
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1936 Park Road

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: Debra Glennon

Details of Proposed Request

Existing Conditions

The existing structure is a 2-story Victorian constructed in 1905. It was converted to a multi-family use many years ago and remains so today. Architectural details include a shed porch on square posts and scalloped frieze boards. It also has polygonal bay windows on the front. Adjacent structures are 1 and 1.5 story single family buildings. A porch addition was approved in December 2013 (2013-186) and reaffirmed as part of the May 11, 2016 approval.

Proposal

The project is the repair of the side entrance, replacement of a gable roof with a flat roof on the left side toward the rear and a front porch addition. The hand rail on the new side roof deck will match existing hand rails. Other features include new entry doors, repair or replacement of stairs and siding on the first floor. On the second floor a new shed roof replaces a gable dormer with new windows and doors. A French door is proposed to replace a window on the rear elevation. On the right elevation a second story window is replaced with two smaller windows.

The project was approved as drawn by the HDC May 11, 2016. There have been no changes to the project scope. The COA has expired and the applicant is requesting the HDC reaffirm its previous decision.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

Staff Recommendation

1. The project is not incongruous with the district and meets guidelines for Additions, page 7.2
2. Staff Recommends full approval for meeting all the Guidelines, per 10.4.1 of the Rules for Procedure.
3. If requested by a Commission member, or if an interested party has signed up to speak in opposition, then the HDC shall open the application for a full hearing.



HDC-2019-00261

PID: 12108705

LOCAL HISTORIC DISTRICT: DILWORTH
PROPOSED PROJECT: CONSENT AGENDA

June Meeting 2019





CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2016-072

DATE: May 12, 2016

ADDRESS OF PROPERTY: 1936 Park Road

TAX PARCEL NUMBER: 12108705

HISTORIC DISTRICT: Dilworth

OWNER(S): Debra and Kerry Glennon

DETAILS OF APPROVED PROJECT: The project is the repair of the side entrance, replacement of a gable roof with a flat roof on the left side toward the rear and a front porch addition. The hand rail on the new side roof deck will match existing hand rails. Other features include new entry doors, repair or replacement of stairs and siding on the first floor. On the second floor a new shed roof replaces a gable dormer with new windows and doors. A French door is proposed to replace a window on the rear elevation. On the right elevation a second story window is replaced with two smaller windows.

The project was approved by the HDC May 11, 2016.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman

Staff

DATES:

- Existing
- Schematics (front porch)
11 Nov 2013
- HDC (front porch)
22 Nov 2013
02 Dec 2013
- Progress Drawings (front porch)
28 Mar 2014
14 Apr 2014
- Progress Drawings (rear porch)
25 Apr 2014
20 May 2014
16 Mar 2016
24 Mar 2016
- HDC
21 Apr 2016
- Final Pricing
- Revisions

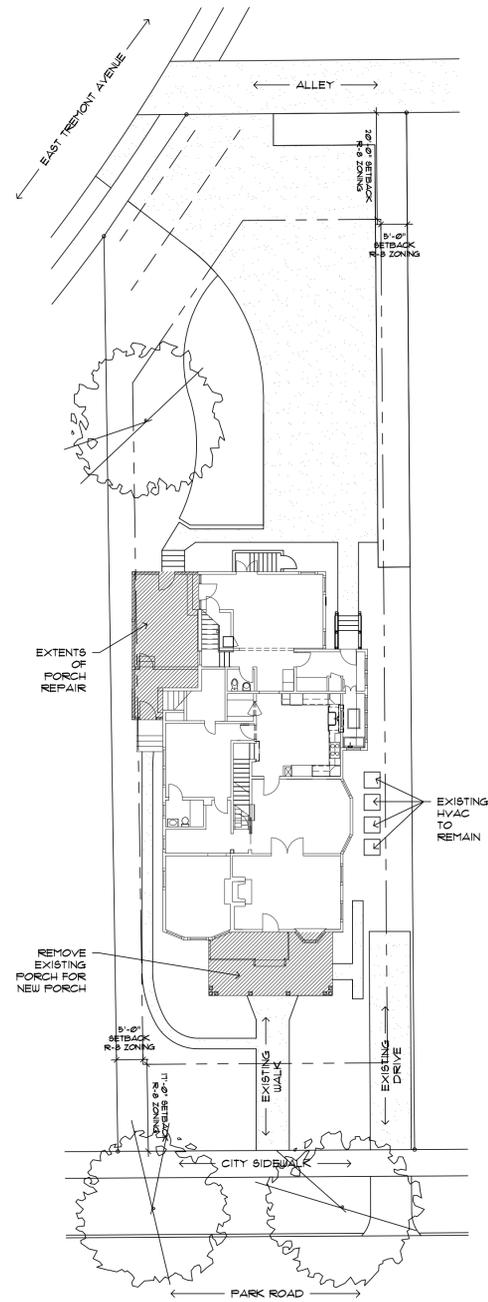
COPYRIGHT STUDIO H 2015
 ALL RIGHTS RESERVED



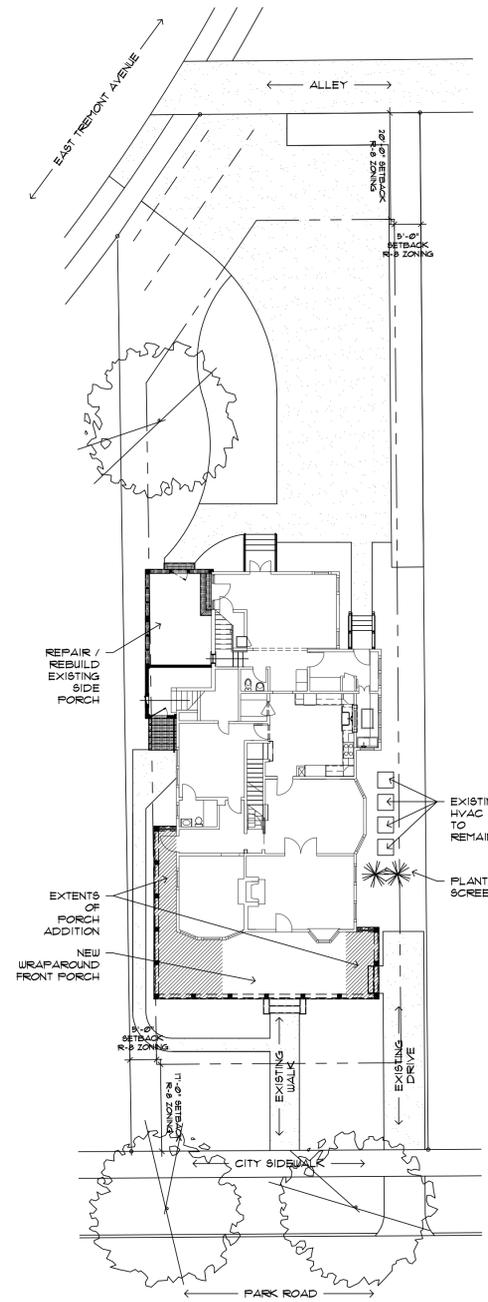
jessica hindman
 720 e tremont ave
 charlotte, nc 28203
 704-995-3605
 studioh-design.com

