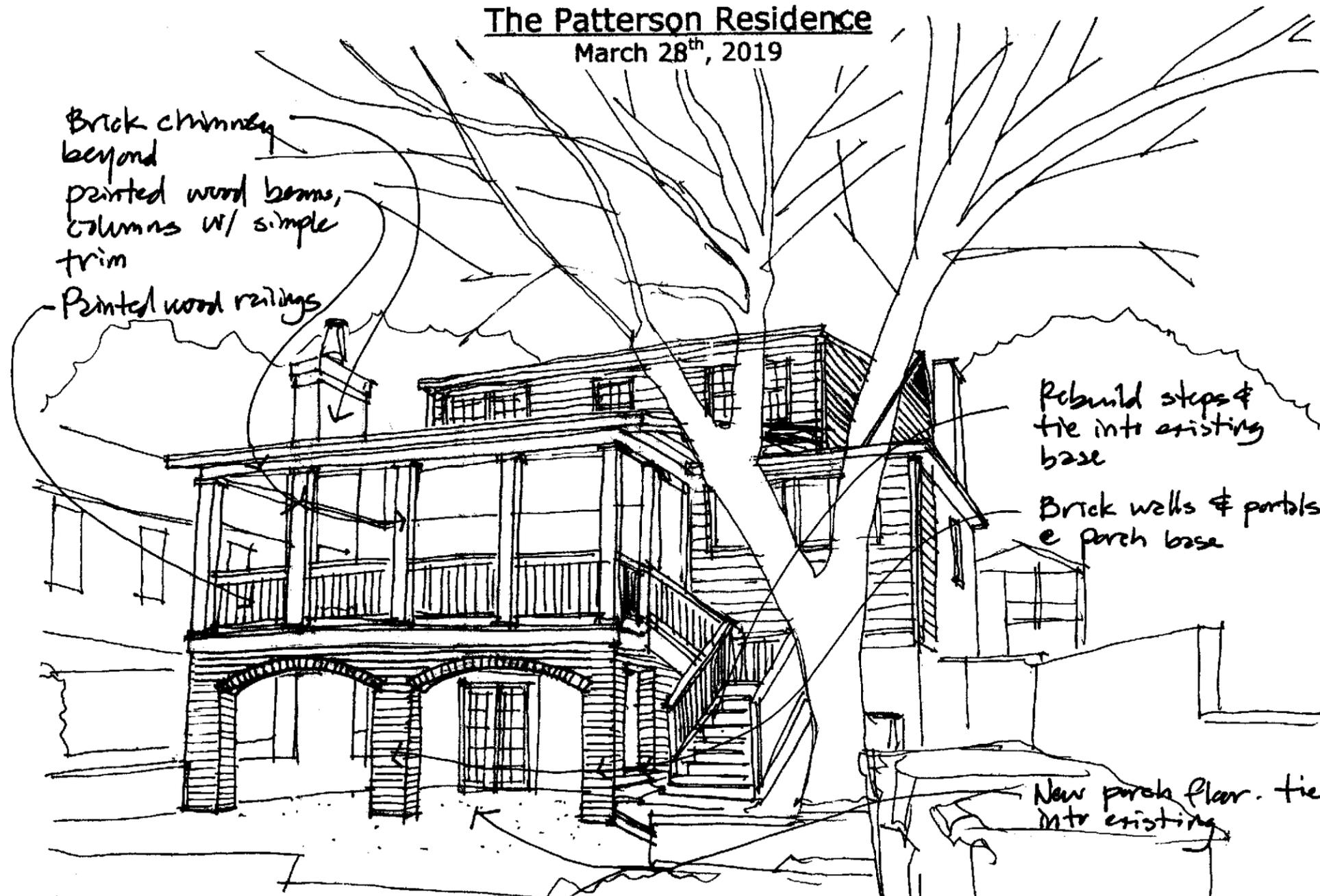
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The Patterson Residence
March 28th, 2019



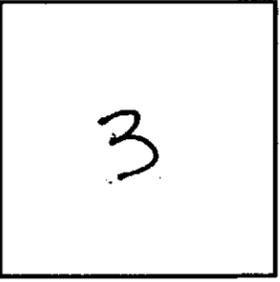
Rear Perspective Sketch – PORCH

n.t.s.

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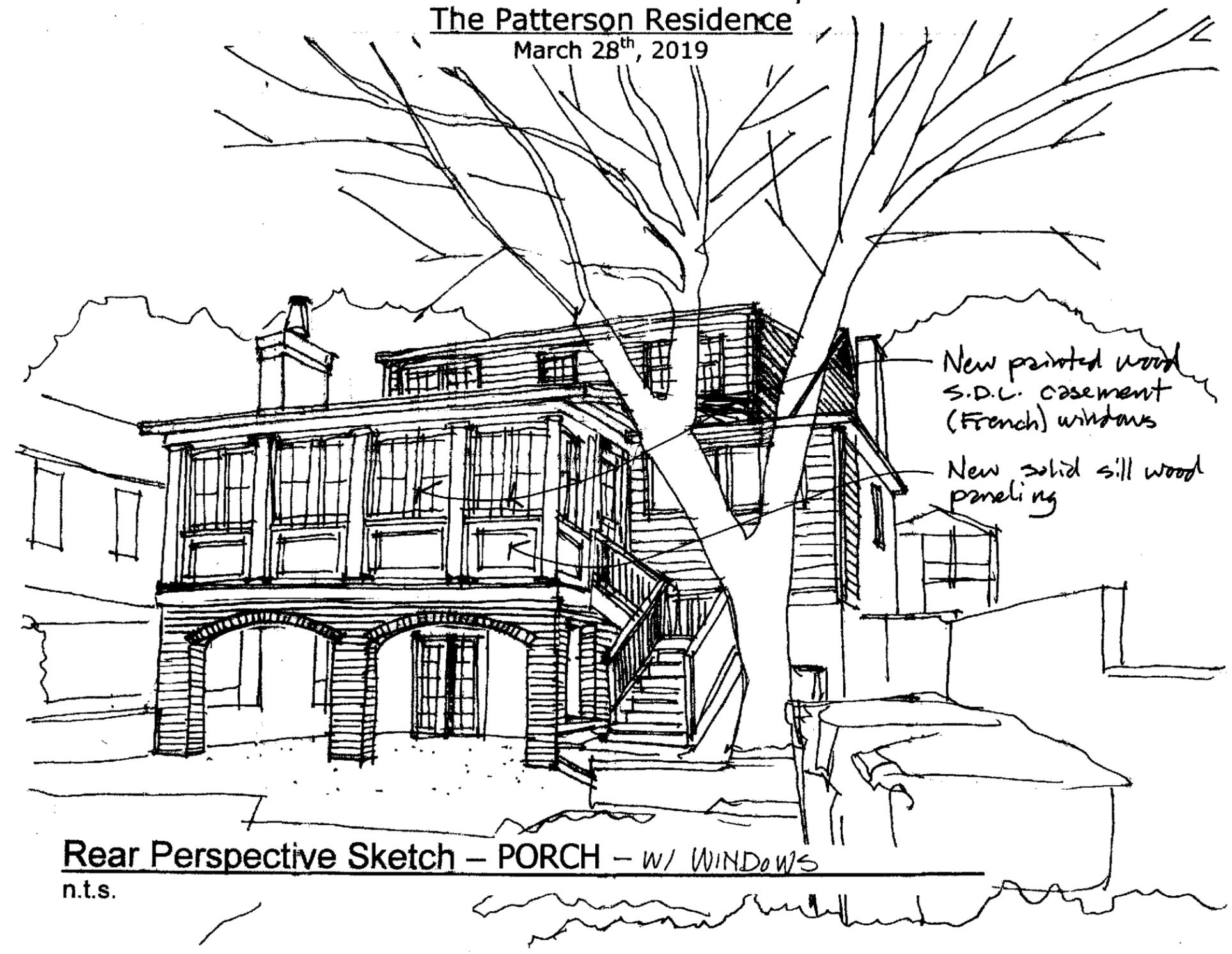
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The Patterson Residence

