
LOCAL HISTORIC DISTRICT: Wesley Heights

PROPERTY ADDRESS: 1700 Heathcliff/Westbrook

SUMMARY OF REQUEST: Tree Removal

OWNER/APPLICANT: Daimean Fludd, applicant

Details of Proposed Request

Existing Context

The site is a triangular vacant lot at the end of a street and at the edge of the Wesley Heights Local Historic District. The site is approximately 10 feet above West 4th Street. There are mature trees on the site. There is not an established front setback on the street. The site has an unimproved alley on one side. The adjacent properties within the District are two story quadraplex buildings that are on a lower elevation. The adjacent single-family house is not in the District.

Project

The proposal is to obtain retroactive approval for tree removal. The Commission approved plans for new construction at its May 10, 2017 hearing and specifically stated in the motion that “no trees will be removed for construction.” The removed tree was not noted on the presented/approved site plan. The applicant has submitted a new site plan with all mature trees noted, including the removed tree and two large mature canopy trees located at the front of the lot.

Note: The two mature canopy trees at the front of the lot are located within a few feet of the proposed front porch; a site condition that was not addressed during the May 10, 2017 hearing for the New Construction approval, so no tree protection plan was provided for these trees. (This is a similar condition to the 1912 S. Mint Street, New Construction, Case Number; 2016-166).

Design Guidelines –Trees, page 8.5

1. Retain existing trees that define the district’s character.
2. When tree removal is needed (due to disease or other reasons) or desired, a Certified Arborist must be consulted and the written recommendation must be provided to the HDC before removal is granted. This guideline includes trees in front, side, and rear yards.
3. Trees less than ten (10) inches in diameter may be removed in front, side, and rear yards with Administrative approval.
4. Identify and take care to protect significant existing trees and other plantings when constructing new buildings, additions, or site structures such as garages.
5. New construction that impacts healthy trees must be reviewed by the HDC. Mature trees that are unhealthy or causing significant structural damage to historic structures may reviewed by HDC staff. Replacement trees may be required.
6. The HDC may require the planting of additional trees to replace a mature canopy that is removed.

Staff Recommendation

Staff has the following concerns:

1. A tree protection plan for the two mature canopy trees at the front of the lot should be provided to staff for review/approval within 30 days.
2. Minor revisions may be reviewed by staff (such as review/approval of replacement trees).



HDC-201900113

FD 0710117

LOCAL HISTORIC DISTRICT: WESLEY HEIGHTS

PROPOSED PROJECT: TREE REMOVAL

5 MARCH 2019



Westbrook Dr
Charlotte, North Carolina



Google

Street View - Feb 2016

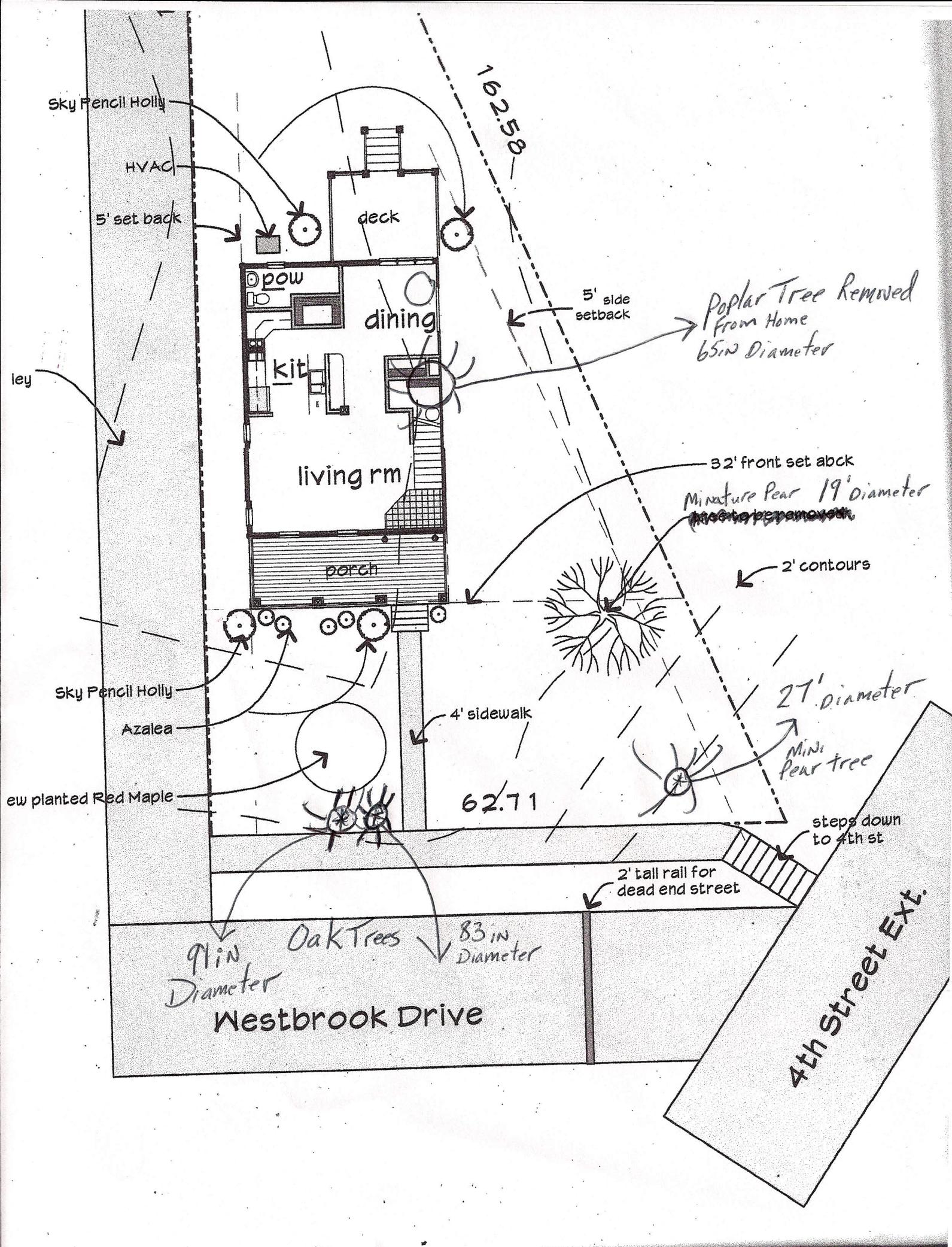












162.58

Poplar Tree Removed From Home 65in Diameter

32' front set abck
Miniature Pear 19' Diameter

2' contours

27' Diameter
Mini Pear tree

steps down to 4th st

2' tall rail for dead end street

91in Diameter
Oak Trees 83in Diameter
Westbrook Drive

4th Street EXT.



CHARLOTTE

HISTORIC DISTRICT COMMISSION
May 10, 2017

MINUTES

MEMBERS PRESENT: Mr. James Haden, Chair
Mr. P. J. Henningson
Ms. Jessica Hindman
Mr. Damon Rumsch, Vice Chair
Ms. Claire Stephens
Ms. Jill Walker
Ms. Mattie Marshall

MEMBERS ABSENT: Ms. Jana Hartenstine
Mr. Dominic Ristaino, 2nd Vice-Chair
Ms. Deb Ryan
Ms. Tamara Titus
One Vacancy

OTHERS PRESENT: Mr. John Howard, Administrator of the Historic District Commission
Ms. Kristi Harpst, Staff of the Historic District Commission
Ms. Wanda Birmingham, Staff of the Historic District Commission
Ms. Linda Keich, Staff of the Historic District Commission
Mr. Thomas Powers, Assistant City Attorney for the City of Charlotte
Adkins Court Reporters

Chairman Haden called to order the Regular May meeting of the Historic District Commission at 1:07 pm. He began the meeting by introducing the Staff and Commissioners and explaining the meeting procedure. All interested parties planning to give testimony – FOR or AGAINST – must submit a form to speak and must be sworn in. Staff will present a description of the proposed project to the Commission. The Commission will first determine if there is sufficient information to proceed. If proceeding, Commissioners and the applicants will then discuss the project. Audience members signed up to speak either FOR or AGAINST will be called to the podium for each agenda item. Presentations by the applicants and audience members must be concise and focused on the **Policy & Design Guidelines**. The Commission and Staff may question the Applicant. The Applicant may present sworn witnesses who will be subject to questioning by the Commission and Staff. The Applicant will be given an opportunity to respond to comments by interested parties. After hearing each application, the Commission will review, discuss, and consider the information that has been gathered and presented. During discussion and deliberation, only the Commission and Staff may speak. The Commission may vote to reopen this part of the meeting for questions, comments, or clarification. Once the review is completed, a MOTION will be made to Approve, Deny, or Continue the review of the application at a future meeting. A majority vote of the Commission members present is required for a decision to be reached. All exhibits remain with the Commission. If an Applicant feels there is a conflict of interest of any Commissioner, or there is an association that would be prejudicial, that should be revealed at the beginning of the hearing of a particular case. The Commission is a quasi-judicial body and can accept only sworn testimony. Staff will report any additional comments received and while the Commission will not specifically exclude hearsay evidence, it is only given limited weight. Appeal from the

Historic District Commission is to the Zoning Board of Adjustment. One has sixty (60) days from the date of the decision to appeal. This is in accordance with Section 10.213 of the City Zoning Ordinance. Chairman Haden asked that everyone please turn to silent operation any electronic devices. Commissioners are asked to announce, for the record, if one leaves or arrives during the meeting. Mr. Haden said that those in audience must be quiet during the hearings. An audience member will be asked once to be quiet and the need for a second request will be removal from the room.