SITE PLAN

A0.3



2 EXISTING SITE PLAN
 A03 SCALE: 1/16"=1'-0"



1 PROPOSED SITE PLAN
 A03 SCALE: 1/16"=1'-0"

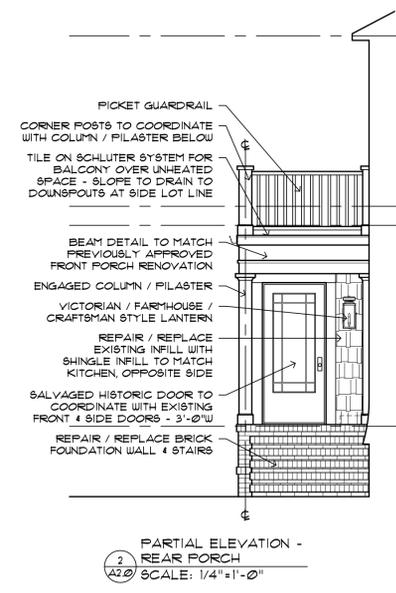
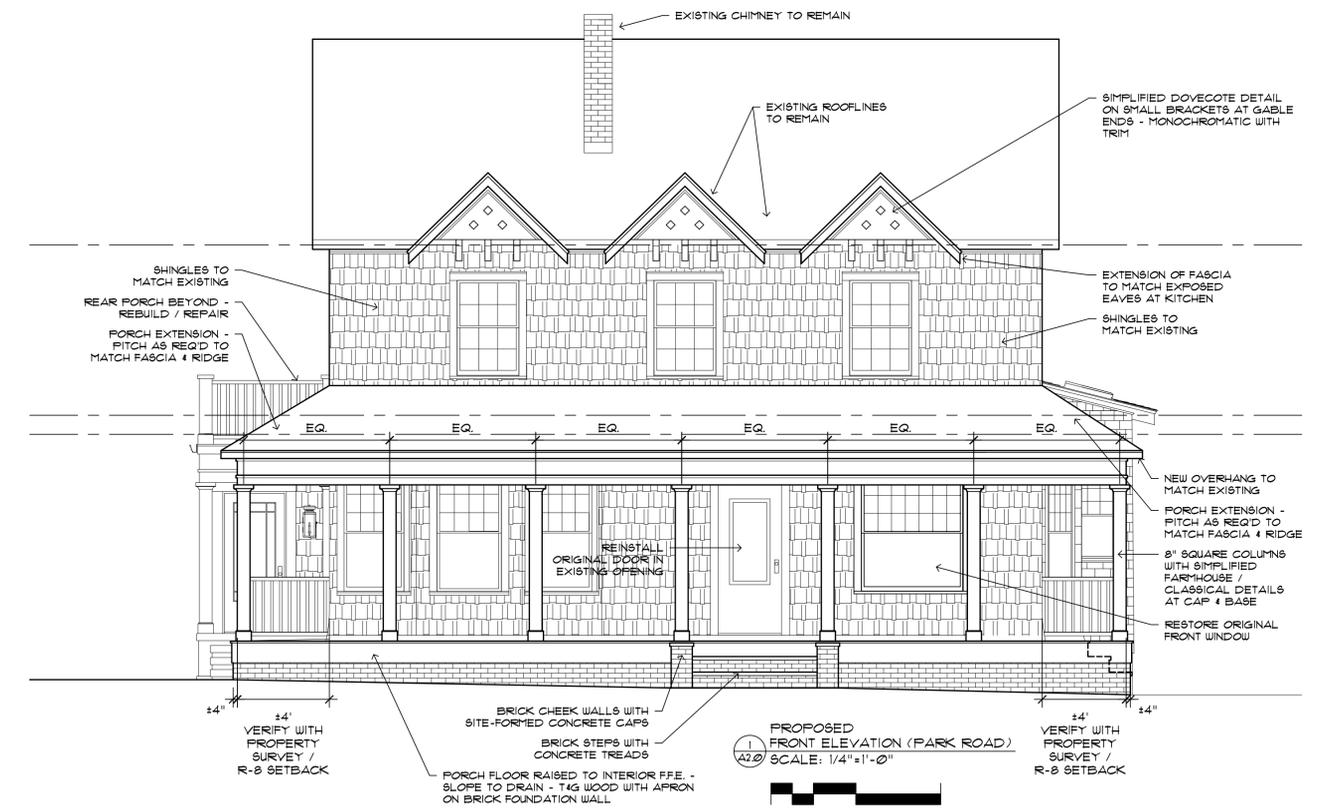


DATES:

Existing
11 Nov 2013
Schematics (front porch)
11 Nov 2013
HDC (front porch)
22 Nov 2013
02 Dec 2013
Progress Drawings (front porch)
28 Mar 2014
14 Apr 2014
Progress Drawings (rear porch)
25 Apr 2014
20 May 2014
16 Mar 2016
24 Mar 2016
HDC
21 Apr 2016
Final Pricing
Revisions