March 28th, 2019



Rear Perspective Sketch – PORCH – w/ WINDOWS

n.t.s.

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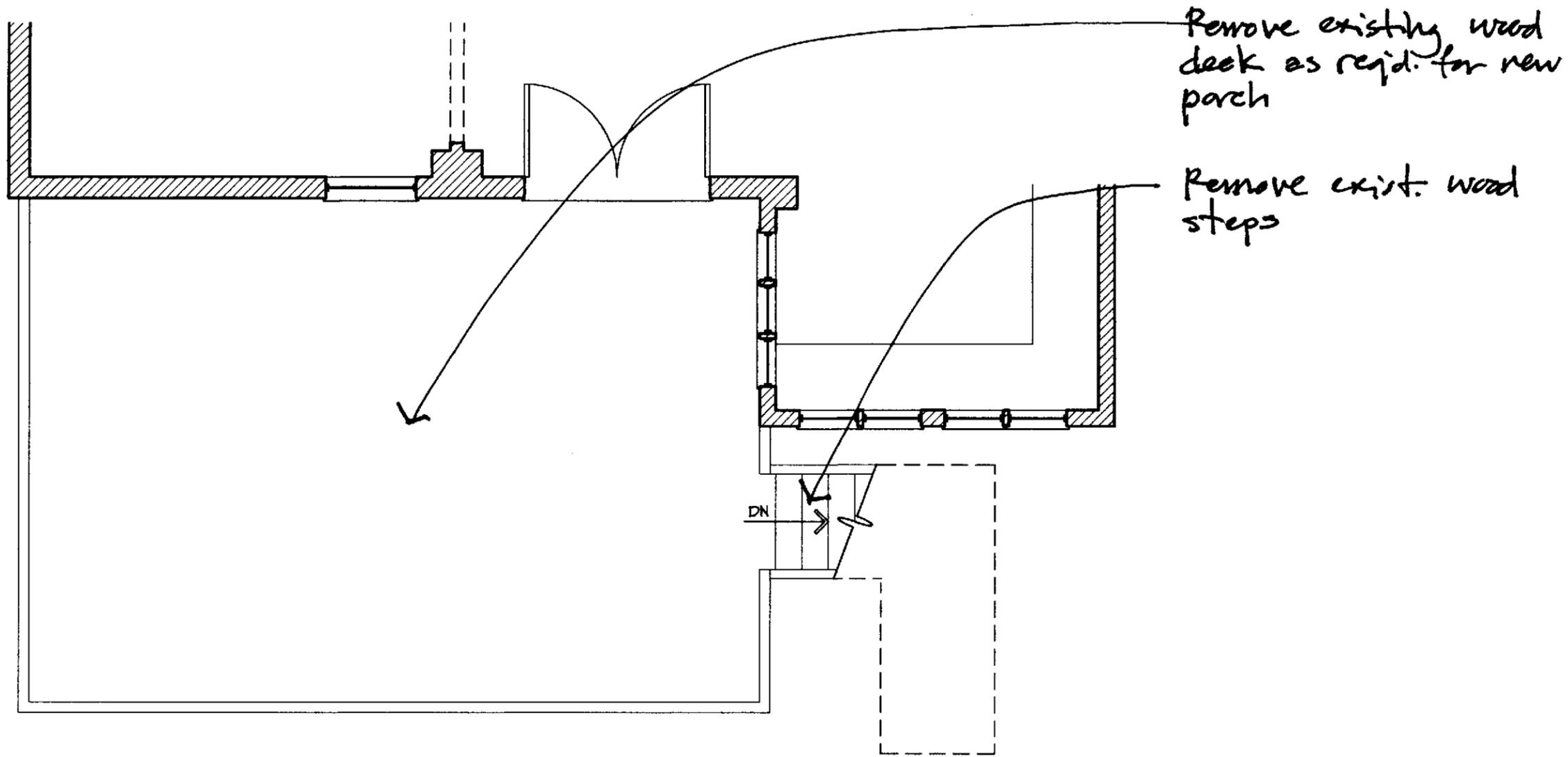
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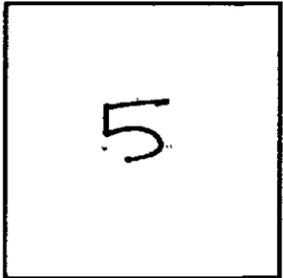
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First Floor Plan - EXISTING

1/4" = 1'-0"