Index of Addresses:

CONTINUED

HDC 2016-324, 1816 Wickford Place (lot 4)	Wilmore
HDC 2017-090, 617 W. Park Avenue	Wilmore
HDC 2017-114, 1824 S Mint Street	Wilmore
HDC 2017-167, 1700 Heathcliff Street	Wesley Heights
HDC 2017-162, 709 Woodruff Place	Wesley Heights

NEW APPLICATIONS

HDC 2017-305, 1825 Merriman Avenue	Wilmore
HDC 2017-151, 520 E. Kingston Avenue	Dilworth
HDC 2017-272, 1414 The Plaza	Plaza Midwood
HDC 2017-298, 243 W. Park Avenue	Wilmore
HDC 2017-277, 121 Hermitage Road	Hermitage Court
HDC 2017-184, 229 N. Church Street	Fourth Ward
HDC 2017-284, 1330 Pecan Avenue	Plaza Midwood

-
- **MR. HENINGSON DECLARED A CONFLICT OF INTEREST AND REMOVED HIMSELF FROM THE COMMISSION FOR THE FIRST APPLICATION HEARD.**
-

APPLICATION: HDC 2017-243, 243 W. PARK AVENUE – SUBSTITUTE MATERIAL

EXISTING CONDITIONS

The existing structure is a c. 1926 one story Queen Anne Victorian Cottage. A COA was issued September 2016 for a rear addition, windows, doors, and siding repair/replacement. A Stop Work order was issued March 2017. The siding being installed is for a siding material that cannot be approved administratively.

PROPOSAL

The applicant is applying for the use of Smartside siding, an engineered wood product with a wood grain finish that has already been installed partly.

STAFF RECOMMENDATION

The Commission will determine if the siding material is appropriate for the main structure or if another material is more appropriate or if an exception is warranted.

FOR/AGAINST: No one accepted Mr. Haden’s invitation to speak either **FOR** or **AGAINST** the application.

MOTION: Based on non-compliance with ***Policy & Design Guidelines – Materials***, and no exception warranted, Mr. Rumsch made a **MOTION** to **DENY** this application per new guideline 5.2 #5,

house. The garage is setback approximately 25' from the rear property line. Two mature trees will be removed and new trees planted.

Revised Proposal – May 10, 2017

1. The left side elevation includes a new window pattern and second floor balcony.
2. Trees to be removed and planted are identified on the site plan.
3. The driveway width along the side street is one car wide.
4. The garage and house are both shown on the elevations.

STAFF RECOMMENDATION

The Commission will determine if the proposal meets the guidelines for new construction.

FOR/AGAINST: No one accepted Mr. Haden’s invitation to speak either **FOR** or **AGAINST** the application.

MOTION: Based on compliance with **Policy & Design Guidelines – New Construction**, Ms. Hindman made a **MOTION** to **APPROVE** this application with revised drawings to staff for probable approval. The revised drawings will show:

- Divided lights in transom windows.
- Front elevation level 2 windows to be casements or awnings with divided lights, proportional to main windows.
- Brackets added to support balcony on W. Worthington Avenue elevation.

Mr. Henningson seconded.

VOTE: 6/0 **AYES:** HADEN, HINDMAN, HENNINGSON, RUMSCH, STEPHENS, WALKER

NAYS: NONE

DECISION: **APPLICATION FOR NEW CONSTRUCTION APPROVED WITH REVISED DRAWINGS TO STAFF FOR PROBABLE APPROVAL.**

APPLICATION: HDC 2017-167-1700 HEATHCLIFF STREET – NEW CONSTRUCTION

This application was continued from April because an opposing party wanted to submit documents in the absence of the applicant.

A single family house was approved by the HDC in 2014 (2014-070). The project did not begin and the Certificate of Appropriateness has expired. The applicant is requesting approval of the previous plans on this oddly shaped lot.

EXISTING CONDITIONS

The site is a triangular vacant lot at the end of a street and at the very edge of the Wilmore Local Historic District. The site is approximately 10 feet above West 4th Street. There are mature trees on the site. There is not an established front setback on the street. The site has an unimproved alley on one side. The adjacent property within the District is a two story quadraplex. The adjacent single family house is not in the District.

PROPOSAL – AUGUST 13, 2014

The proposal is a new two story single family home with a continuous gable roof from front to rear. Primary exterior materials are wood siding, brick, and a standing seam metal roof (front elevation). The height from grade is approximately 30'-8".

STAFF RECOMMENDATION

The Commission will determine if the proposal meets the guidelines for new construction.

FOR/AGAINST: Adjacent Property Owner Rachel Ortez spoke in opposition to the application.

MOTION: Based on compliance with *Policy & Design Guidelines – New Construction*, Ms. Hindman made a **MOTION** to **APPROVE** this application and reinstate the previous approved COA based on the current guidelines. No trees will be removed for construction.

Mr. Rumsch seconded.

VOTE: 6/0 **AYES:** HADEN, HINDMAN, HENNINGSON, RUMSCH, STEPHENS, WALKER

NAYS: NONE

DECISION: APPLICATION FOR NEW CONSTRUCTION APPROVED

APPLICATION: HDC 2017-162 -709 WOODRUFF PLACE – ADDITION

The project was continued for the more information on the following: 1) Historic precedent for porch roof and column design, 2) Additional material details.

EXISTING CONDITIONS

The existing structure is a c. 1941 one story American Small House style. Architectural features include a front facing gable and prominent chimney.

PROPOSAL

The project is the construction of a wood canopy over the front entrance. The applicant has submitted additional information on materials, dimensions and an example of a neighboring property that matches what the applicant intends to build.

STAFF RECOMMENDATION

The Commission will determine if the proposal meets the guidelines for additions. The guidelines for setback and fenestration do not apply.

FOR/AGAINST: No one accepted Mr. Haden’s invitation to speak either **FOR** or **AGAINST** the application.

MOTION: Based on compliance with *Policy & Design Guidelines - Additions*, Ms. Stephens made a **MOTION** to **APPROVE** this application with revised drawings to staff for probable approval. The revised drawings will show:

- Face of beam aligns with neck of column on both front and side.
- Overhang on eaves will match existing.
- Rake and eave to match existing.

Ms. Hindman seconded.

VOTE: 6/0 **AYES:** HADEN, HINDMAN, HENNINGSON, RUMSCH, STEPHENS, WALKER

NAYS: NONE



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2017-00167

DATE: March 21, 2018

ADDRESS OF PROPERTY: 1700 Heathcliff Street

TAX PARCEL NUMBER: 07101117

HISTORIC DISTRICT: Wesley Heights

APPLICANT/OWNER(S): Daimean Fludd

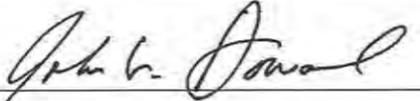
DETAILS OF APPROVED PROJECT: The project is the construction of a new two story single family house. The front setback is 32' from ROW. New landscaping and tree removal are noted on the site plan, mechanical units are located in the rear yard. Primary exterior materials are wood siding, brick and a standing seam metal roof on the front elevation. Front porch deck material is tongue and groove wood. Deck boards installed perpendicular to the front wall. Windows are wood or metal clad over wood. The height from grade is approximately 30'-8".

The project was approved by the HDC May 10, 2017.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman


Staff

#2 southern yellow pine				
floor joist 12' o.c. 16' o.c. 24' o.c.				
40 psf live load 10 psf dead load (all rooms except sleeping)	2x8 2x10	14'-2" 18'-0"	12'-10" 16'-1"	11'-0" 13'-2"
30 psf live load 10 psf dead load (sleeping rooms & L/360)	2x8 2x10	15'-7" 19'-10"	14'-2" 18'-0"	12'-4" 14'-5"
ceiling joist				
20 psf live load 5 psf dead load (drywall ceiling @ L/240)	2x8 2x10	15'-8" 20'-11"	13'-8" 17'-5"	11'-0" 14'-2"
rafters				
20 psf live load 7 psf dead load	2x8 2x8	11'-0" 22'-5"	15'-2" 19'-8"	12'-5" 16'-1"
30 psf live load 7 psf dead load	2x8 2x8	14'-10" 19'-5"	13'-0" 16'-10"	10'-1" 13'-5"
40 psf live load 7 psf dead load (slope over 3/12 & no finished ceiling @ L/180)	2x8 2x8	13'-4" 17'-3"	11'-8" 14'-11"	9'-5" 12'-2"
#2 S-P-F (spruce-pine-fir)				
floor joist 12' o.c. 16' o.c. 24' o.c.				
40 psf live load 10 psf dead load (all rooms except sleeping)	2x8 2x10	13'-6" 17'-3"	12'-3" 15'-5"	10'-5" 12'-7"
30 psf live load 10 psf dead load (sleeping rooms & L/360)	2x8 2x10	14'-11" 19'-0"	13'-8" 17'-2"	11'-6" 14'-1"
ceiling joist				
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abbreviations

cj	ceiling joist
cig	ceiling
CMU	concrete masonry unit
CO	cased opening
conc.	concrete
CT	ceramic tile
dbl.	double
dj	double joist
ew.	each way
fj	floor joist
ftg.	footing
HVAC	heating/ventilating/air conditioning
jsl.	joist
LVL	laminated veneer lumber - ie. Parallam
mech.	mechanical
ml	1/16 inch
min.	minimum
N.T.S.	not to scale
oc	on center
pc	pull cord
pt.	pressure treated
psf	pounds per square foot
R/A	return air
reqd.	required
reinf.	reinforcing
Rm.	room
ro.	rough opening
sf	square feet
syd	southern yellow pine
Shw.	shower
T&G	tongue and groove
WH	water heater
W/M	welded wire mesh
w/	with
yp	yellow pine

Thank you for your purchase of these house plans.

These plans are designed to conform to the 2014 International Residential Code for One and Two Family Dwellings. National and local building codes vary with location and change from time to time. Therefore it is impossible to warrant compliance to your specific location. It is the responsibility of the purchaser and/or the builder to adapt these plans to the requirements of the individual locale.

Structural Notes

These plans are designed for roof loads of 20 psf live load and 10 psi dead load. The chart to the left can be used to adjust for different requirements. All beams are labeled "LVL" and should be sized locally. Roof loads can vary and have a big impact on the beams carrying accumulated loads. Most lumber suppliers can have this done at no charge, however having a registered engineer is recommended.

General Notes

- Square footages are for heated floor areas. This does not include fireplace projection or vaulted space. Stairs are counted on the main floor only.

- Dimensions are from the face of the stud wall. Contractor to verify all dimensions and please contact us if an error is present.

- All footings shall be on firm undisturbed soil of no less than 2000 psf and be below frost depth. The exact size and reinforcement of concrete footings must be determined by local soil conditions. Verify design with local engineer.

- HVAC design to be sized according to the local climate conditions including compass direction.

Energy Notes

- Caulk all exterior toe plates with latex caulk.