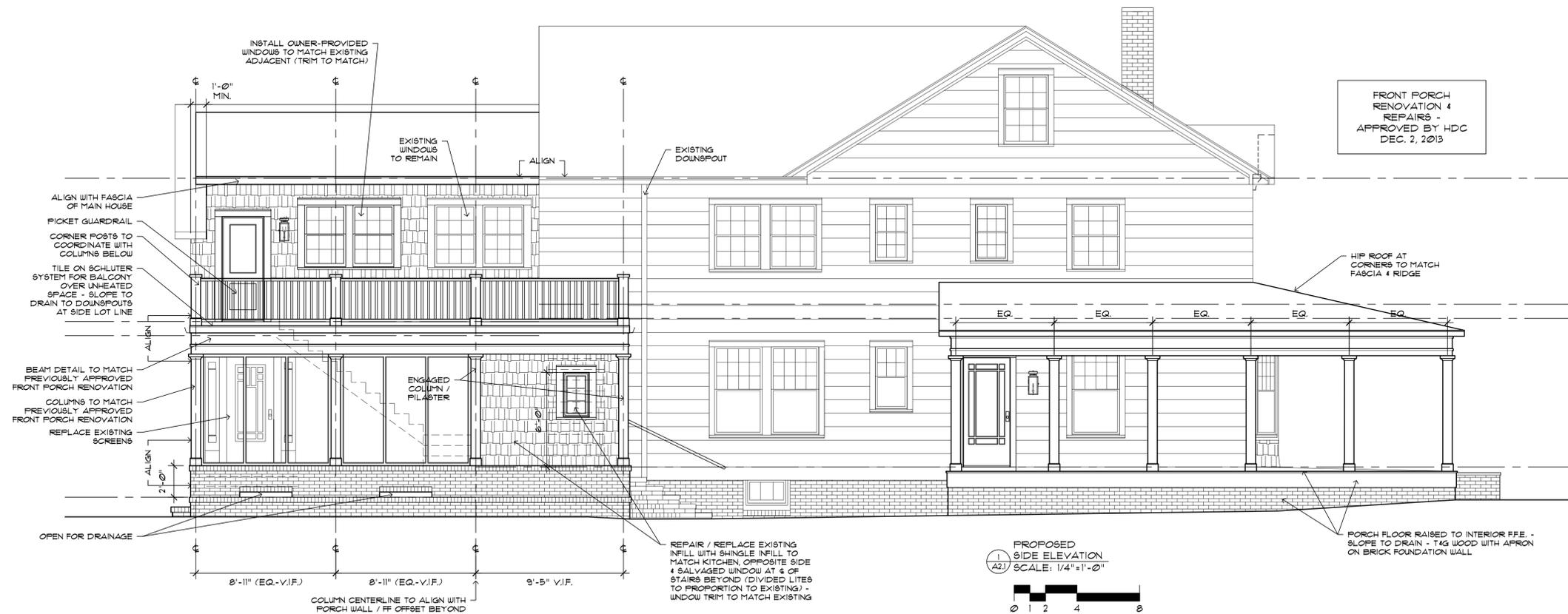


FRONT PORCH RENOVATION & REPAIRS - APPROVED BY HDC DEC. 2, 2013



DATES:

Existing
-
Schematics (front porch)
11 Nov 2013
HDC (front porch)
22 Nov 2013
02 Dec 2013
Progress Drawings
(front porch)
28 Mar 2014
14 Apr 2014
Progress Drawings
(rear porch)
25 Apr 2014
20 May 2014
16 Mar 2016
24 Mar 2016
HDC
21 Apr 2016
Final Pricing
-
Revisions
-



COPYRIGHT STUDIO H 2015
ALL RIGHTS RESERVED

studio
home
design

jessica hindman
720 e tremont ave
charlotte, nc 28203
704-995-3605
studioh-design.com

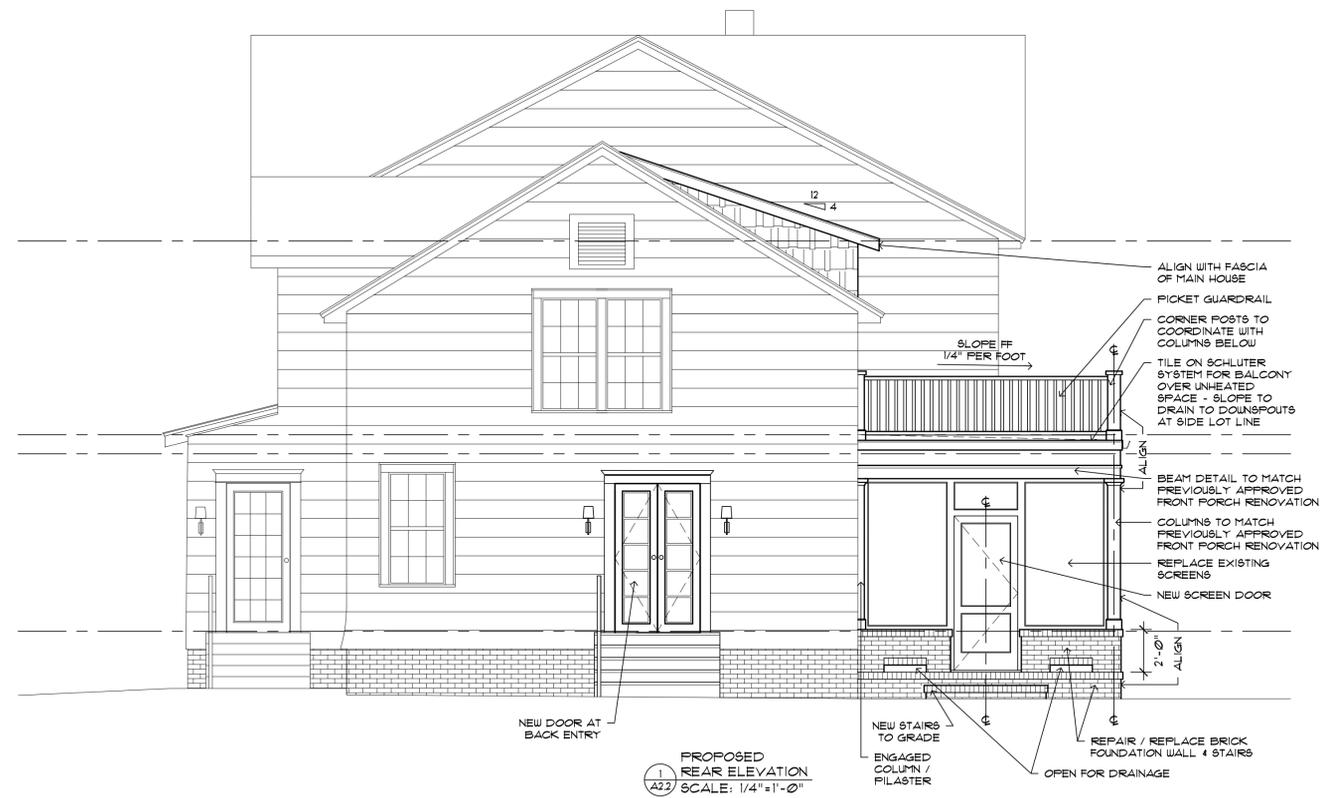
ELEVATIONS

LEFT
(SOUTH)