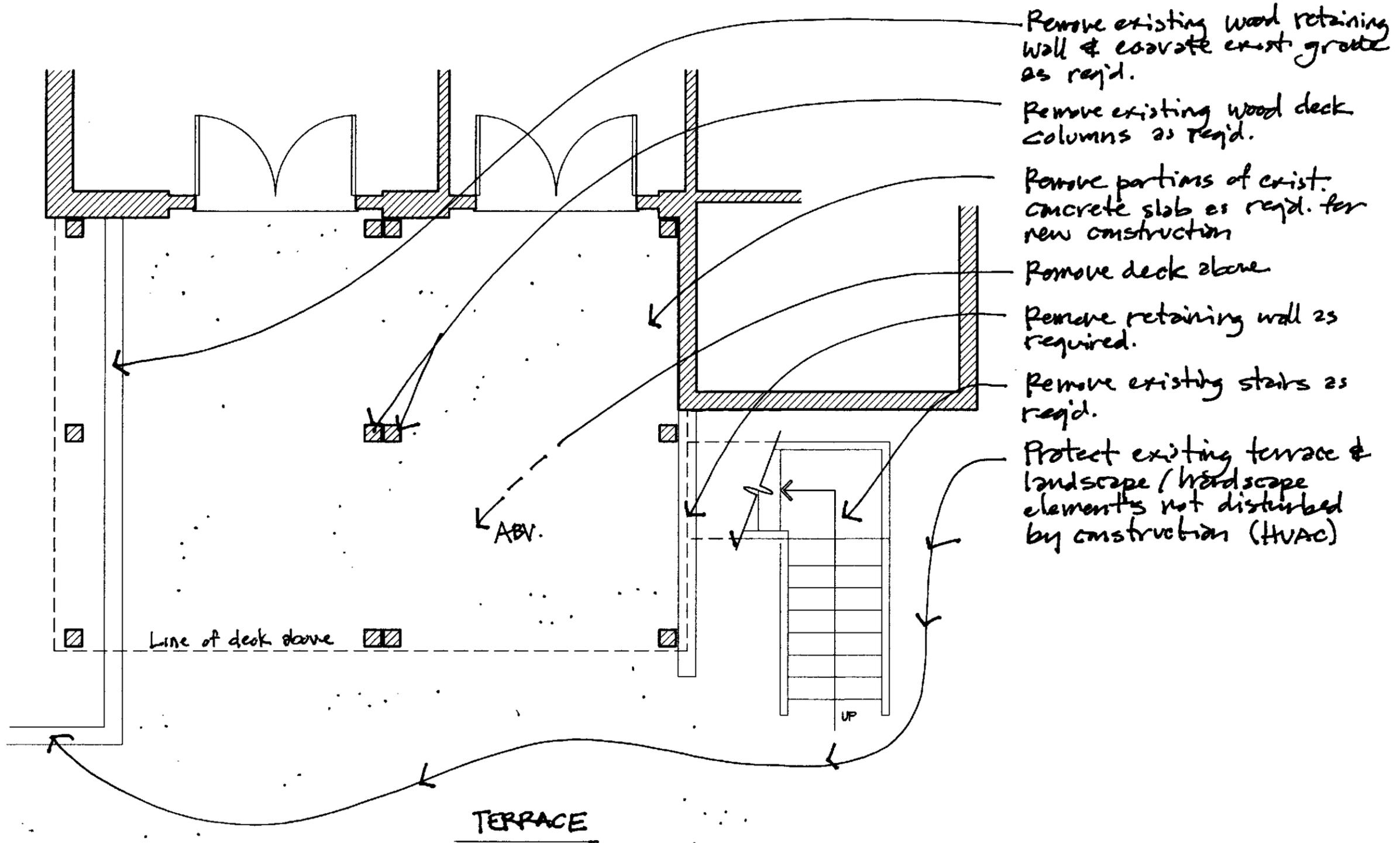
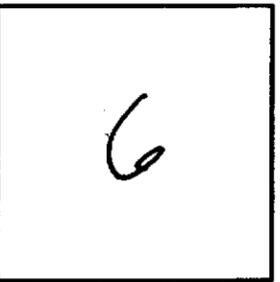




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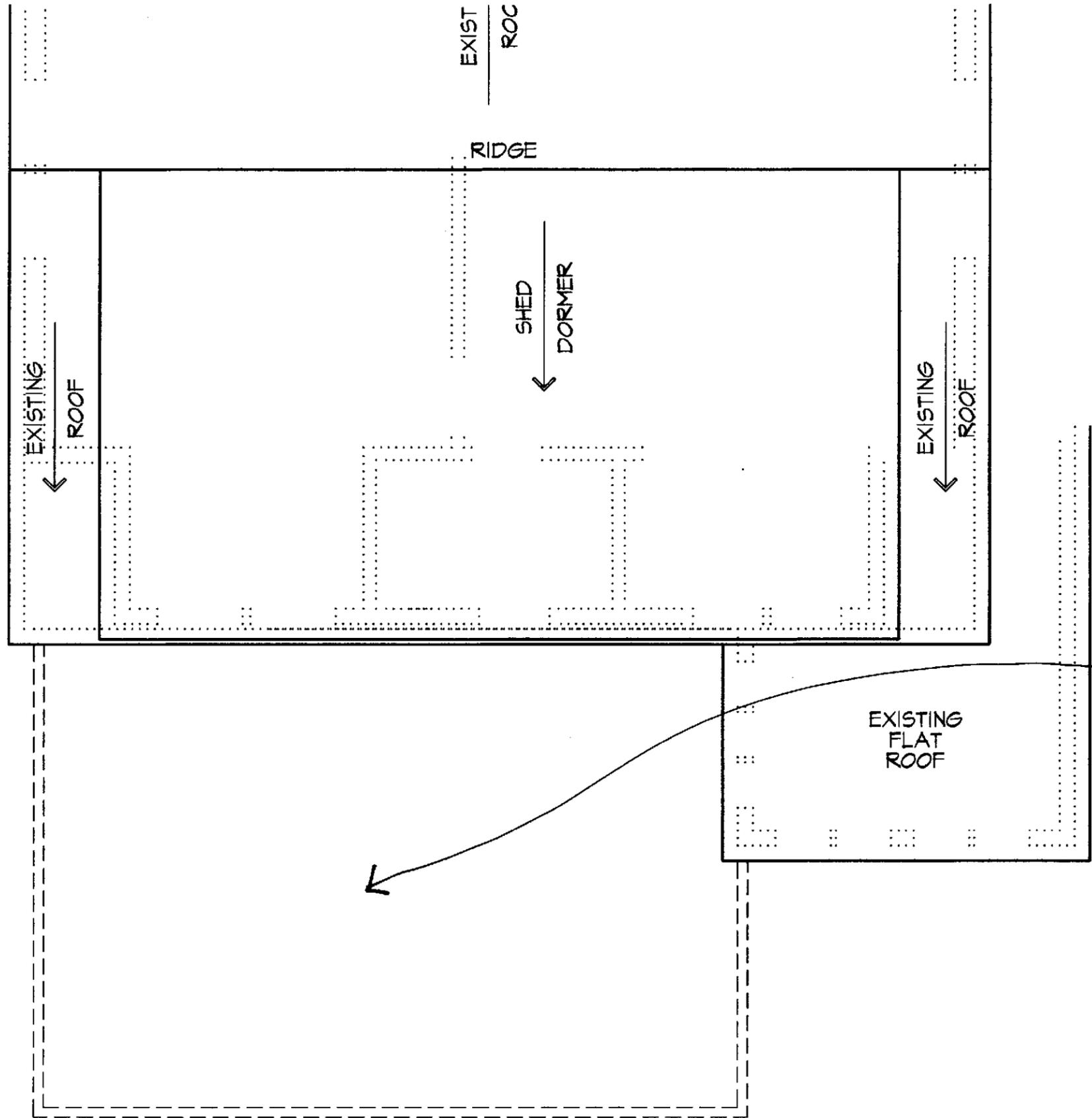
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Basement Floor Plan - EXISTING

1/4" = 1'-0"