- Caulk all wire and pipe holes where they penetrate all upper and lower exterior plates.

- Use blown-in wall insulation if at all possible. If batt insulation is used pack behind all electrical boxes.

- Seal all joints in HVAC ducts, with leakage no more than 3%. Three inch fiber mesh tape should be used on all collar to plenum connections and all gaps that are 1/4" or wider. Insulate ducts with R-6.5 or greater.

- Foam insulate between all exterior window and door edges and rough opening frame. Use non-expanding foam.

- Provide back draft damper on kitchen hood vent, dryer vent, and bathroom vents.

- Insulate all hot water pipes.

- Install wrap kit on water heater.

Builder's Guide from EEBA.org

This one book, available from The Energy and Environmental Building Association, if followed, will do more to insure a well built home than any material I know of. It is very clearly written and contains many useful details to build an energy efficient home. Phone 952-881-1092 or order online at eeba.org. There are 4 different versions based on a climate zone map.

© Rick Thompson - 2012



w w w

thompsonplans.com

PO Box 160
Lake Junaluska, NC 28745
828-734-2553

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ledgerBkB-4
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2 - Kitchen Cabinet
3 - Kitchen Cabinet
Floor 1 Plan
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Sheet 07 - Details - Building Section
-eaveSideBox18-4
-rakeAttic12boxed
Building Section
insulation chart
porchBCoBrick
Sheet 08 - Site
site site 2

This plan is licensed to Verde Building Solutions

Plan 1209A



original print date
11/5/14

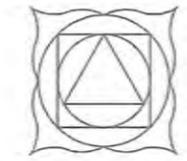
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standard contract document

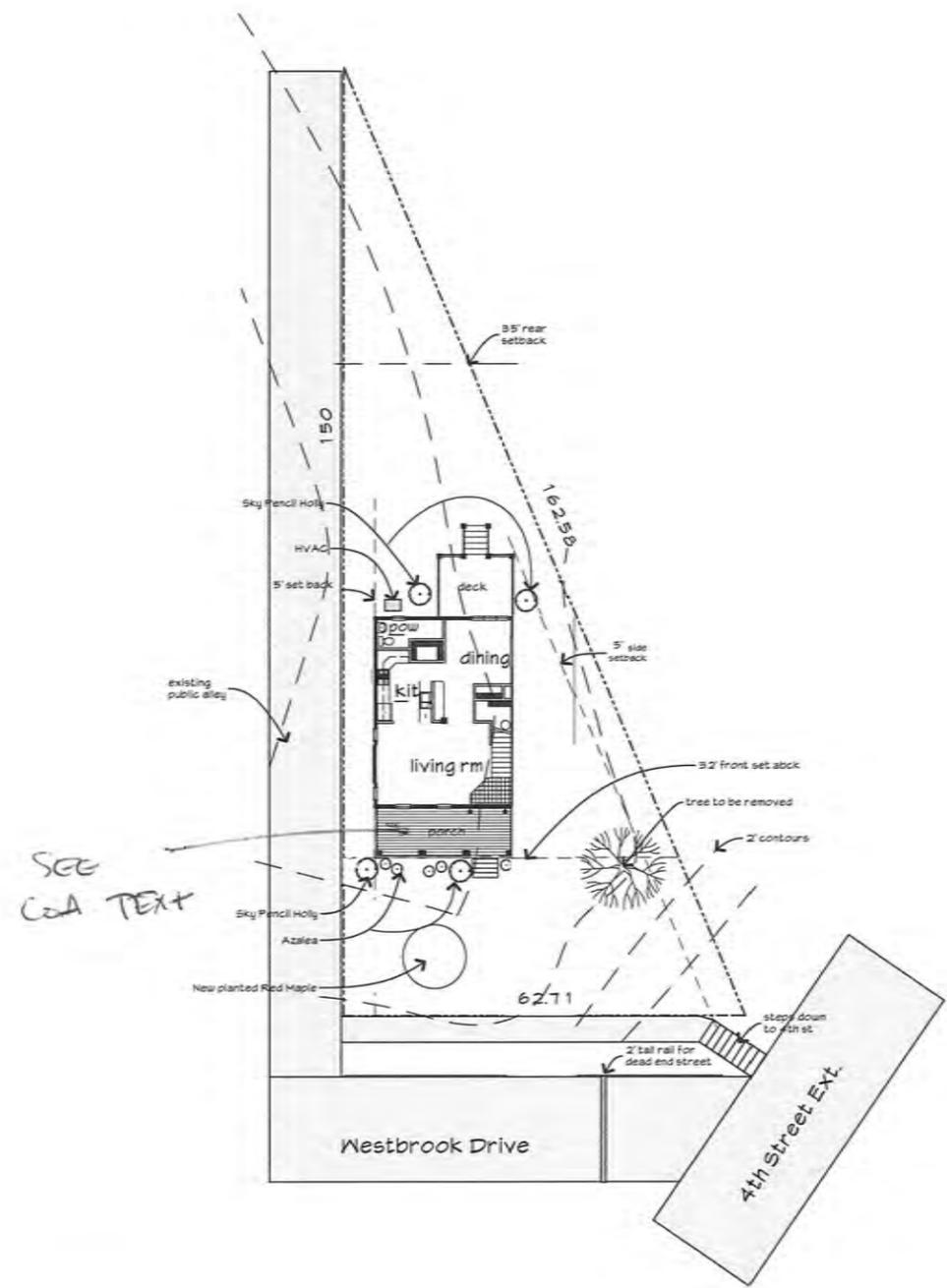
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www.thompsonplans.com
 Rick Thompson - Architect
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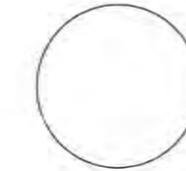
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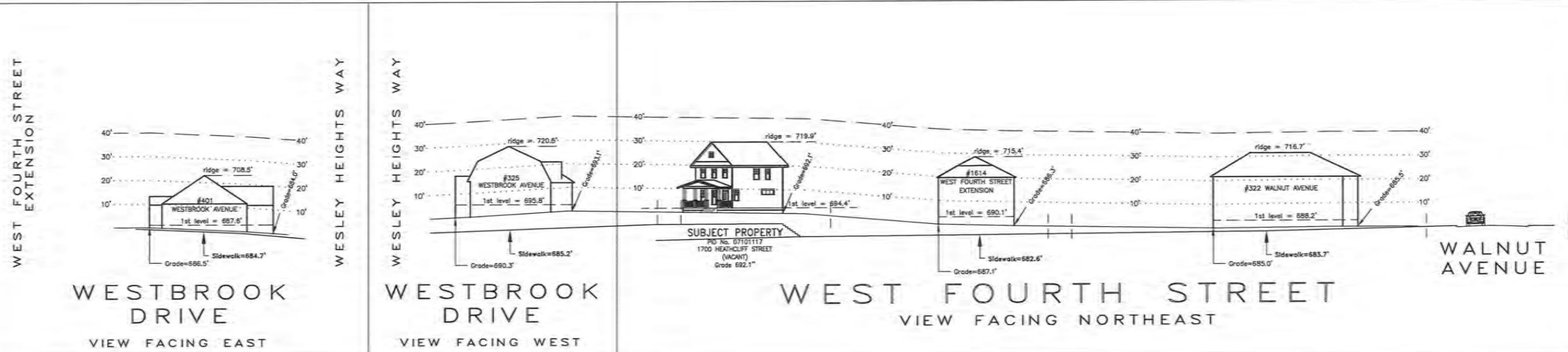
2017-00167

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This ____ day of _____, 2014.

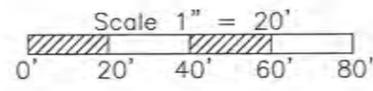


NON-CERTIFIED
 REFER TO PDF DATED MAY 16, 2014
 Andrew G. Zoutewelle
 Professional Land Surveyor
 NC License No. L-3098



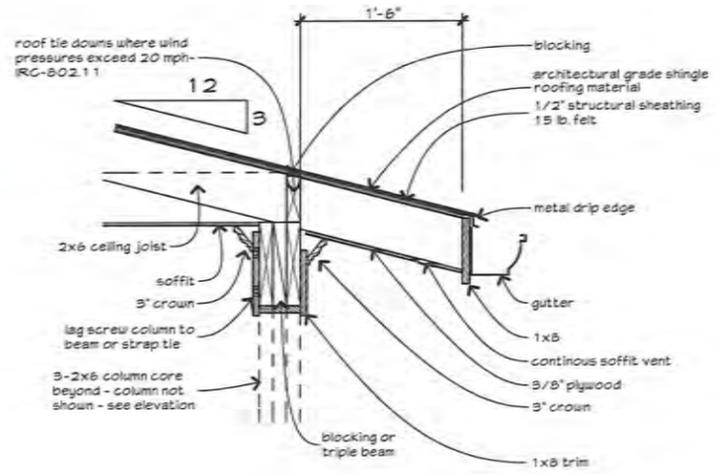
A.G. ZOUTEWELLE
SURVEYORS
 1418 East Fifth St. Charlotte, NC 28204
 Phone: 704-372-9444 Fax: 704-372-9555
 Firm Licensure Number C-1054

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 Building Heights Sketch of
WESTBROOK DRIVE & WEST FOURTH STREET
 at **HEATHCLIFF STREET**
 FACING MULTIPLE DIRECTIONS AS NOTED
 CHARLOTTE, MECKLENBURG COUNTY, N.C.
 for Charlotte-Mecklenburg Planning Department
 May 07, 2014