A2.1

DATES:

Existing
 -
 Schematics (front porch)
 11 Nov 2013
 HDC (front porch)
 22 Nov 2013
 02 Dec 2013
 Progress Drawings
 (front porch)
 28 Mar 2014
 14 Apr 2014
 Progress Drawings
 (rear porch)
 25 Apr 2014
 20 May 2014
 16 Mar 2016
 24 Mar 2016
 HDC
 21 Apr 2016
 Final Pricing
 -
 Revisions
 -



DATES:

Existing
 -
 Schematics (front porch)
 11 Nov 2013
 HDC (front porch)
 22 Nov 2013
 02 Dec 2013
 Progress Drawings
 (front porch)
 28 Mar 2014
 14 Apr 2014
 Progress Drawings
 (rear porch)
 25 Apr 2014
 20 May 2014
 16 Mar 2016
 24 Mar 2016
 HDC
 21 Apr 2016
 Final Pricing
 -
 Revisions
 -



EXISTING
SIDE ELEVATION
SCALE: 1/4"=1'-0"



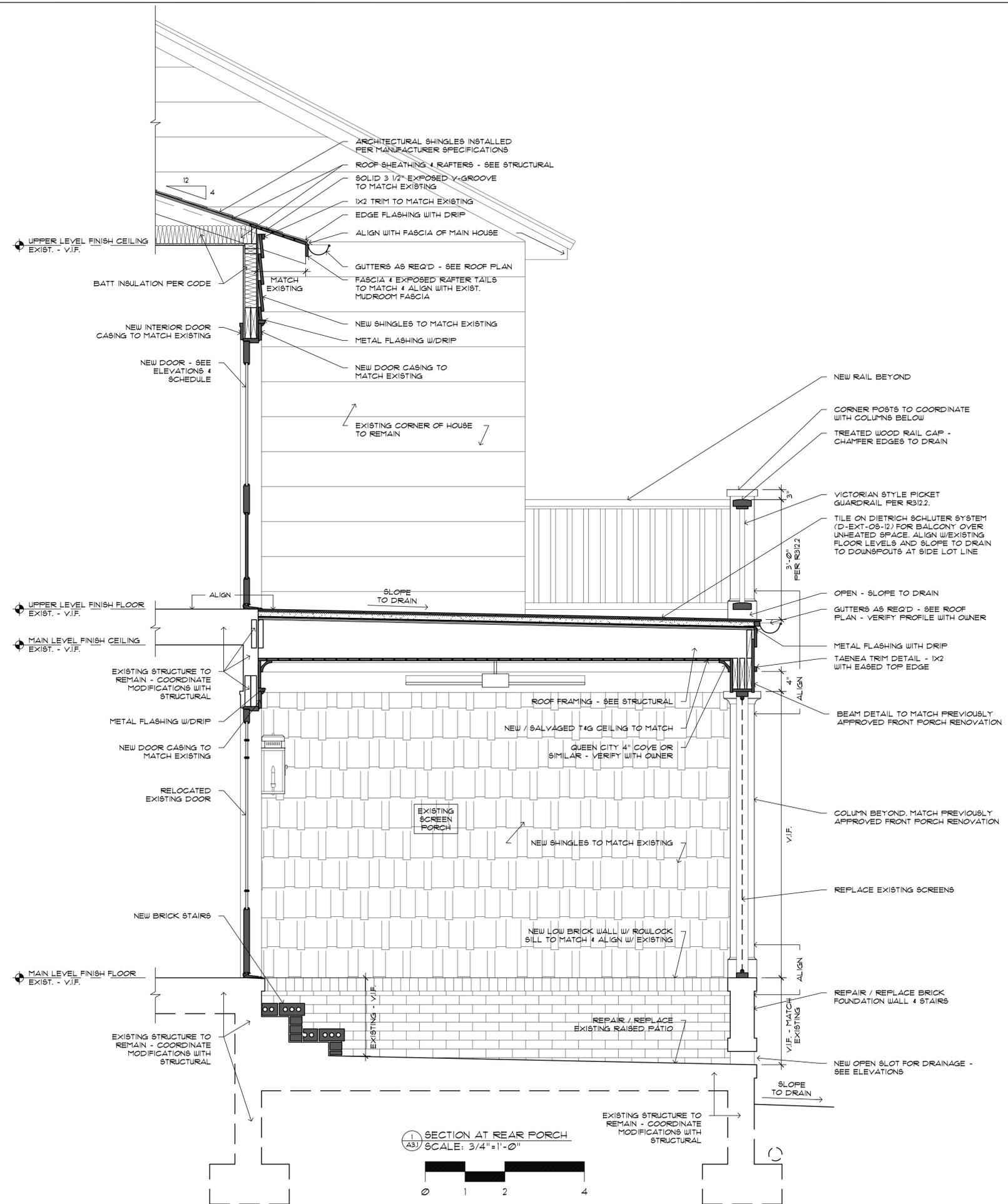
PORCH FLOOR RAISED TO INTERIOR F.F.E. -
SLOPE TO DRAIN - T&G WOOD WITH APRON
ON BRICK FOUNDATION WALL

PROPOSED
SIDE ELEVATION
SCALE: 1/4"=1'-0"



DATES:

Existing
 -
 Schematics (front porch)
 11 Nov 2013
 HDC (front porch)
 22 Nov 2013
 02 Dec 2013
 Progress Drawings
 (front porch)
 28 Mar 2014
 14 Apr 2014
 Progress Drawings
 (rear porch)
 25 Apr 2014
 20 May 2014
 16 Mar 2016
 24 Mar 2016
 HDC
 21 Apr 2016
 Final Pricing
 -
 Revisions
 -



