
LOCAL HISTORIC DISTRICT: Plaza Midwood

PROPERTY ADDRESS: 1418 Hamorton Place

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: Benjamin Lippincott, applicant

Details of Proposed Request

Existing Conditions

The existing structure is a 1-story Craftsman bungalow house constructed in 1930. Other features include front clipped gable roof, partial width front porch with a matching clipped gable roof supported by square wood columns atop brick piers, 4/1 windows, exposed rafter and bracket details. House height as measured from grade to ridge is 18'-9". The lot size is approximately 46' x 148'.

Proposal

The proposal is an addition that raises the main ridge approximately 7'-6". The addition adds a cross gable roof that will eliminate the exposed rafters on the left and right elevations. A second story will be added to an existing one-story element on the rear elevation. A two-story covered terrace/deck will be added to the rear. Materials are 5" wood German siding to match existing and wood or aluminum clad windows to match existing. All details (corner boards, brackets, window trim, etc.) will be wood to match existing. A 32" Oak tree is located near the left corner of the addition. No changes to existing window openings on first floor.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

Staff has the following concerns with the proposal:

1. Height, massing, scale, directional expression, roof form, context.
2. Tree protection plan needed for the 32" Oak.
3. Minor revisions may be reviewed by staff.



Existing Conditions



Context/Adjacent Structures





Site Plan/Survey

I, Brian A. McRorie, certify that this map was drawn under my supervision from an actual survey made under my supervision on the 3rd day of December 2018; and that the boundary lines and improvements, if any, are as shown hereon. The ratio of precision as calculated before any adjustments is 1' : 30,000'+ of perimeter surveyed. This map meets the requirements of the Standards of Practice for Land Surveying in North Carolina. (21 NCAC 56.1600)

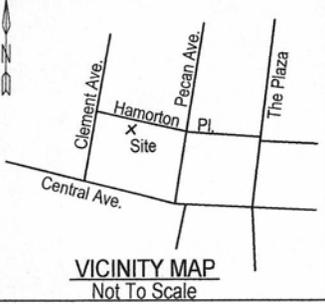
Brian A. McRorie

N.C. Professional Land Surveyor No. 3712

McRorie Land Surveying, P.A.
 Firm No. C-4059
 712 East 34th Street
 Charlotte, N.C. 28205
 704-492-5768

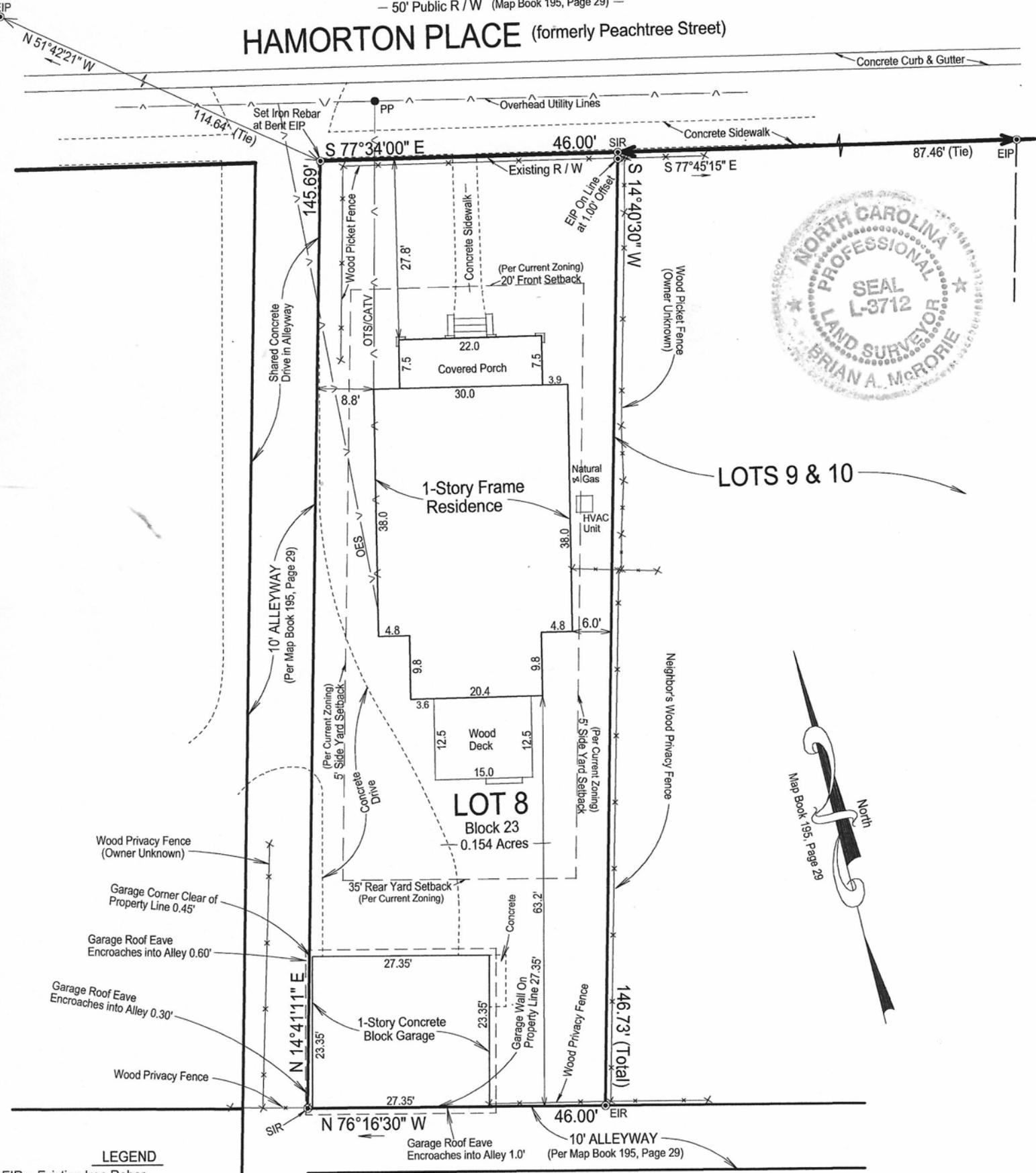
NOTES:

- Total Area = 0.1543 Acres (6,722.6' sq.ft.)
Area Computed By Coordinate Method.
- Rights-Of-Way, Easements, Building Setback Lines As Shown Hereon Are Per Recorded Map And/OR Deed As Referenced Unless Otherwise Noted.
- Property May Be Subject To Additional Recorded Or Unrecorded Rights-Of-Way, Easements, Building Setback Lines, Or Other Restrictive Covenants That May Be Revealed By A Complete Title Examination.
- Subject Property Currently Zoned R-5
Any Building Setback Lines Shown Hereon That Are Referenced To Current Zoning Are Subject To Interpretation By The Proper Zoning Administration, And Should Be Verified Prior To Any Planning Or Construction.
- All Underground Utilities Not Located.

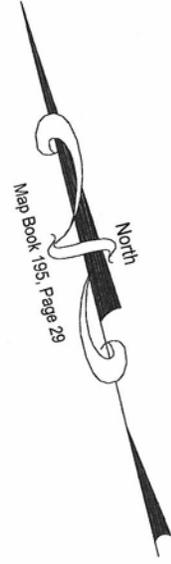


— 50' Public R / W (Map Book 195, Page 29) —

HAMORTON PLACE (formerly Peachtree Street)



LOTS 9 & 10



LEGEND

- EIR = Existing Iron Rebar
- EIP = Existing Iron Pipe
- SIR = Set Iron Rebar
- ECM = Existing Concrete Monument
- CP = Computed Point
- R / W = Right-Of-Way
- C / L = Centerline
- B / C = Back Of Concrete Curb
- EP = Edge Of Asphalt Pavement
- PP = Power Pole
- OES = Overhead Electric Service
- OUL = Overhead Utility Lines
- OTS = Overhead Telephone Service
- UGU = Underground Utilities (Approximate)
- TeleComm. = Telecommunications Box
- RCP = Reinforced Concrete Drainage Pipe
- Property Line —————
- Street R / W —————
- Adjoiner Property Line ————
- Not Surveyed - - - - -
- Broken Scale <----->

BOUNDARY & PHYSICAL Survey for

BEN LIPPINCOTT

of Lot 8, Block 23 of OAKHURST LAND CO.

Recorded in Map Book 195, Page 29, Deed Book 28806 Page 672

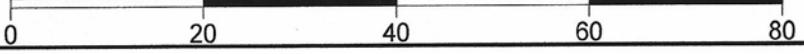
City Of Charlotte, Mecklenburg County, State of North Carolina

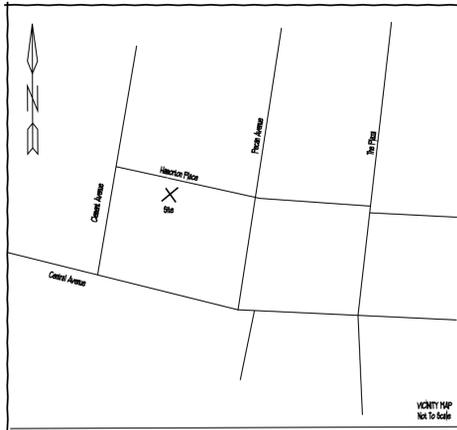
Address: 1418 Hamorton Place Tax Parcel No. 081-175-19