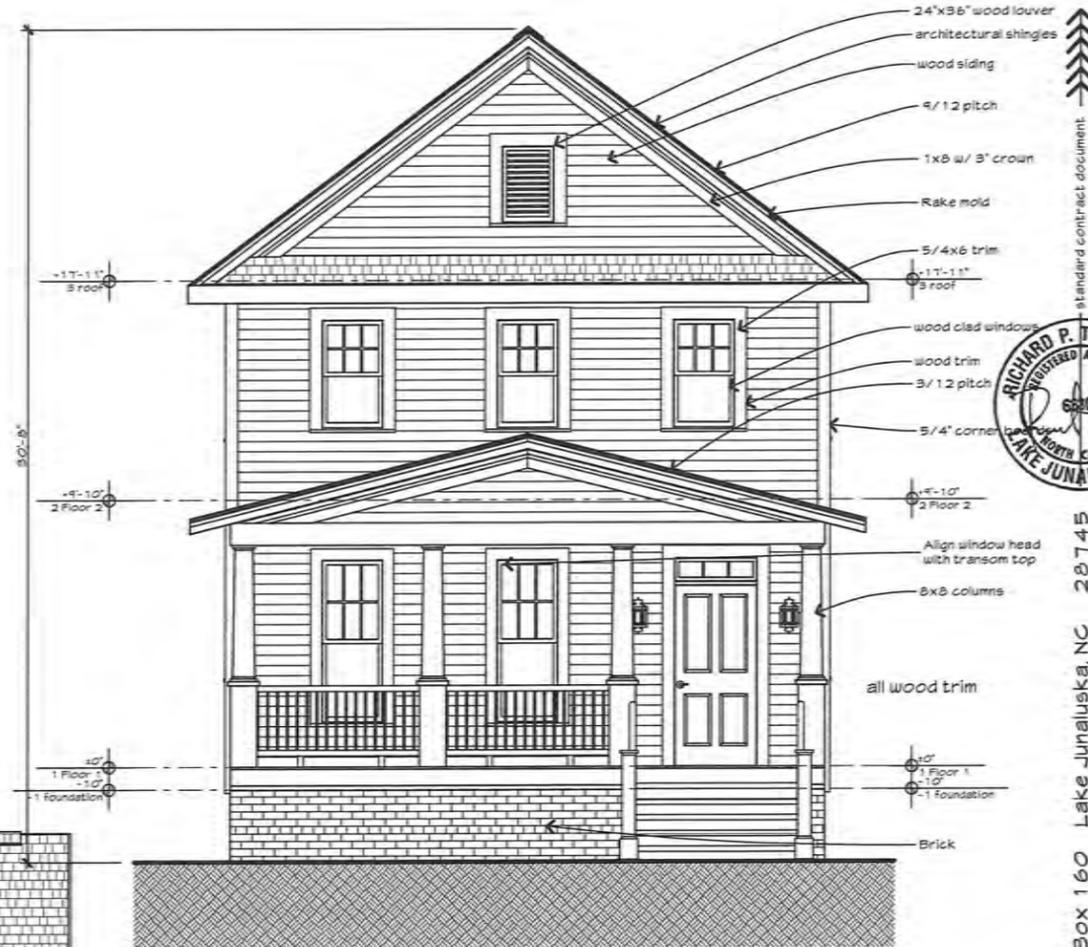


General Notes:
 1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
 2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

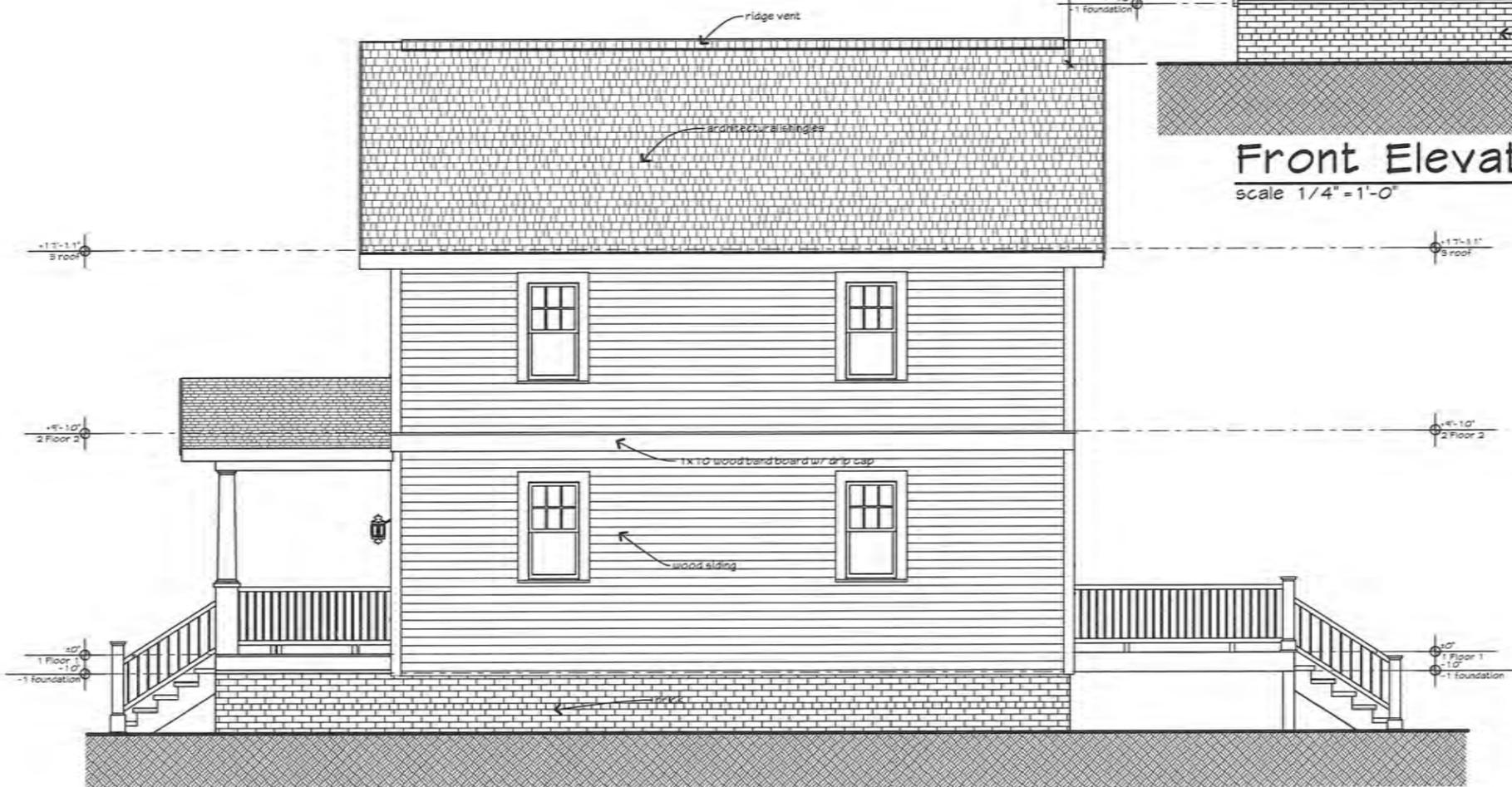
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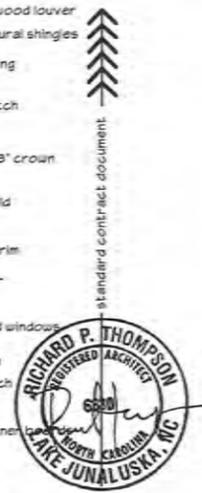
PE2 Typical Porch Boxed Eave
 scale 1" = 1'-0"



Front Elevation
 scale 1/4" = 1'-0"



Right Side Elevation
 scale 1/4" = 1'-0"