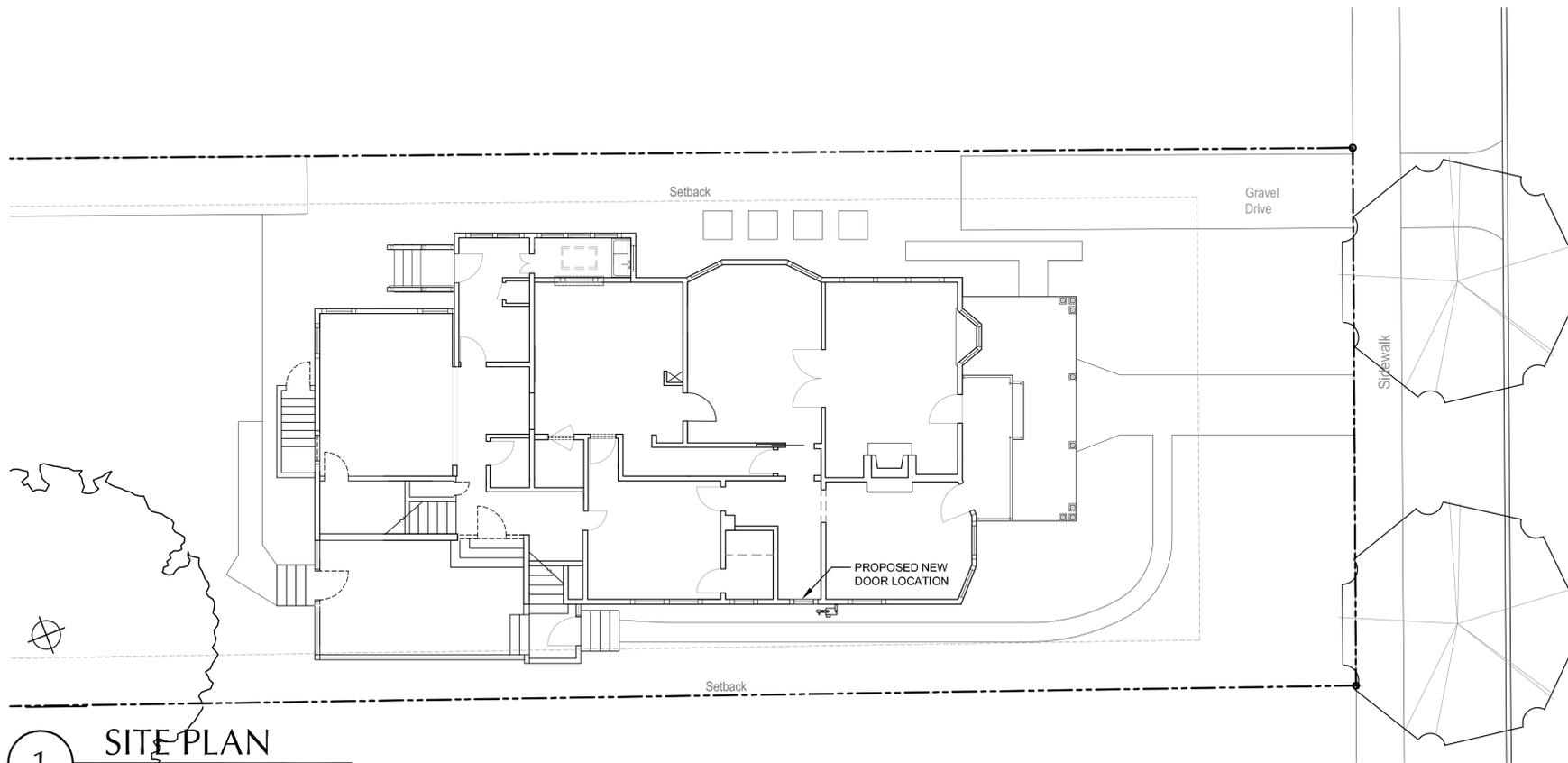
COPYRIGHT STUDIO H 2015
 ALL RIGHTS RESERVED

studio
H
 home
 design

jessica hindman
 720 e tremont ave
 charlotte, nc 28203
 704-995-3605
 studioh-design.com