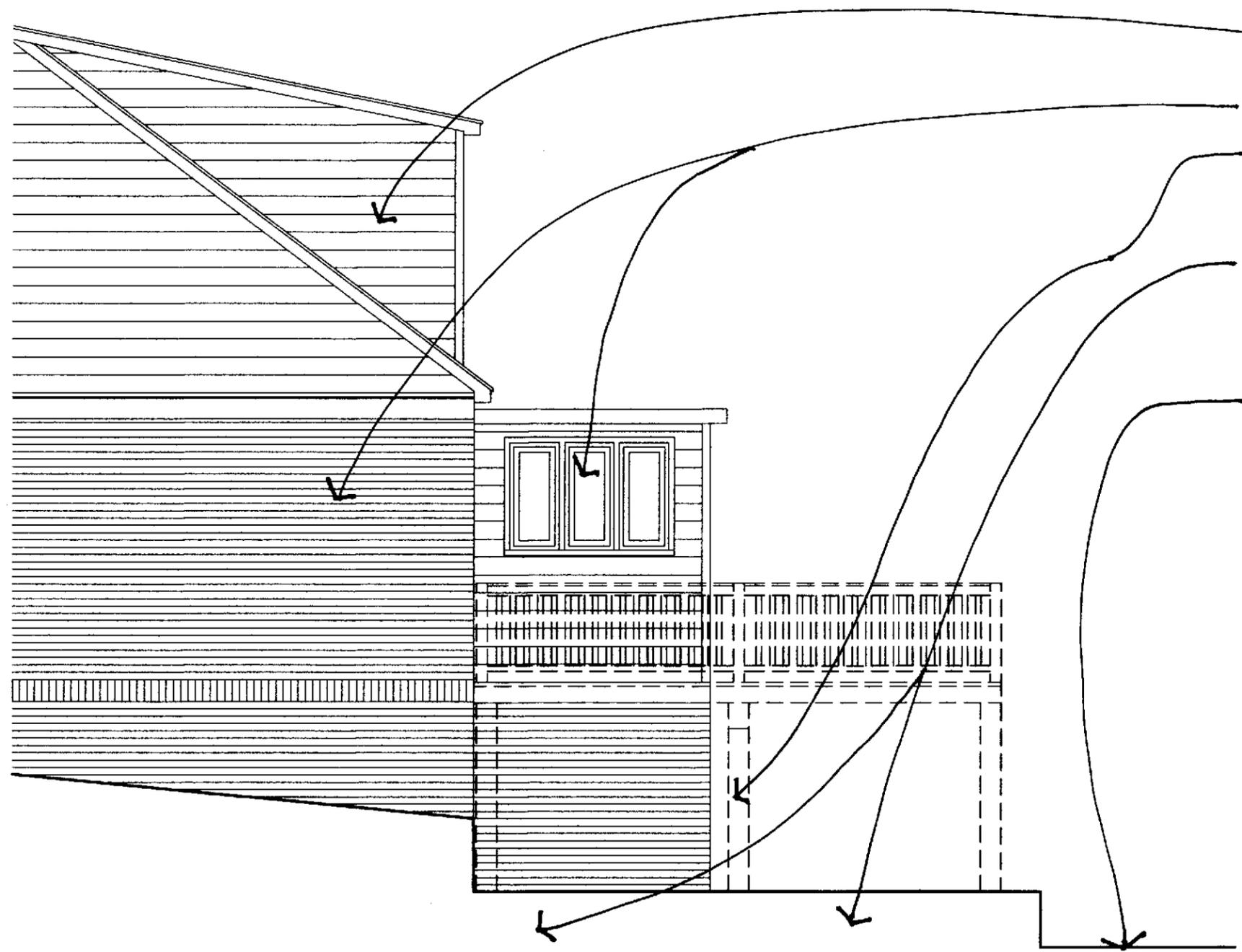
Roof Plan - EXISTING
 1/4" = 1'-0"



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- Existing dormer
- Existing house
- Remove existing wood deck/
rail/structure
- Remove existing retaining wall
& excavate as req'd. for new
construction
- Protect existing terrace during
construction & demolition

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Side Elevation - EXISTING
1/4" = 1'-0"