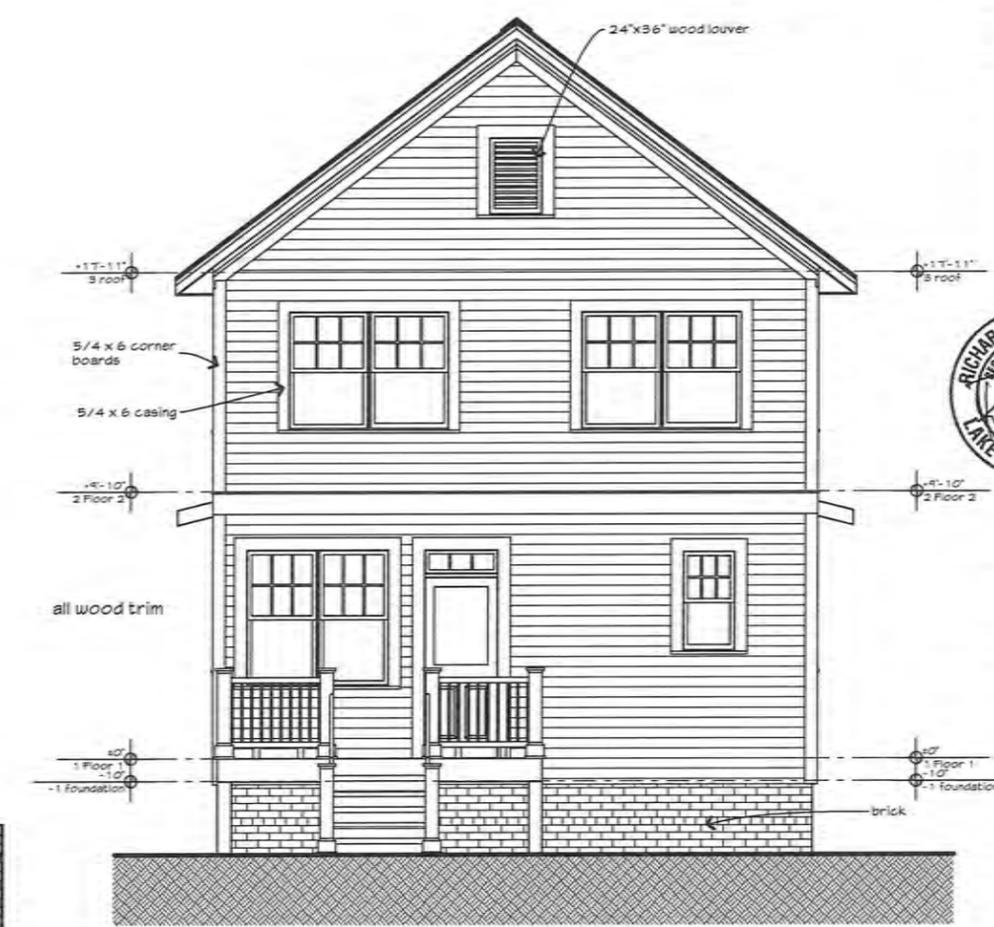
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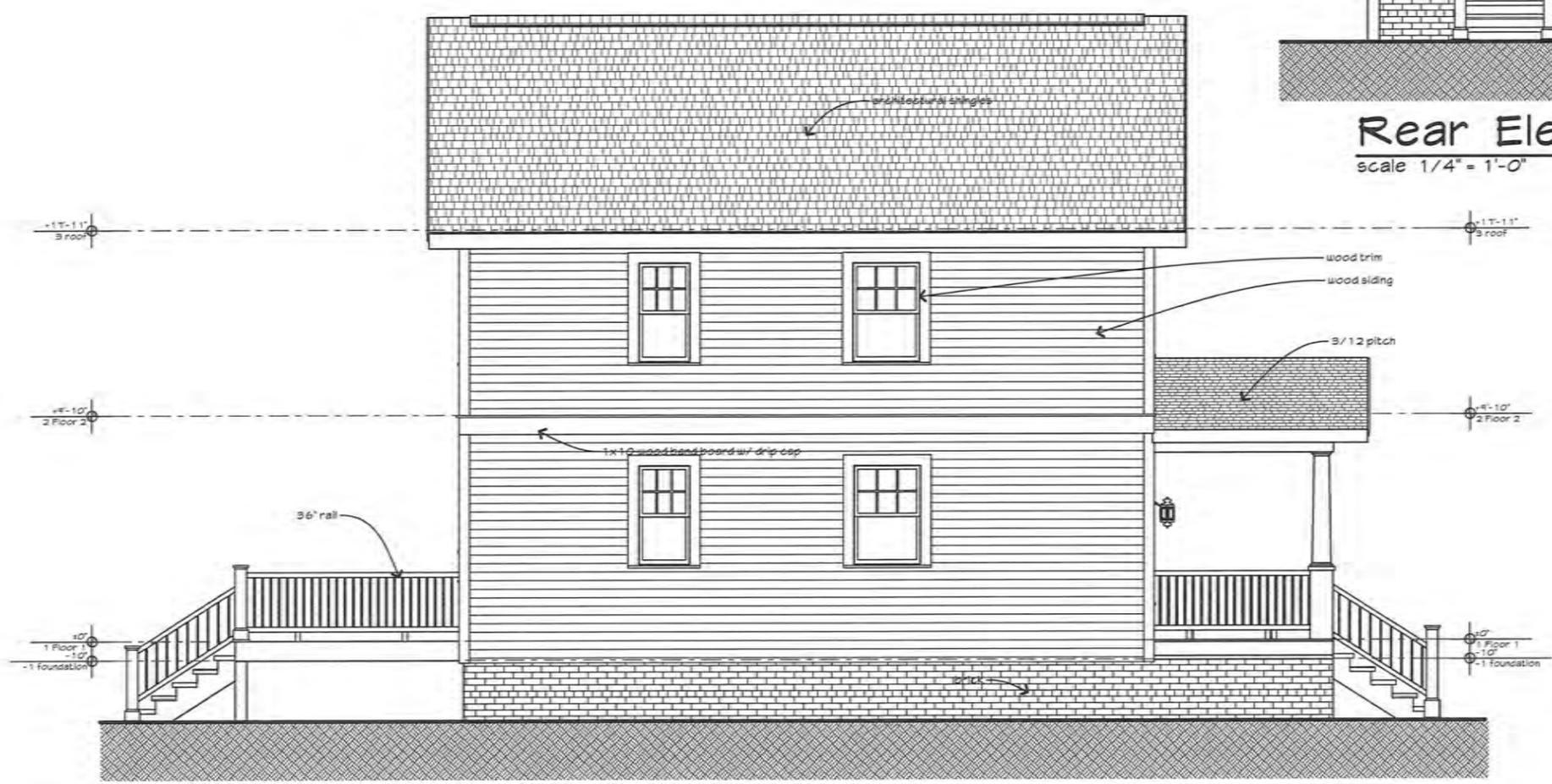
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 2017-00167



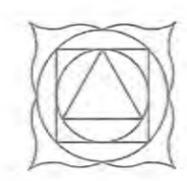
Rear Elevation
 scale 1/4" = 1'-0"



Left Side Elevation
 scale 1/4" = 1'-0"



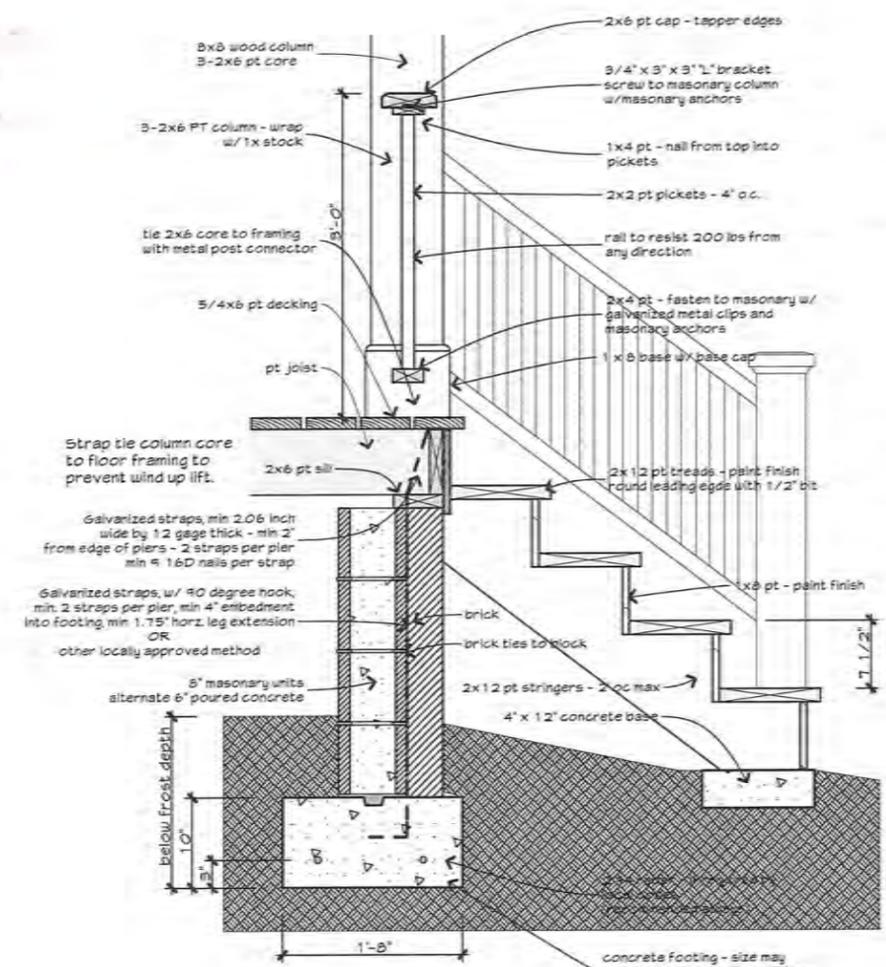
Standard contract document
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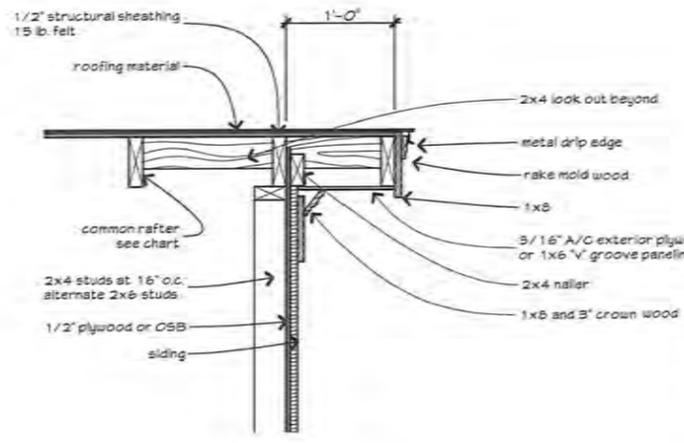
F6 Porch Detail
scale 1" = 1'-0"

Minimum Insulation Chart

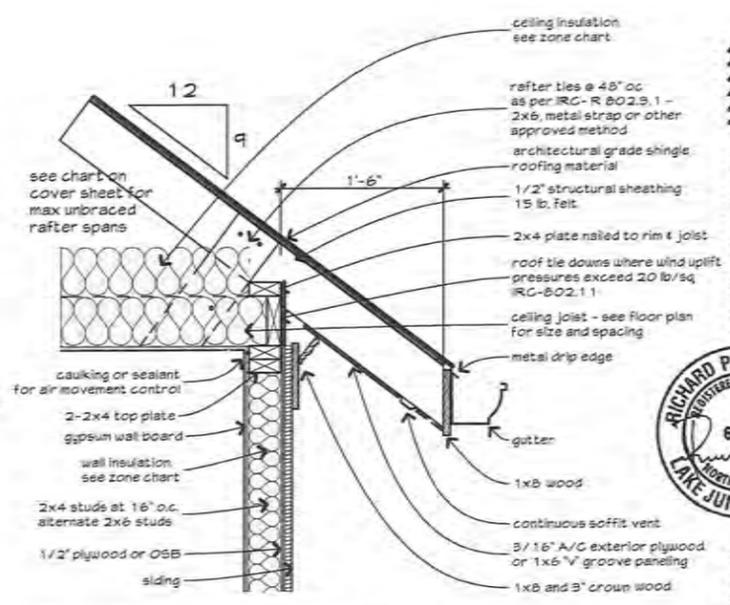
Table N1102.1 - International Residential Code 2009
insulation and fenestration requirements by components *

Climate Zone	Glazing U-factor	Glazing SHGC ²	Ceilings R-value	Wood frame wall R-value	Floors R-value	Basement walls R-value	Slab perimeter R-value and depth	Crawl space ³ wall R-value
1	1.2	.30	30	13	19	0	0	0
2	.65	.30	30	13	19	0	0	0
3	.50	.30 ⁴	30	13	14	5/19 ⁵	0	5/19
4	.35	NR	38	13	14	10/19	10, 2	10/19
5	.35	NR	38	13	14	10/19	10, 2	10/19
6	.35	NR	44	13	14	15/14	10, 2	10/19
7	.35	NR	44	21	13	15/14	10, 4	10/19
8	.35	NR	44	21	13	15/14	10, 4	10/19