REAR
 PORCH
 SECTION

A3.1



1 SITE PLAN
Scale: 1/8"=1'-0"



3 FRONT - SECTION THROUGH PORCH
Scale: 3/4"=1'-0"

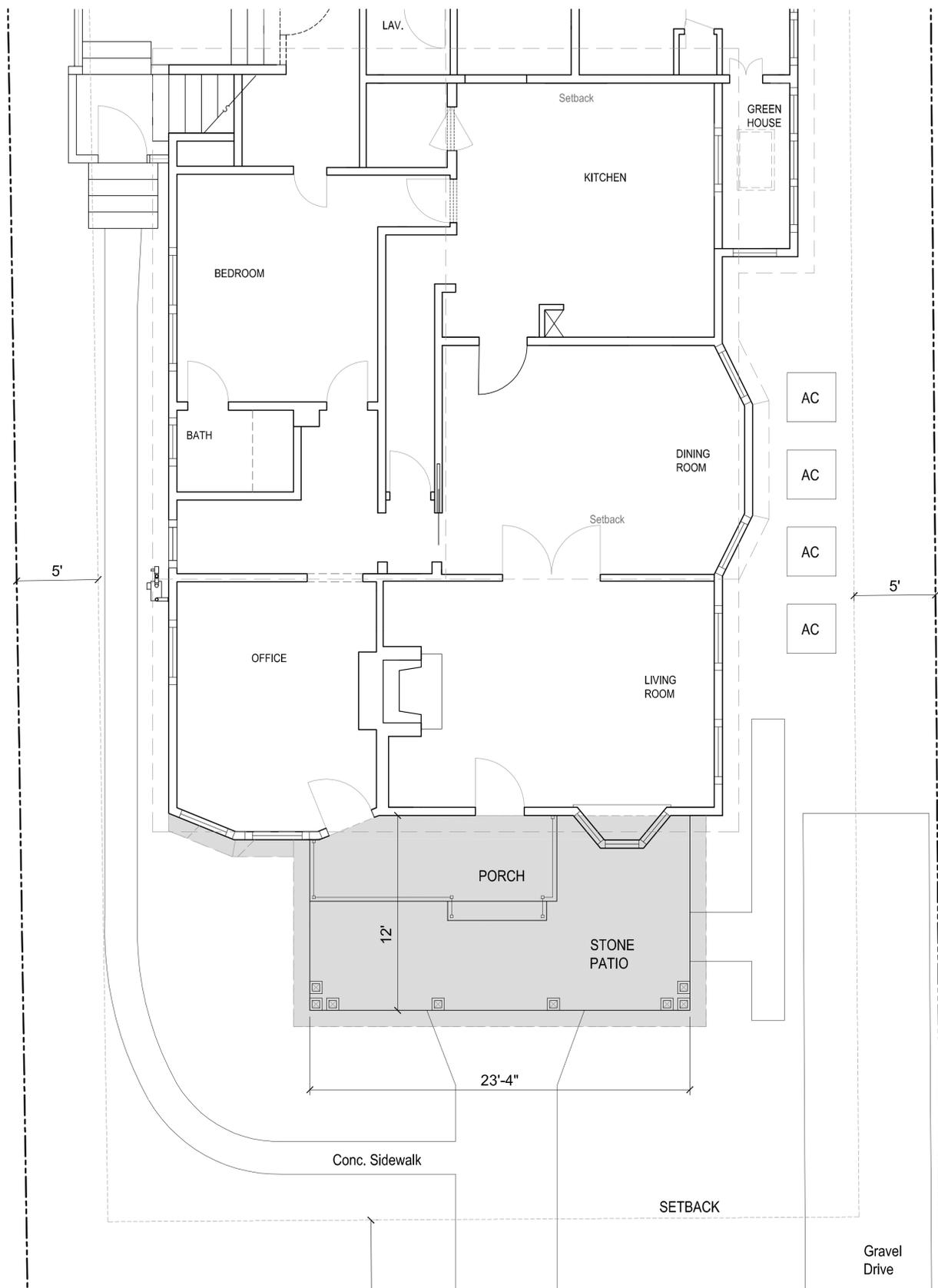


2 LEFT SIDE
Scale: 1/4"=1'-0"

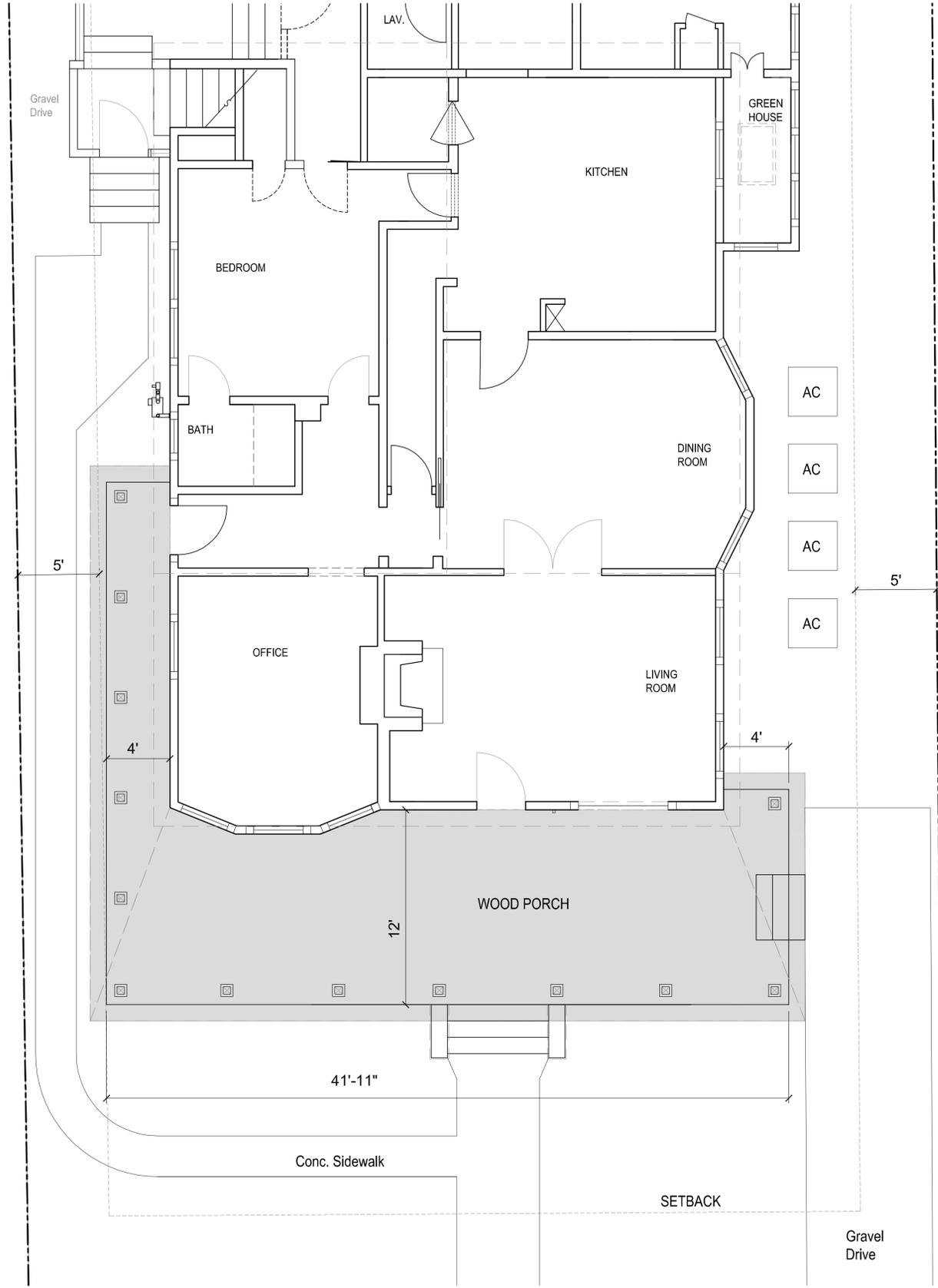


4 FRONT - WITH PORCH
Scale: 3/4"=1'-0"

EXISTING CONDITIONS



1 EXISTING PORCH
Scale: 1/4"=1'-0"



1 PROPOSED PORCH
Scale: 1/4"=1'-0"

GLENNON RESIDENCE

1936 Park Road
Charlotte, NC 28203

Porch Renovation

REVISIONS

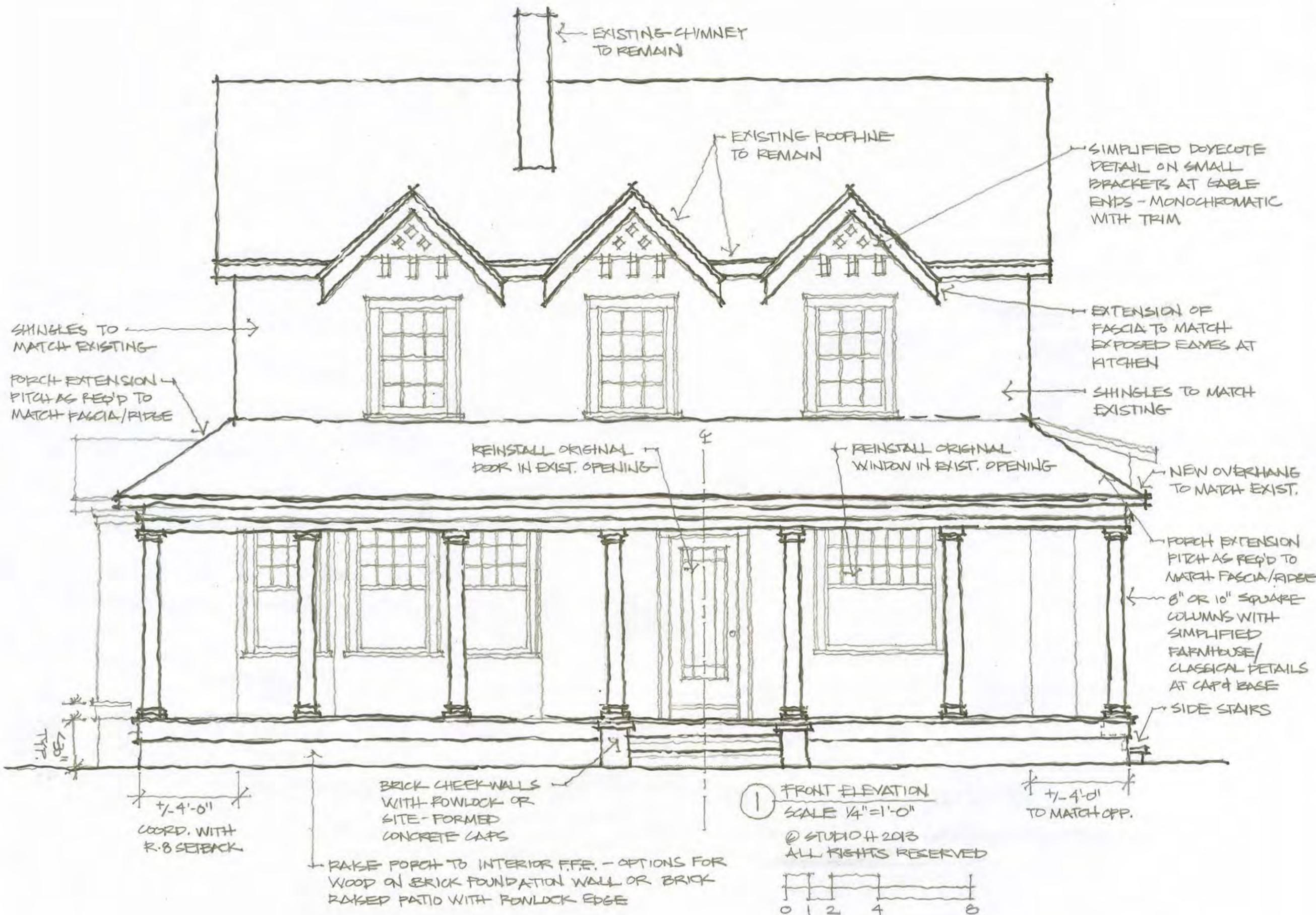
No.	Description	Date
2		
1		

Detail Site Plans

Project Number: 2010-01
 Scale:
 Drawn By: DLG
 Checked By: KPG
 Date: 2 Dec 2013
 Sheet No. **A2.0**

GLENNON
RENOVATION
1936 Park Road
Charlotte, NC
28203

DATES:
Existing -
Schematics 17 November 2013
HDC 22 November 2013
02 December 2013