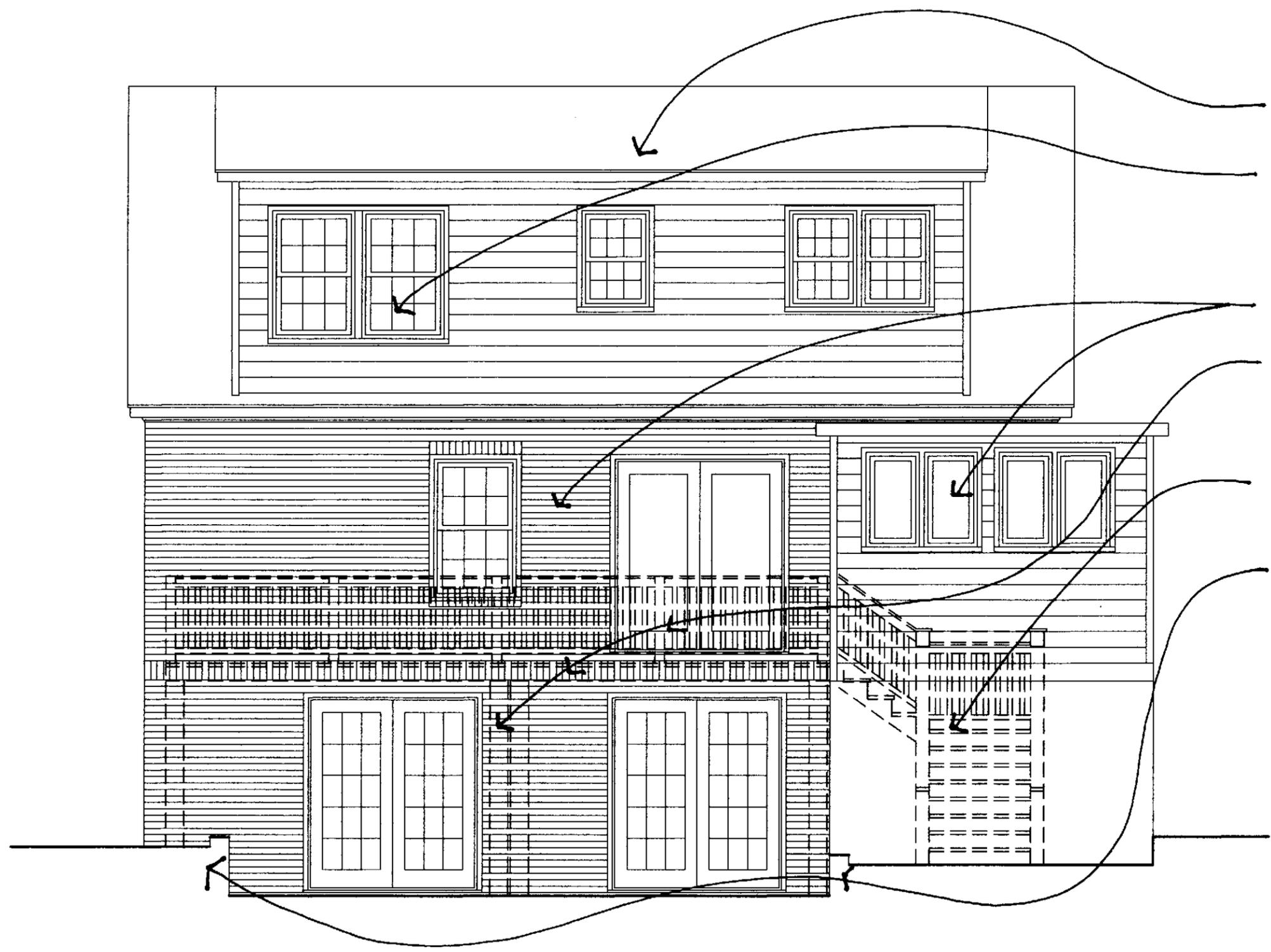




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Existing dormer

Remove existing twin double-hung windows as req'd. for new, smaller windows

Existing house

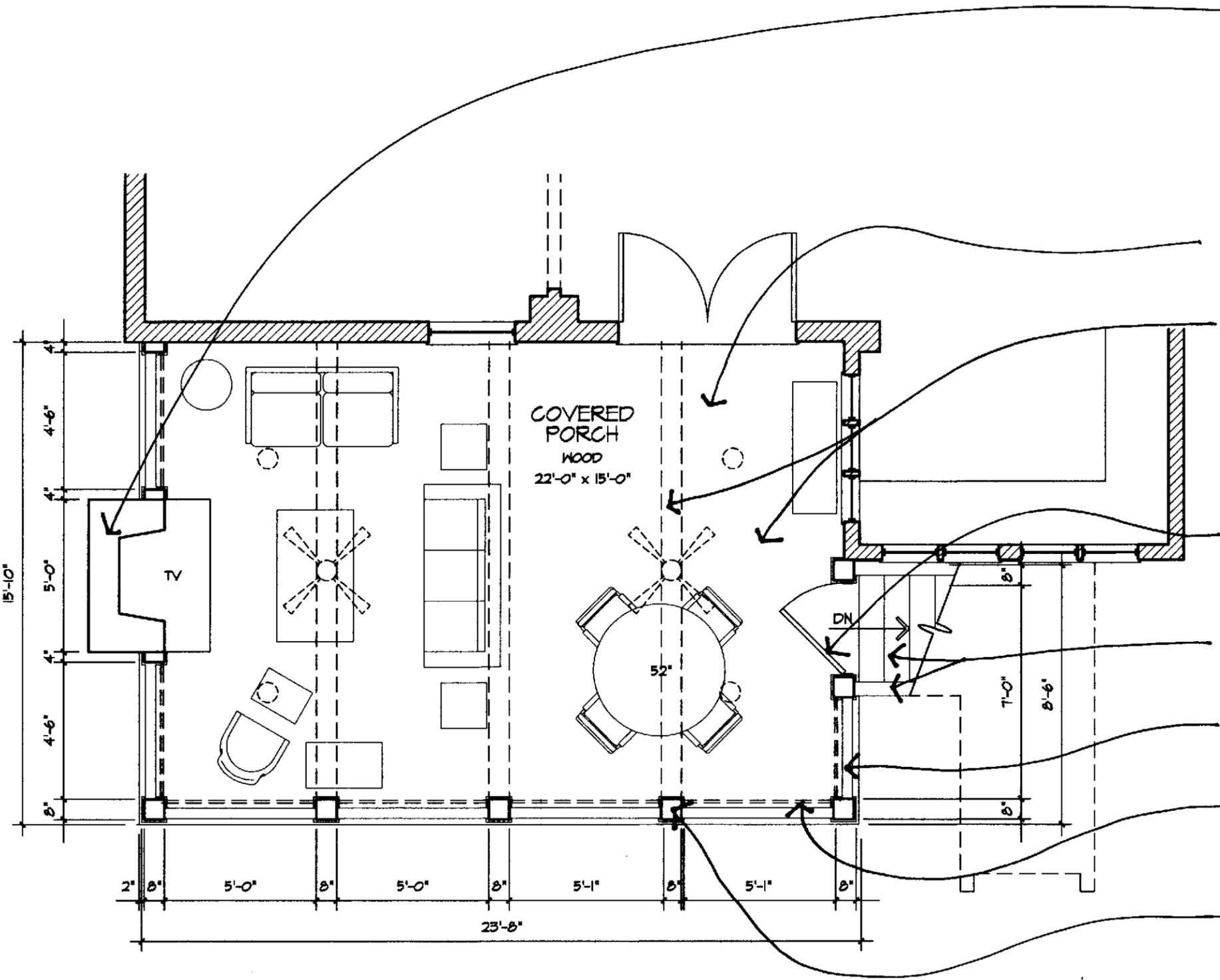
Remove existing deck as req'd. for new construction

Remove existing wood steps/rails

Remove existing retaining walls & excavate as req'd. for new construction

Rear Elevation - EXISTING

1/4" = 1'-0"



ALTERNATE: New full-masonry brick fireplace (wood burning) with stone hearth - G.C. to coord. A/V requirements (Gas starter)

New porch floor - t. & g. stained wood or stone.

Stained wood beams above w/ t. & g. painted ceiling (two weather-proof fans & w/p cans on rheostat) - sloped ceiling with cavity to accommodate R.36 insul.

New painted wood screened door w/ 2 panels for historic profile

Painted wood steps & railing as per code

Wood rail @ 36" with 2x2 ptd. wood pickets @ 5" o.c.

Line of screen - black, flexible insect screen w/ ptd. wood stops

Structural p.t. posts with painted wood column covers with historic base & cap trim to match front porch



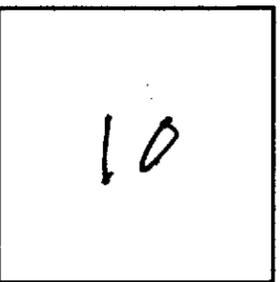
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First Floor Plan - NEW PORCH

1/4" = 1'-0"