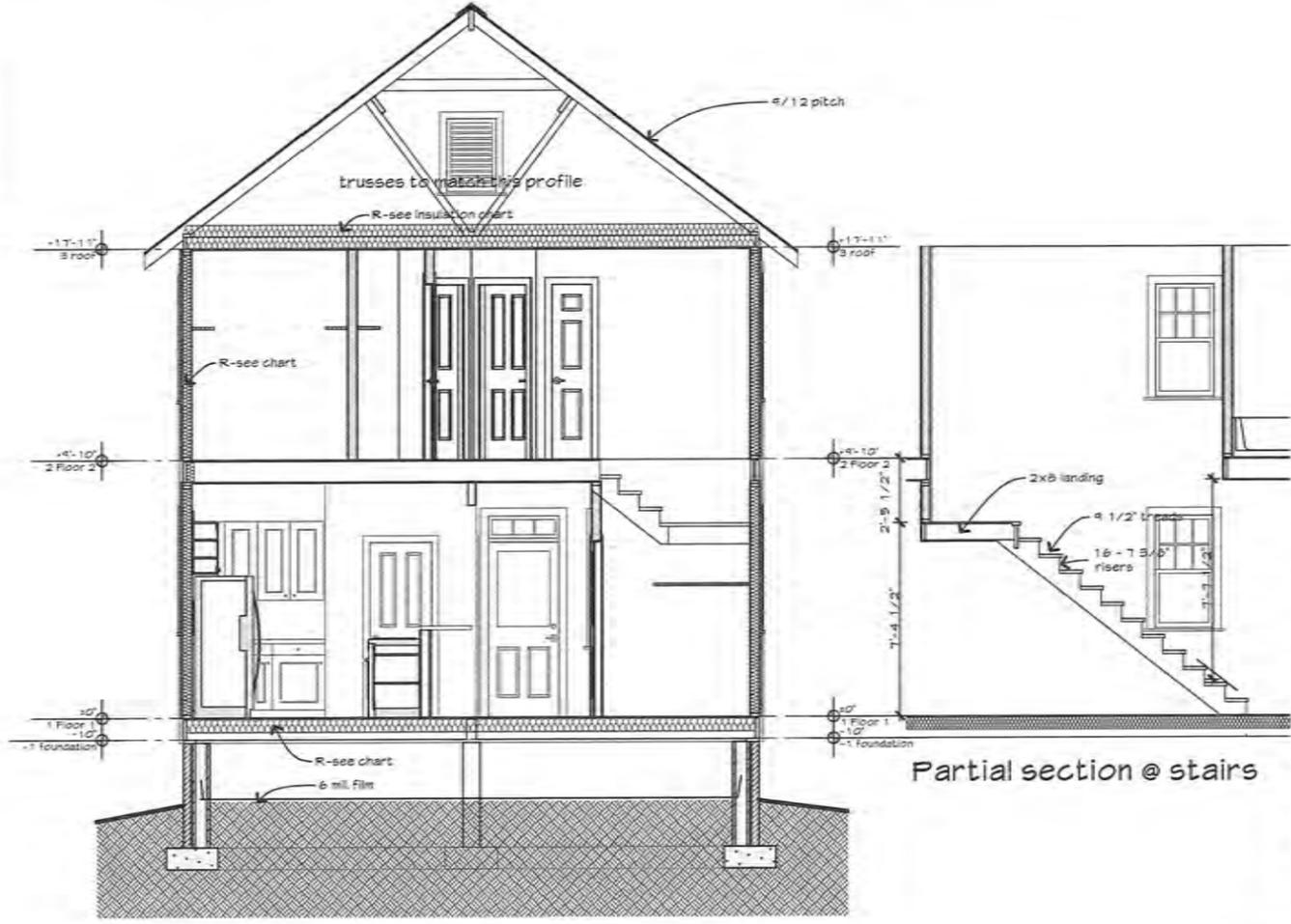
* - R-values are minimum, U-factors and SHGC are maximum. R-14 batts compressed into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
 1 - "16" x 16" means R-19 continuous insulated sheathing on the interior or exterior of the home or R-14 cavity insulation at the interior of the basement wall. "5/19" shall be permitted to be met with R-19 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/19" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall.
 2 - R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 9 for heated slabs.
 3 - There are no solar heat gain coefficient (SHGC) requirements for the Marine Zone.
 4 - Basements wall insulation is not required in warm-humid localities as defined by Figure B01.1 and Table B01.1.
 5 - OR insulation sufficient to fill the framing cavity, R-14.
 6 - "10/19" means R-10 cavity insulation plus R-9 insulated sheathing if structural sheathing covers 25% or less of the exterior. Insulating sheathing is not required where structural sheathing is used if structural sheathing covers more than 25 percent of exterior structural sheathing shall be supplemented with insulation sheathing of at least R-2.



E4 Typical Rake - boxed soffit
scale 1" = 1'-0"
All wood siding and trim



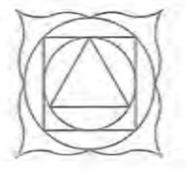
E1 Typical Boxed Eave - rafters on joist
scale 1" = 1'-0"
All wood siding and trim



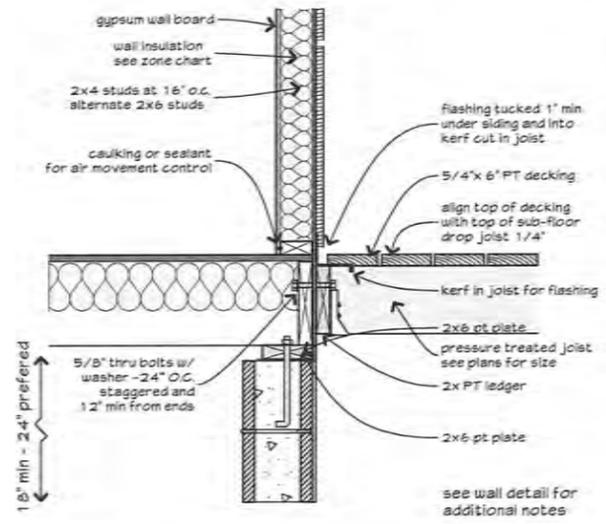
Building section
scale 1/4" = 1'-0"



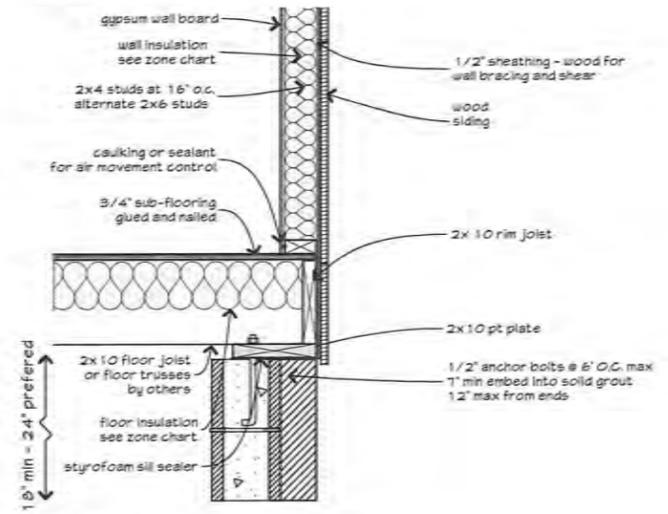
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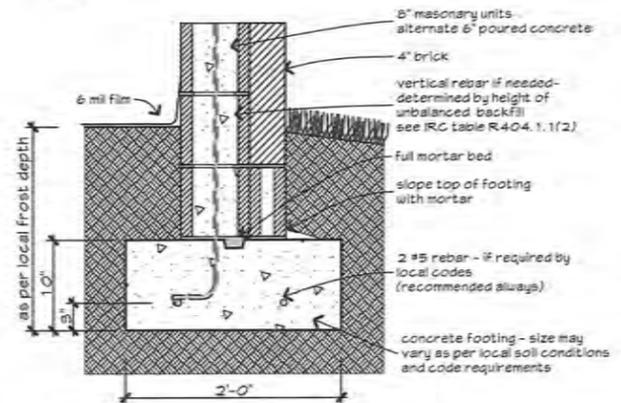
original print date
11/5/14



W5 Porch/ Deck Detail
scale 1"=1'-0"



W1 Wall detail FI 1
scale 1"=1'-0"



F4 Foundation - brick face
scale 1"=1'-0"