Progress Drawings -
Final Pricing -
Revisions -



studio
H
home
design
jessica hindman
720 e tremont ave
charlotte, nc 28203
704-995-3605
studioh-design.com

FRONT
ELEVATION -
PARK RD

A1.0

1 FRONT ELEVATION
SCALE 1/4" = 1'-0"
© STUDIO H 2013
ALL RIGHTS RESERVED

+/- 4'-0"
COORD. WITH
R.B. SETBACK

BRICK CHEEK WALLS
WITH FOWLCK OR
SITE-FORMED
CONCRETE CAPS

RAISE PORCH TO INTERIOR F.F.E. - OPTIONS FOR
WOOD OR BRICK FOUNDATION WALL OR BRICK
RAISED PATIO WITH FOWLCK EDGE

+/- 4'-0"
TO MATCH OPP.

DATES:

Existing

Schematics
17 November 2013

HDC
22 November 2013
02 December 2013

Progress Drawings

Final Pricing

Revisions

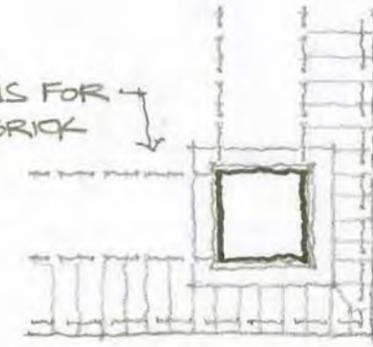
studio
H
home
design

jessica hindman
720 e tremont ave
charlotte, nc 28203
704-995-3605
studioh-design.com