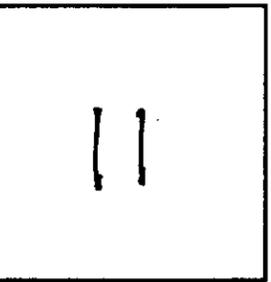




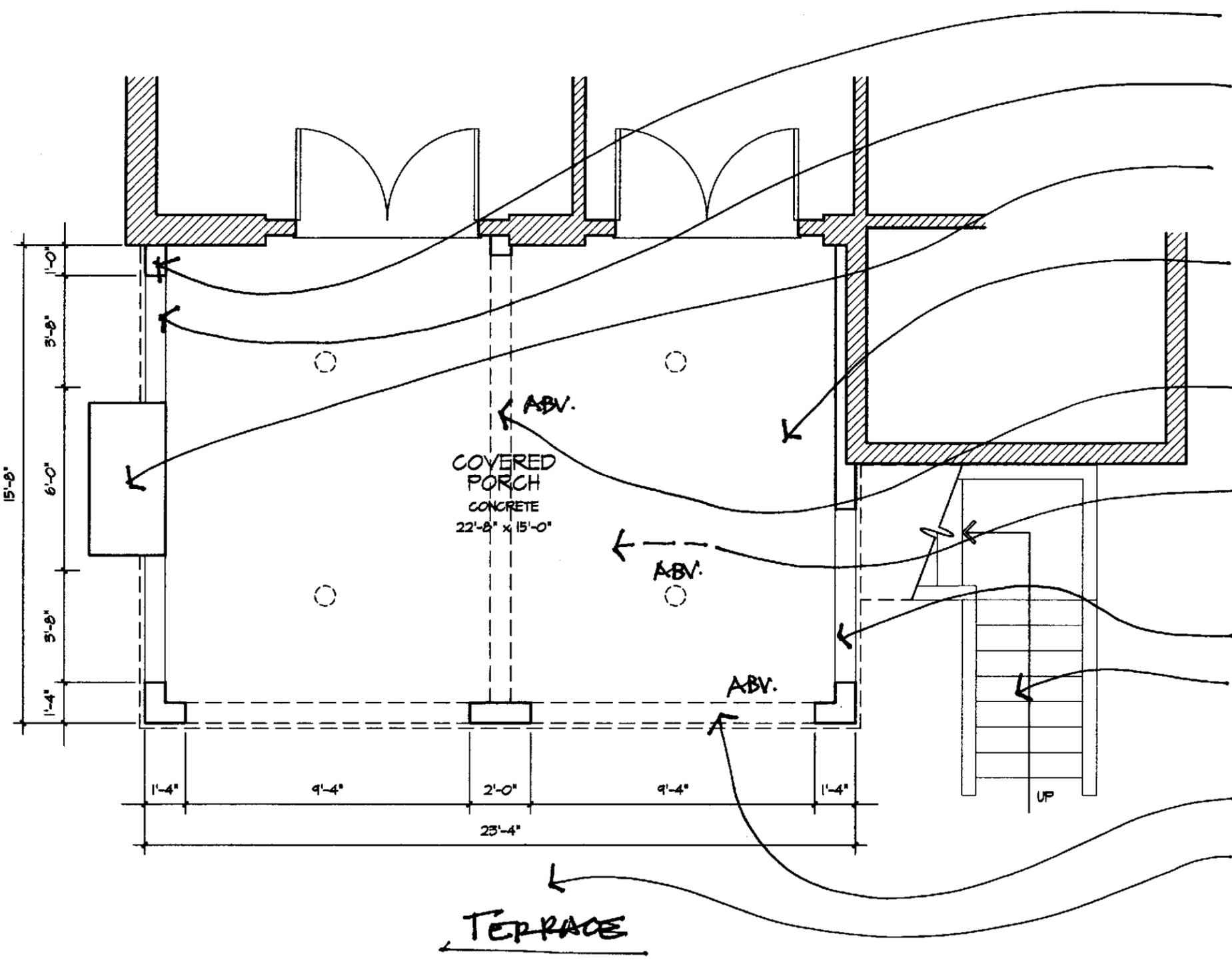
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- Brick retaining wall to match existing house
- Masonry opening (see elevations)
- Brick/masonry base of fireplace above.
- ALTERNATE.
- Patch existing concrete floor or new concrete floor @ basement level.
- Box out structural beam as req'd. with painted wood.
- T & G wood ceiling with recessed weather-proof cans on rhes studs. (painted or stained).
- New brick opening
- New wood stair by code (7 1/2" riser w/ 10" tread w/ 1" nosing) F.V.
- Brick arch above
- Protect existing terrace as req'd.



Basement Floor Plan - NEW PORCH

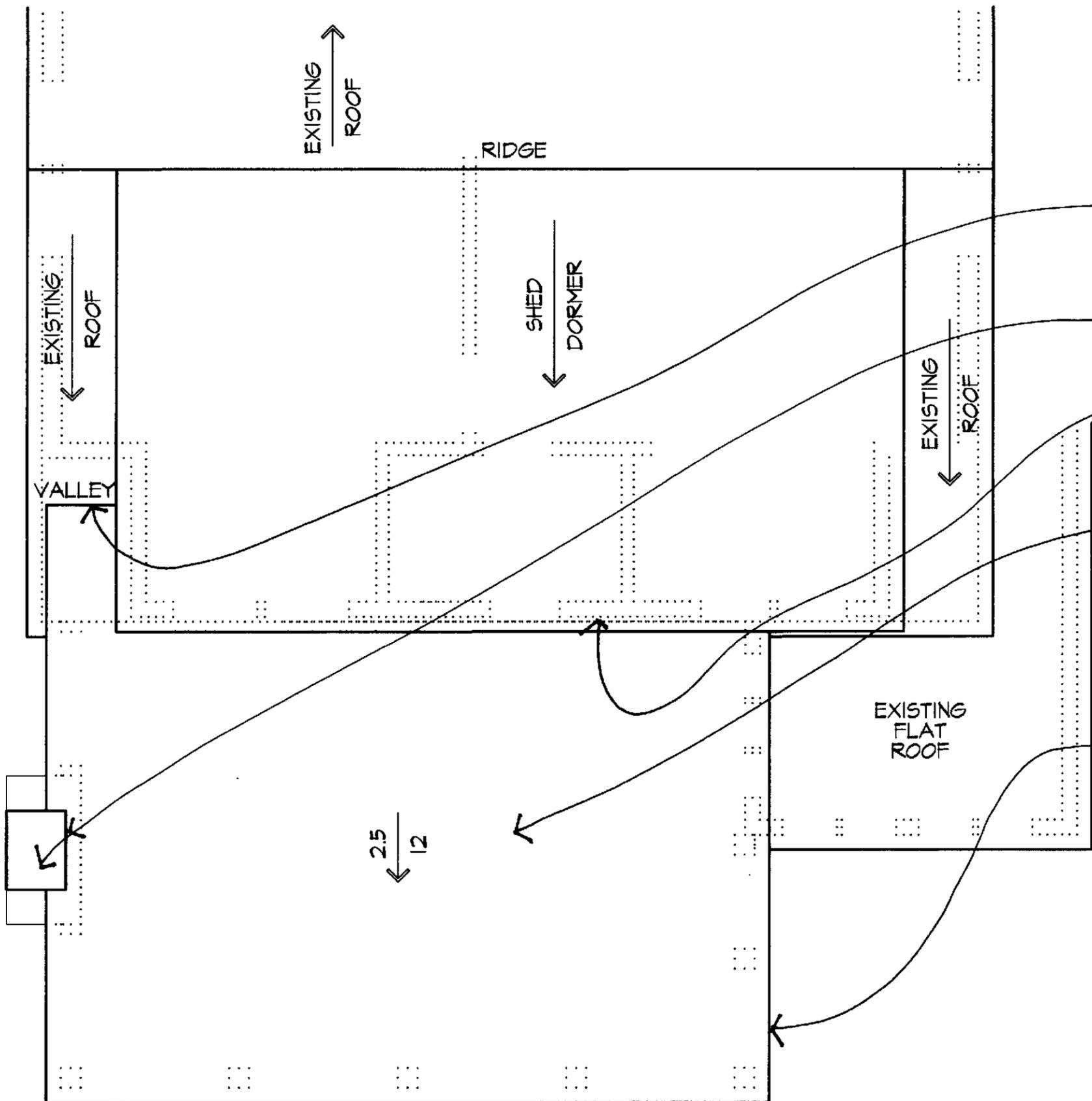
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New valley @ existing roof/
new roof connection w/ full
metal flashing