General crawl notes

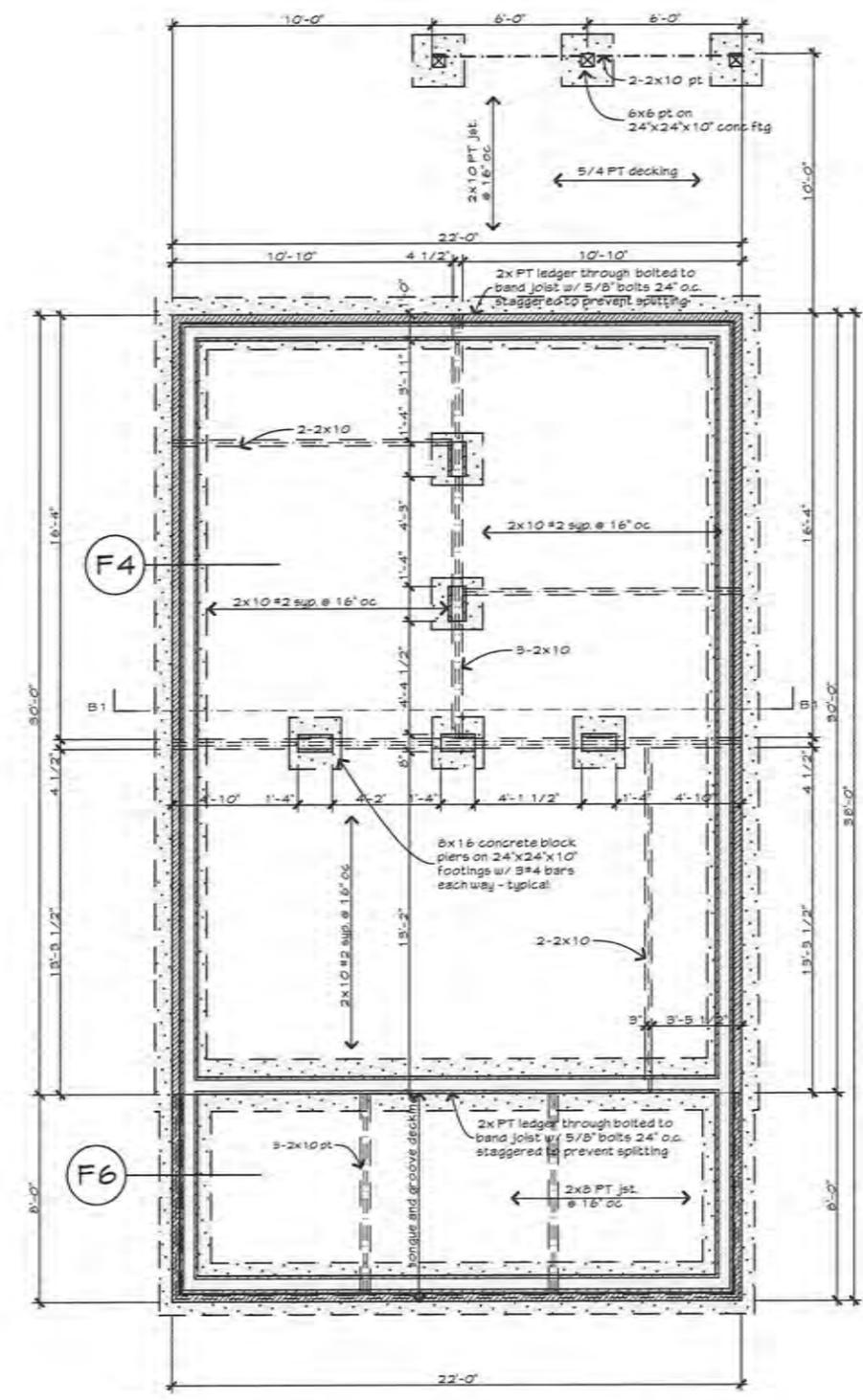
Provide 18"x24" min access door. Location as per field conditions - side preferred

Provide foundation vents not less than 1 sqft per 150 sqft under floor space. One vent within 3 feet of each corner. IRC - R408.1
or
invented where exposed earth is covered and air supplied as per IRC - R408.3

Fill piers solid with grout. Pler block size shown is minimum. May vary as per foundation height.

Pier spacing may vary dependent on local snow loads, soil bearing capacity and the use of roof trusses.

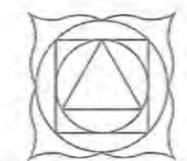
Footing sizes and reinforcement are assumed. Soil conditions vary and must be taken into account. Inspectors can allow builders to adjust the use of rebar and footing sizes as per local conditions.



Crawl Foundation Plan
scale 1/4"=1'-0"



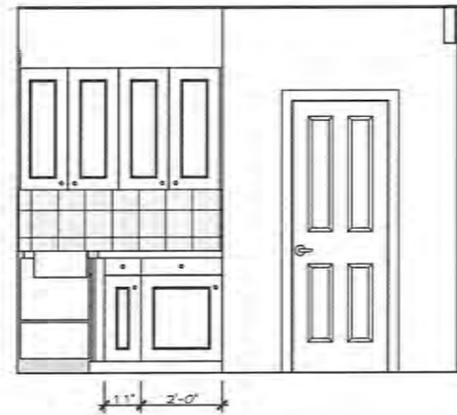
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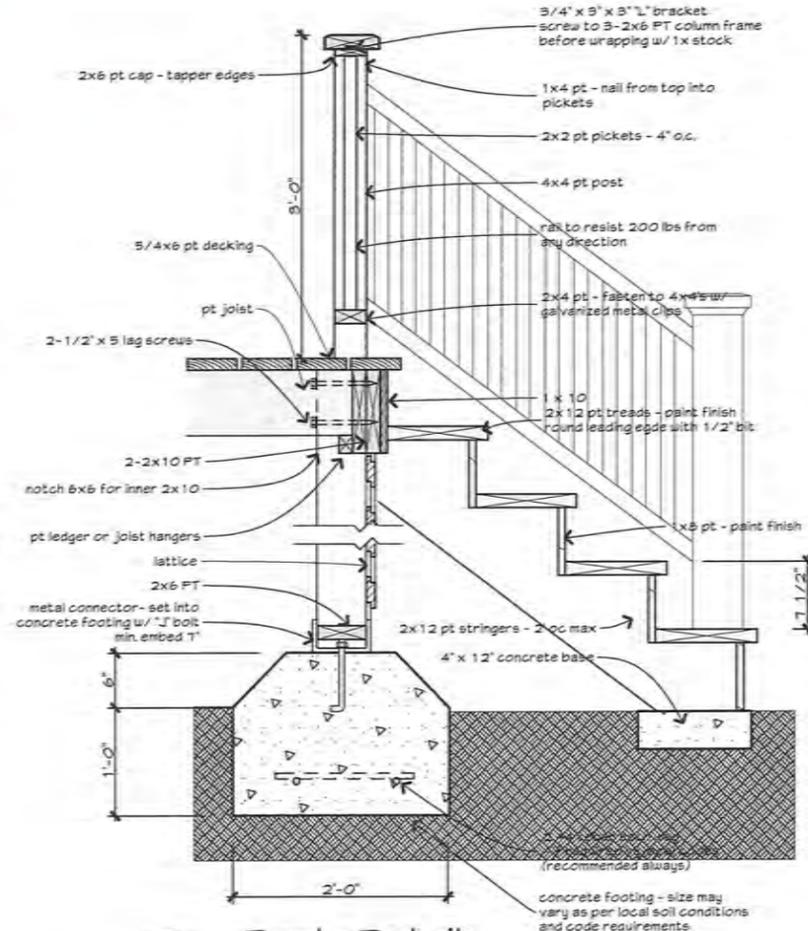
1 - Kitchen Cabinet
Scale 3/8" = 1'-0"



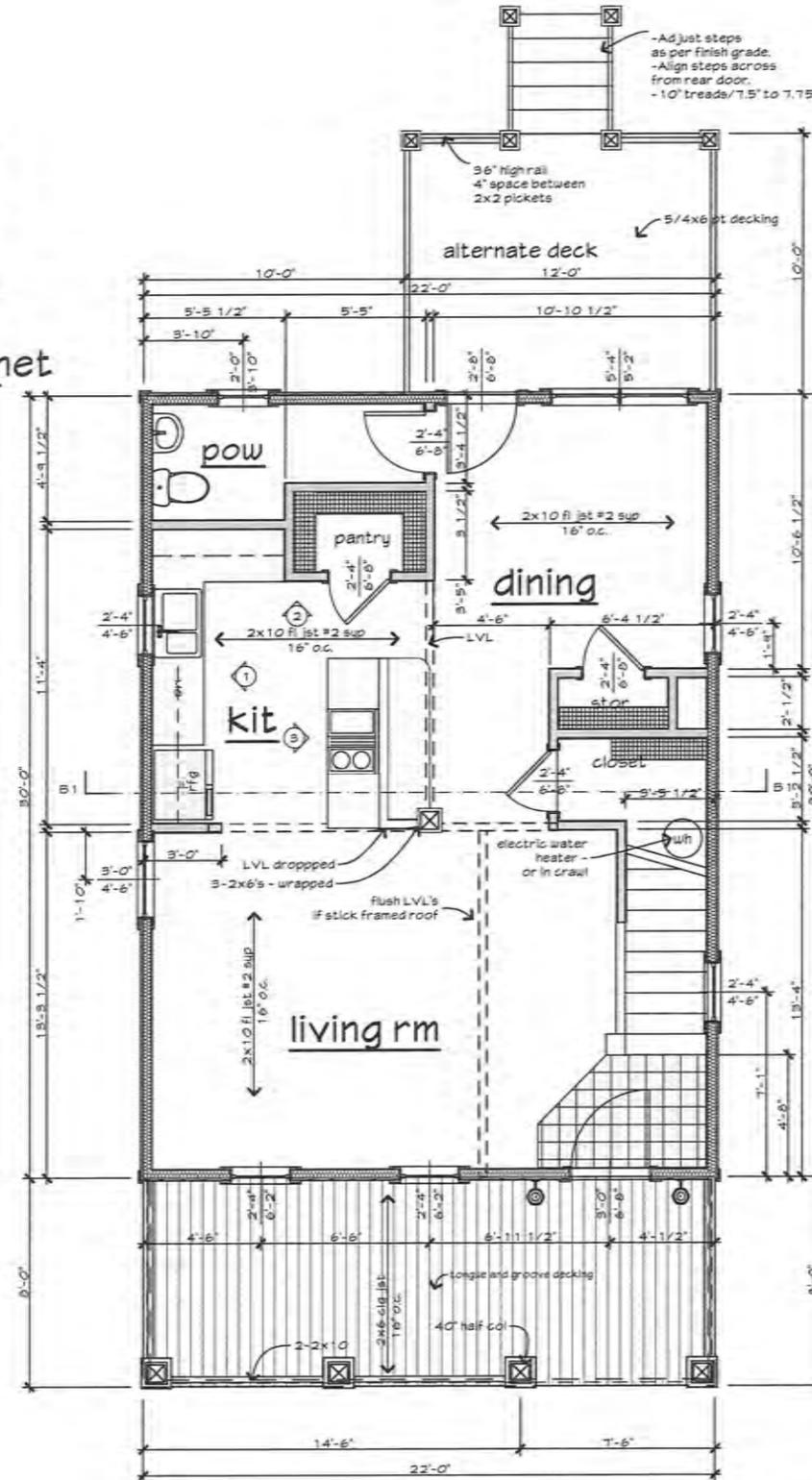
2 - Kitchen Cabinet
Scale 3/8" = 1'-0"



3 - Kitchen Cabinet
Scale 3/8" = 1'-0"



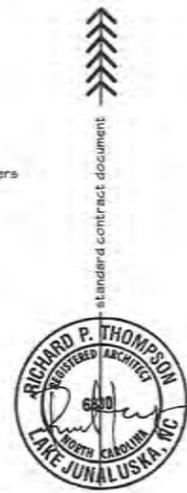
F7 Deck Detail
scale 1" = 1'-0"



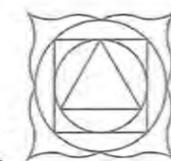
Floor 1 plan
scale 1/4" = 1'-0"

Floor 1 plan	660 sq.ft.
Floor 2 plan	617 sq.ft.
total	1277 sq.ft.