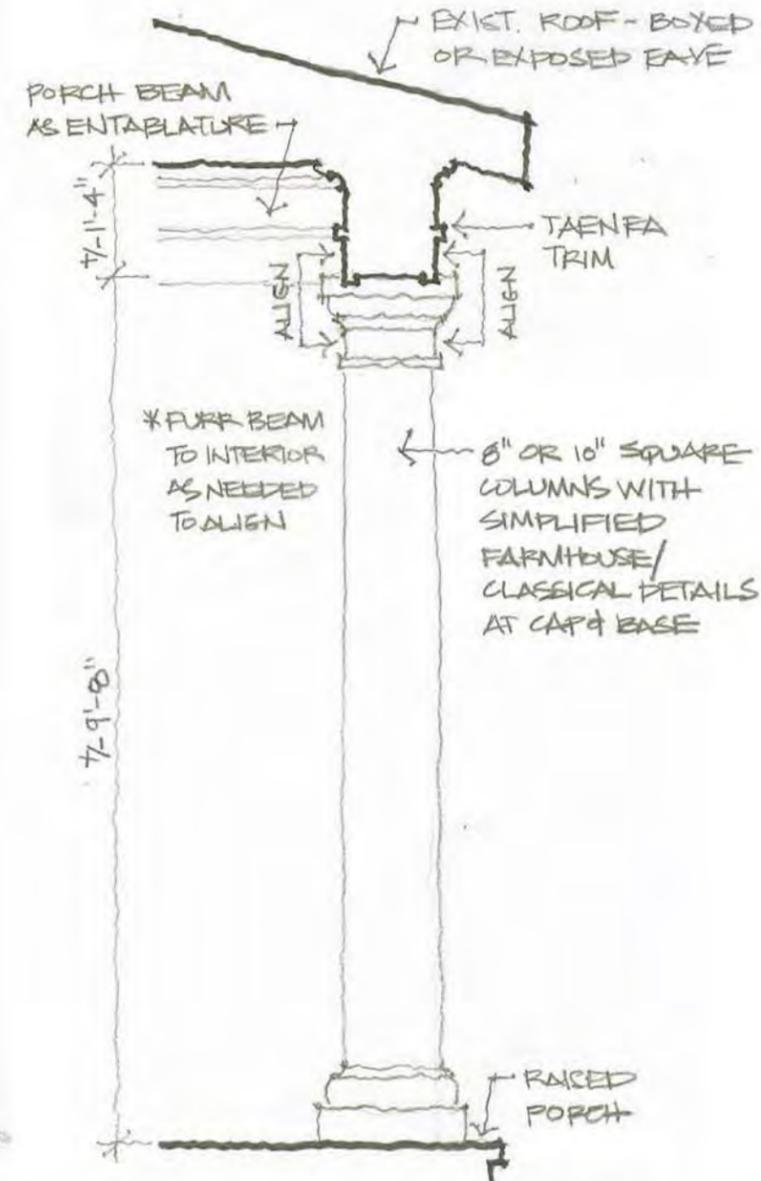
COLUMN
SECTION &
SIDE
ELEVATION

A1.1

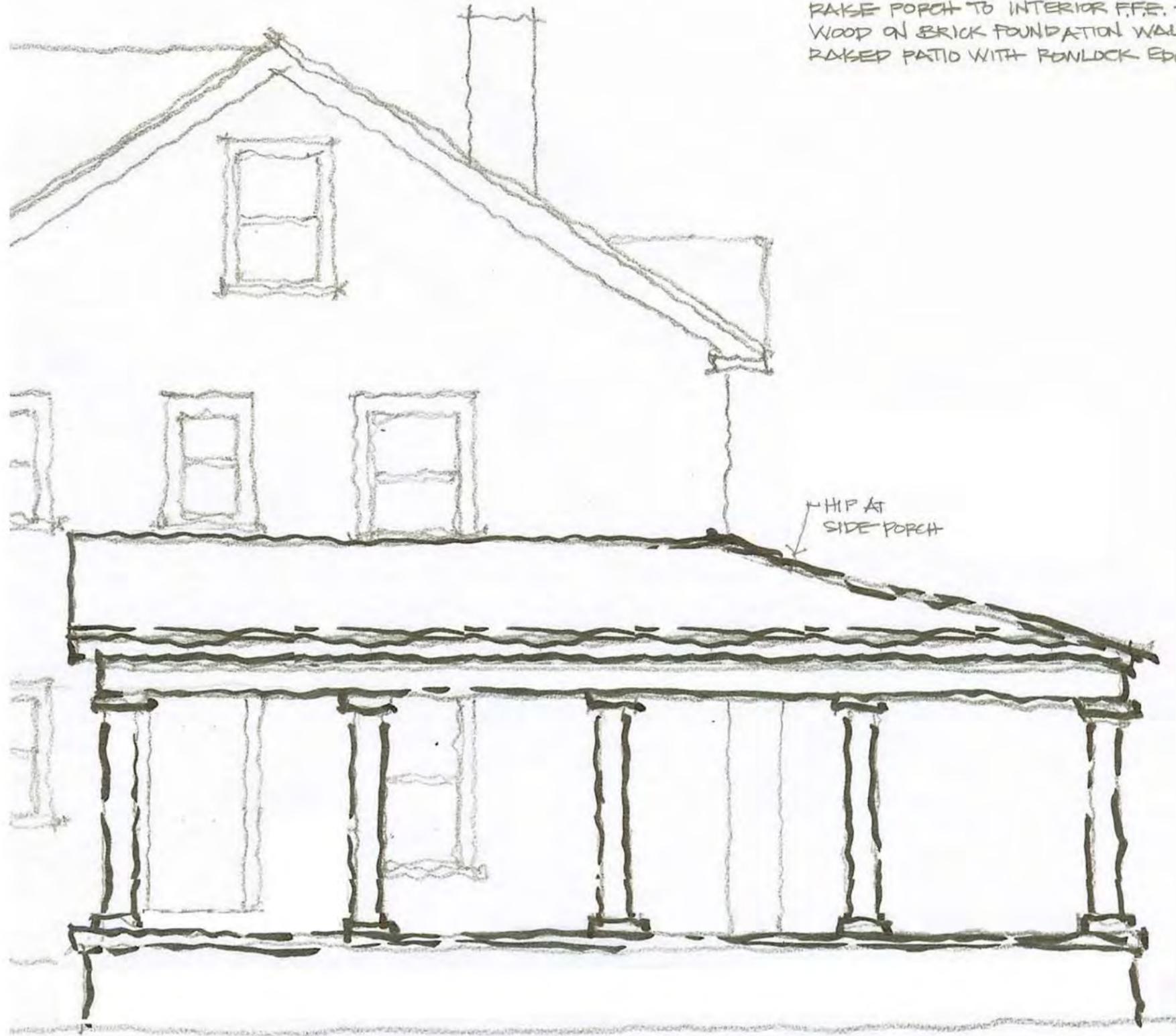
RAISE PORCH TO INTERIOR F.F.E. - OPTIONS FOR
WOOD ON BRICK FOUNDATION WALL OR BRICK
RAISED PATIO WITH POWLOCK EDGE



3 PLAN
SCALE 1/2" = 1'-0"



2 SECTION
SCALE 1/2" = 1'-0"



1 SIDE ELEVATION
SCALE 1/4" = 1'-0"

@ STUDIO H 2013
ALL RIGHTS RESERVED