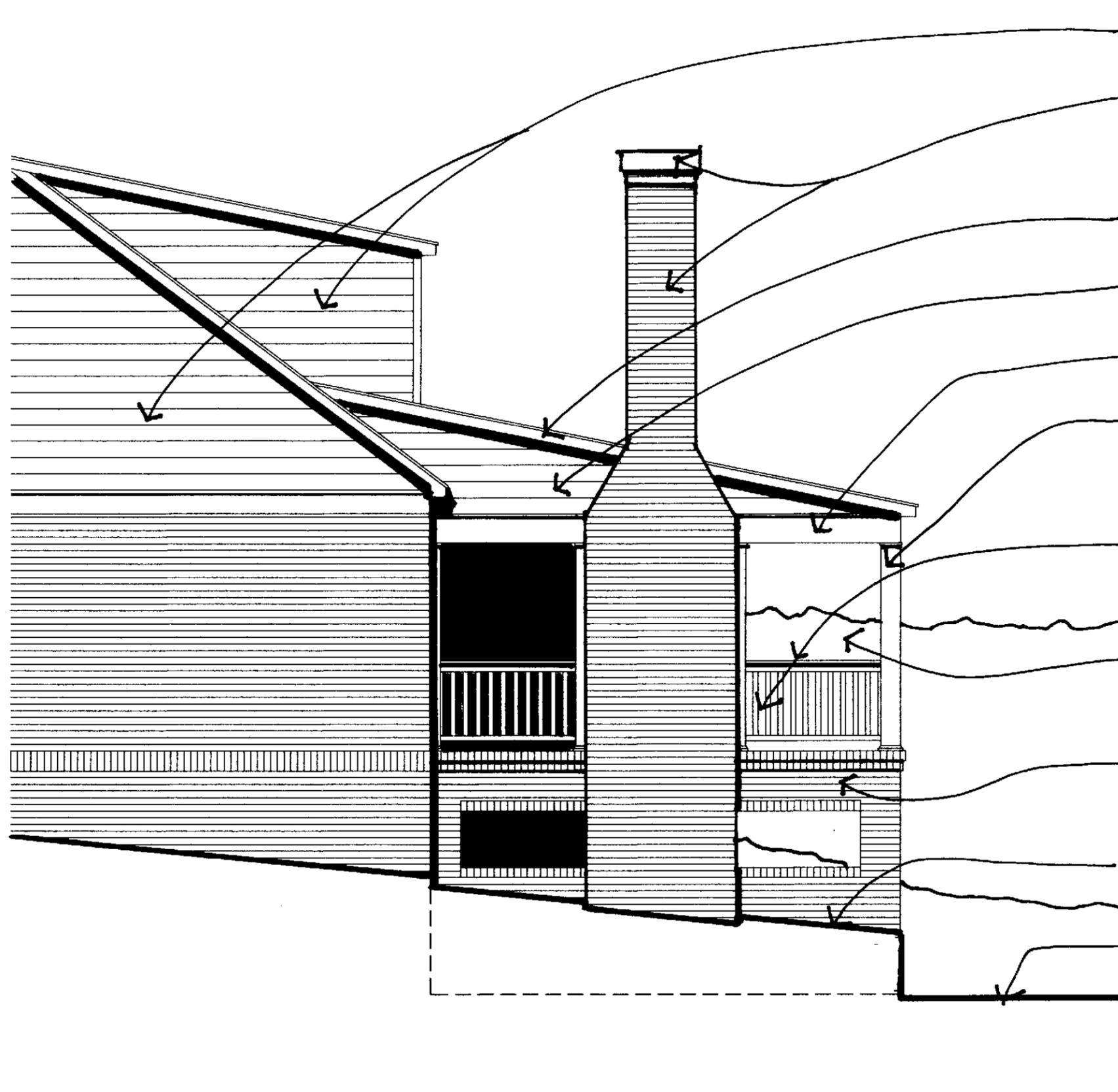
New chimney - cricket &
metal step-flashing as reqd.

Continuous non-corrosive
metal flashing @ roof/wall
connection (typ.)

New roof with shingles to
match existing house with
cont. weather & ice shield
under-layment (or ALTERNATE
standing seam metal roof to
be approved by charlotte
historic)

Painted wood fascia/eave/
soffit to match existing house
in dimension & detail.

Roof Plan - NEW PORCH
1/4" = 1'-0"



Existing barn/house

Brick chimney with rowlock & soldier course cap with 1" projections (ALTERNATE)

Painted wood soffit/fascia/eave to match existing house

Painted wood siding to match existing house

Painted wood beam cover w/ 8" height

P.t. wood posts with ptd. wood column covers - simple historic profile cap & base to match front porch

New wood guard-rail @ 36" A.F.F. (2x2 wood pickets with square edges @ 5" o.c.)

Flexible black insect screen w/ low-profile painted wood stops.

Brick foundation/retaining wall with brick & mortar to match existing house

Field Verify final finish grade to slope away from house

Existing terrace to remain.