Now or Formerly The Property Of Benjamin E. Lippincott

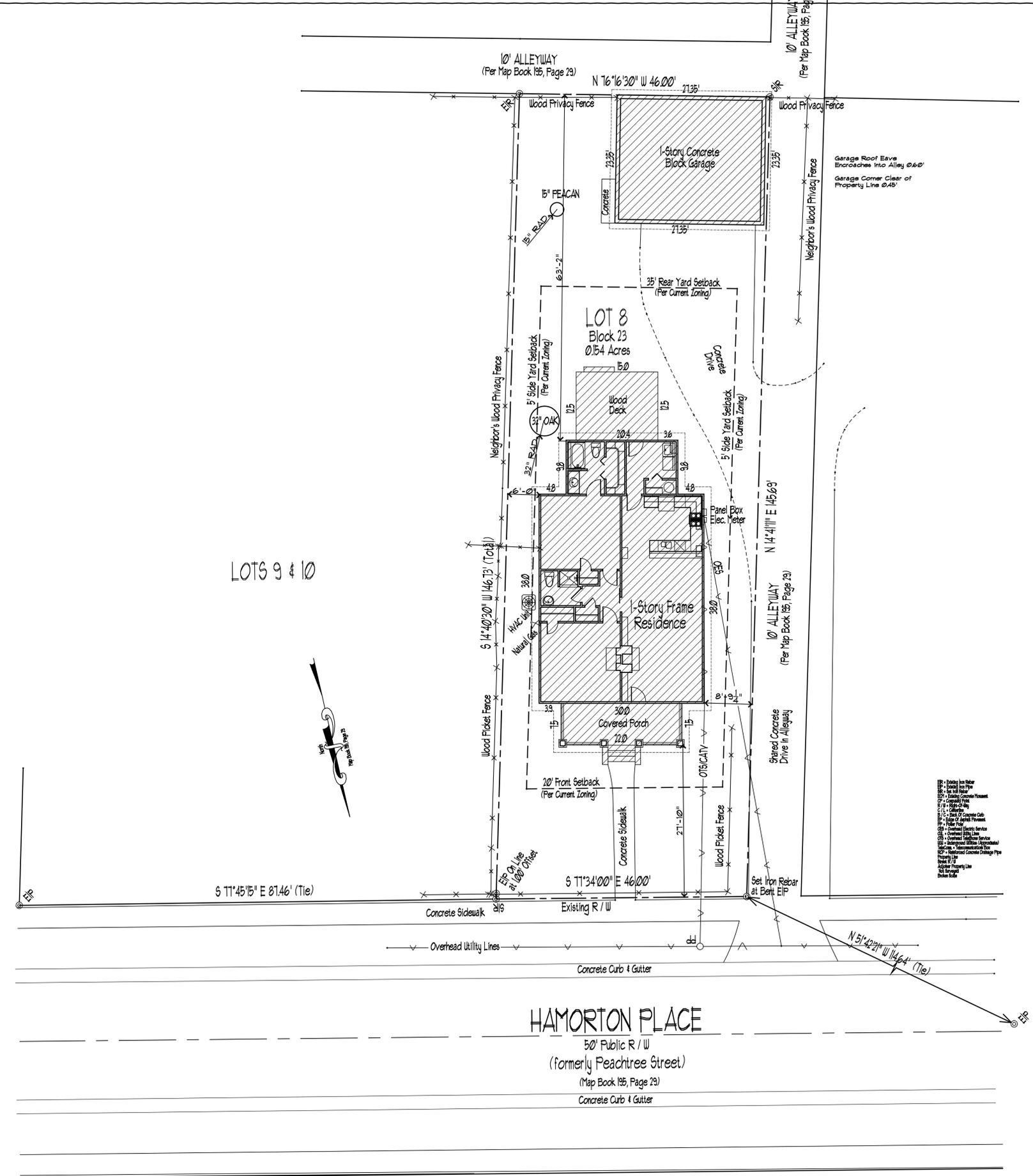
Graphic Scale: 1" = 20'

Date: 12-03-18





VICINITY MAP
Not To Scale



LOTS 9 & 10

HAMORTON PLACE

50' Public R/W
(formerly Peachtree Street)
(Map Book 135, Page 29)
Concrete Curb & Gutter

EXISTING SITE PLAN

Scale: 1" = 10'-0"