Lot size = 4356 sf
building coverage = 836 sf



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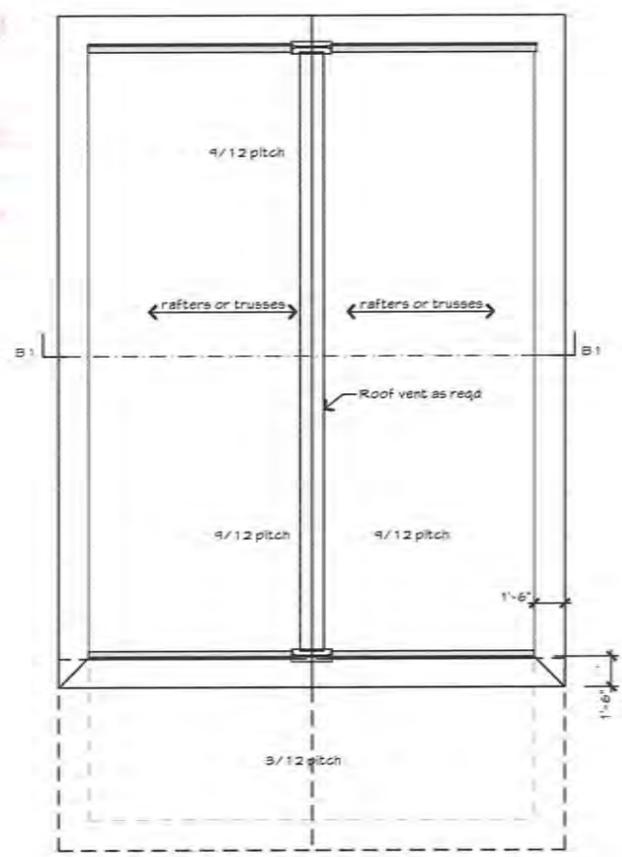


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11/5/14

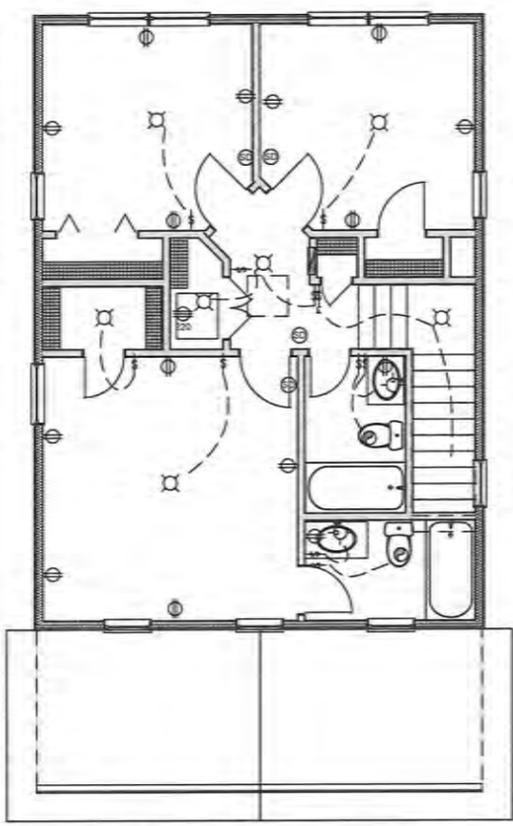
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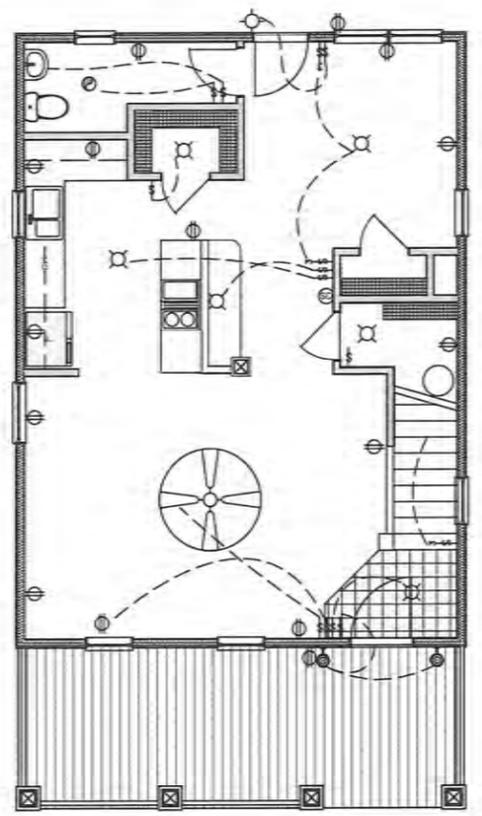
APPROVED
 Charlotte
 Comments of Approprate
 247-00167



Roof plan
 scale 3/16" = 1'-0"



Electrical - Floor 2 Plan
 scale 3/16" = 1'-0"

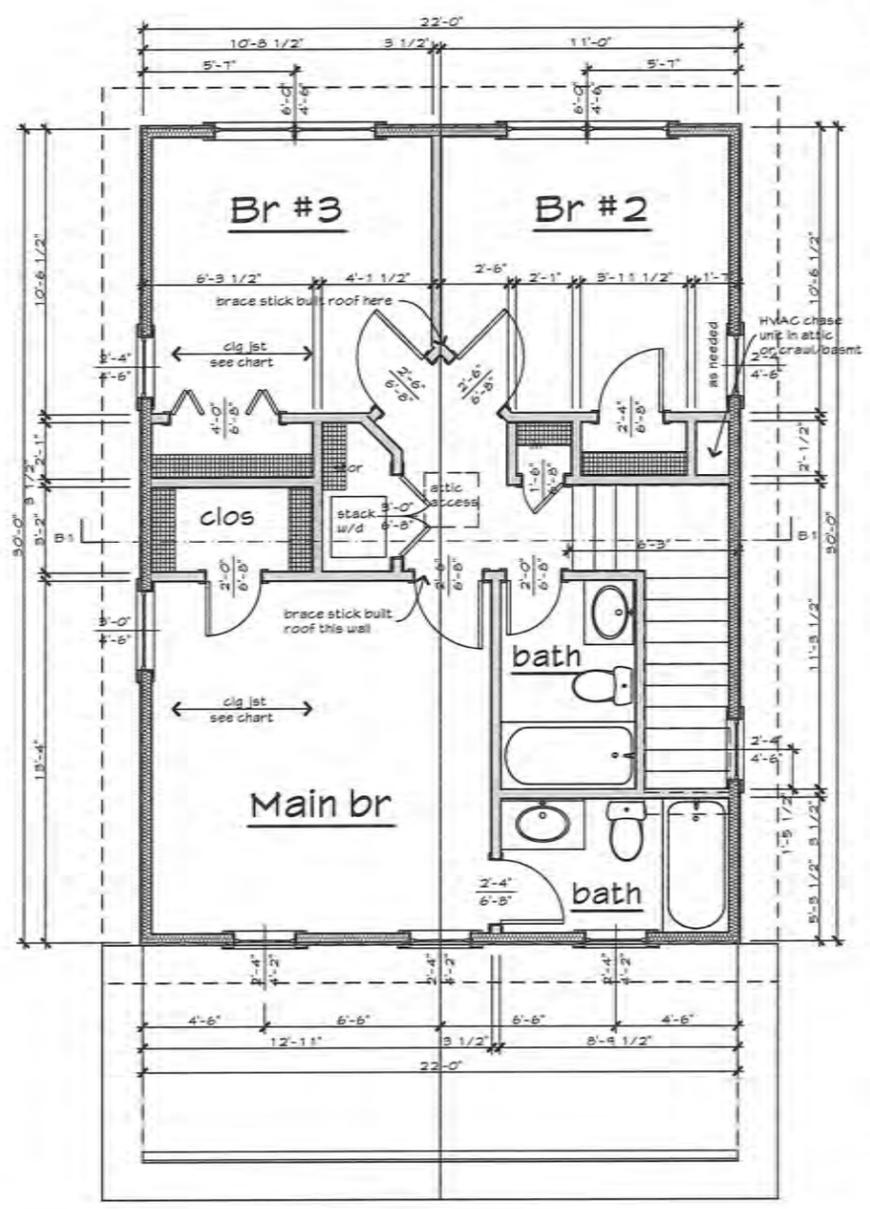


Electrical - Floor 1 Plan
 scale 3/16" = 1'-0"

Door List					
Quantity	Width	Height	Type	Name	
1	1'-6"	6'-8"	Interior	RDO2 Swing	
1	2'-5"	6'-8"	Exterior Wood	RDO1 Door ST	
1	3'-0"	6'-8"	Exterior Wood	RDO1 Door ST	
1	3'-0"	6'-8"	Interior	RDO2 Swing	
1	4'-0"	6'-8"	Interior	RDO5 Bifold	
2	2'-0"	6'-8"	Interior	RDO2 Swing	
3	2'-5"	6'-8"	Interior	RDO2 Swing	
6	2'-4"	6'-8"	Interior	RDO2 Swing	
16					

Window List			
Quantity	W x H Size	Units	Wood Glad
1	2'-0"x3'-10"	Single	RW1-4 Doublehung
1	5'-4"x5'-2"	Triple	RW1-4 Doublehung
2	2'-0"x3'-0"	Louver	RW1-1 Stationary
2	2'-4"x4'-6"	Twin	RW1-4 Doublehung
2	2'-4"x6'-2"	Single	RW1-4 Doublehung
2	3'-0"x4'-6"	Single	RW1-4 Doublehung
2	6'-0"x4'-6"	Twin	RW1-4 Doublehung
3	2'-4"x4'-2"	Single	RW1-4 Doublehung
4	2'-4"x4'-6"	Single	RW1-4 Doublehung
19			

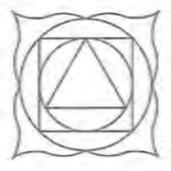
All windows to be wood windows



Floor 2 plan
 scale 1/4" = 1'-0"



standard contract document
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