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Side Elevation - NEW PORCH

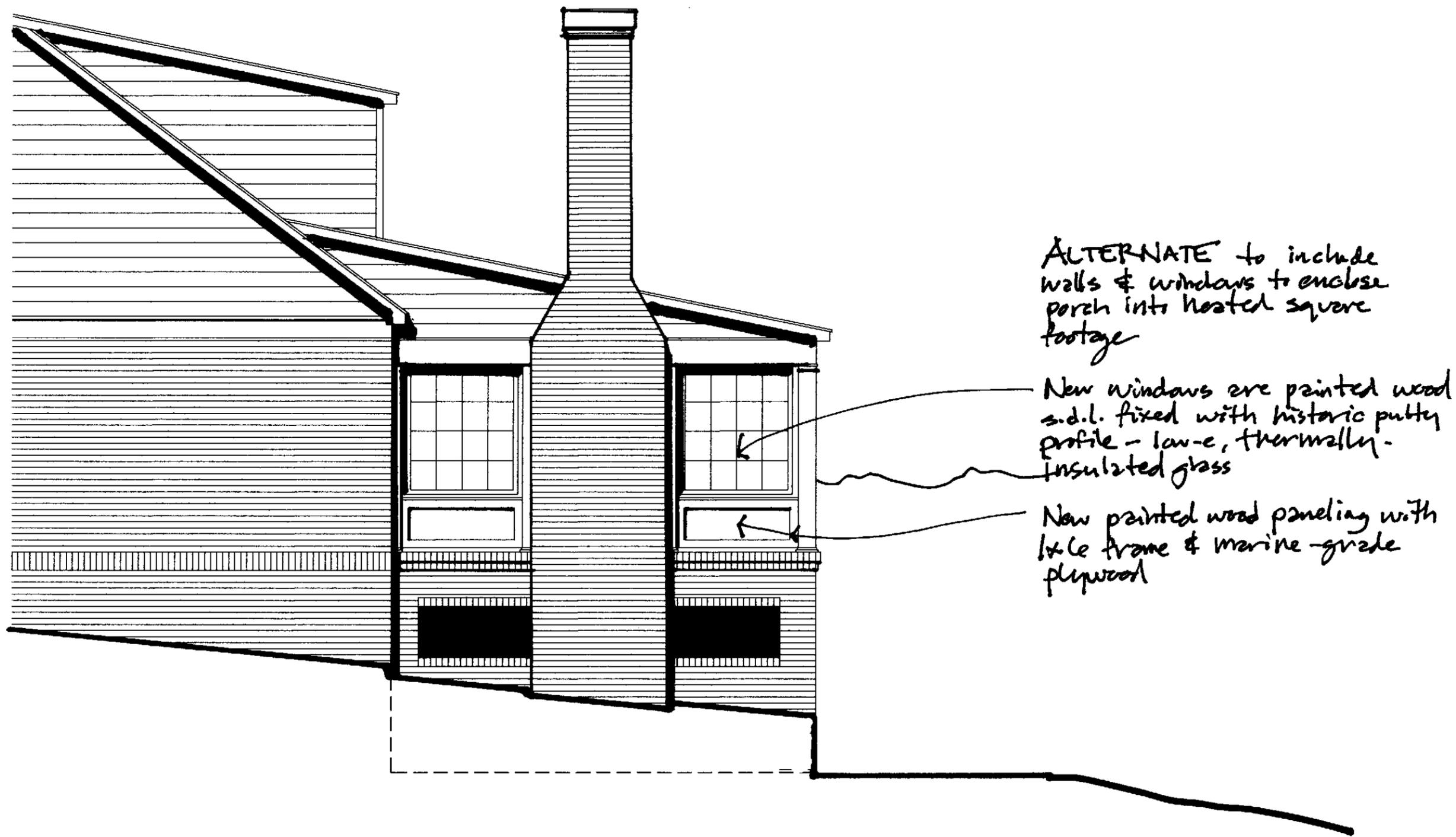
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Side Elevation - NEW PORCH (Alternate)
1/4" = 1'-0"



- New pair smaller d.h. windows to match exist. ~~size~~ size & trim. Painted wood s.d.l. - Patch siding as req'd.
- New roof to match exist. house - cont. non-corrosive metal flashing @ roof/wall connection
- Eave/soffit/fascia to match exist. house - (ptd. wood)
- Painted wood beam covers
- Painted wood column covers with simple cap & base with historic profile
- New painted wood rail @ 36" AFF w/ 2x2 ptd. wood pickets @ 5" o.c.
- New painted wood stair & rail as per code
- New brick base wall for foundation & retaining - brick, mortar, & mortar joint to match existing house
- Flat brick arch w/ rowlock edge. (cont.)
- ALTERNATE: Full-masonry brick wood-burning fireplace to match existing house

Rear Elevation - NEW PORCH
 1/4" = 1'-0"



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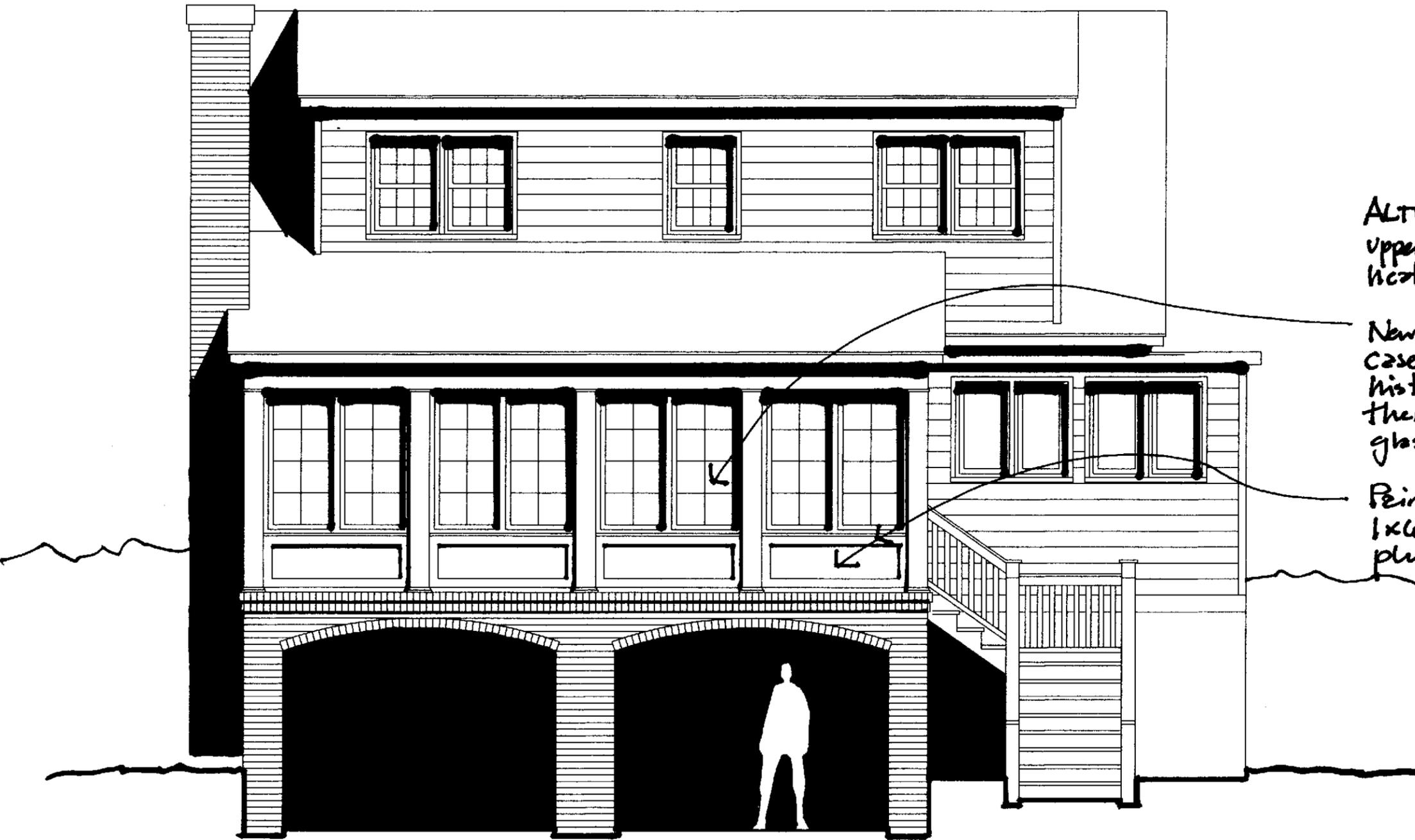
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ALTERNATE: Enclose upper porch to create heated square footage.

New painted wood s.d.l. casement windows w/ historic pecky bars. Low-E thermally-insulated glass.

Painted wood paneling w/ 1x6 frame & marine-grade plywood

Rear Elevation - NEW PORCH (Alternate)

1/4" = 1'-0"