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Revision	Date

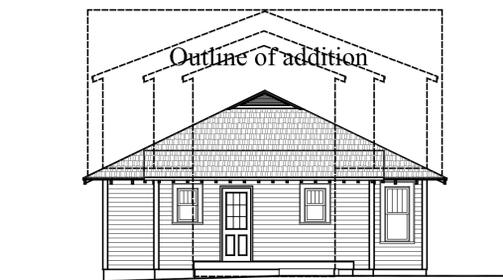
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SHEET NUMBER: L1.0

EXISTING
SITE
PLAN

L1.0

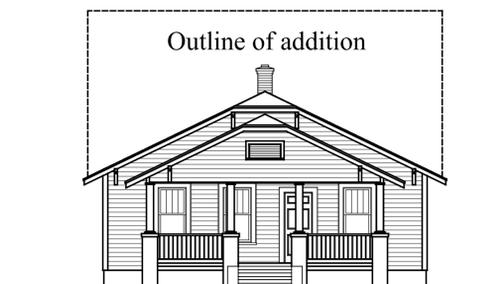
Front & Rear Elevations - Existing and Proposed



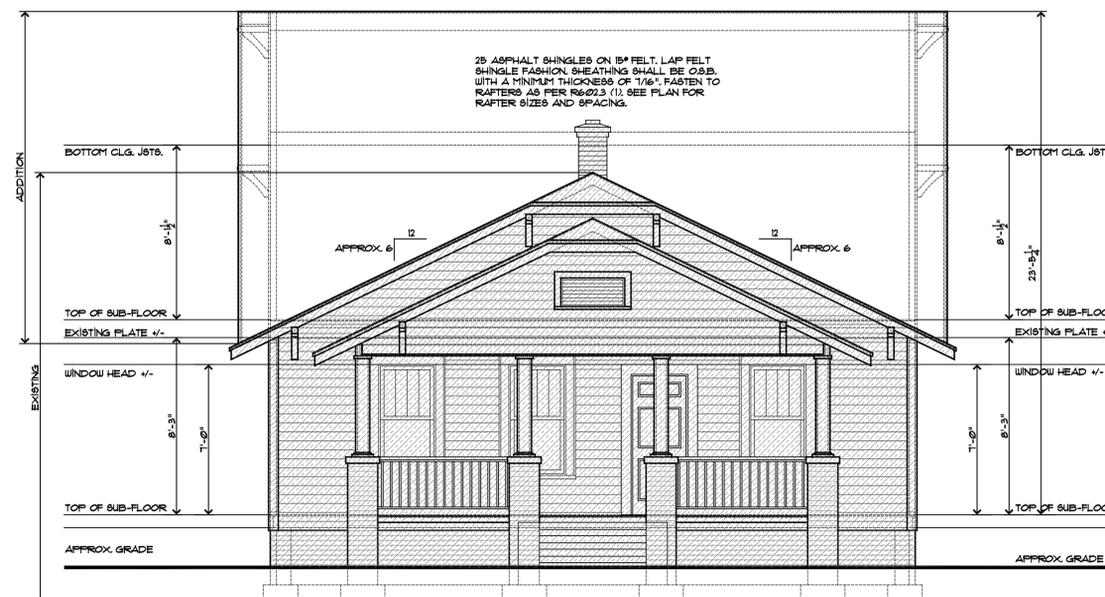
Existing Rear Elevation
Scale: 1/4"=1'-0"



Proposed Rear Elevation
Scale: 1/4"=1'-0"



Existing Front Elevation
Scale: 1/4"=1'-0"



Proposed Front Elevation
Scale: 1/4"=1'-0"



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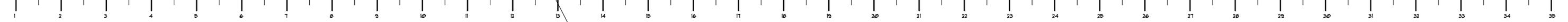
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SHEET NUMBER: A4.0

PROPOSED FRONT & REAR ELEVATIONS

A4.0

Left & Right Elevations - Existing and Proposed



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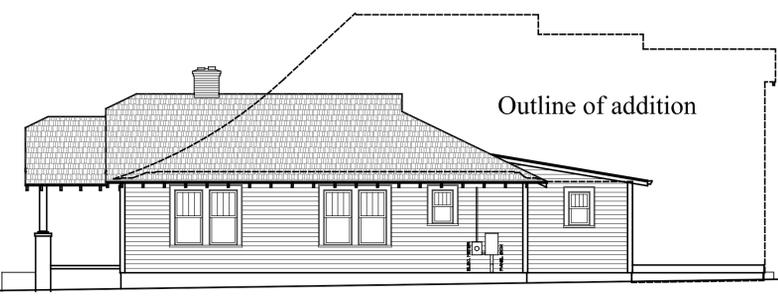
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1/ ABC	

DATE: 16 January 2019

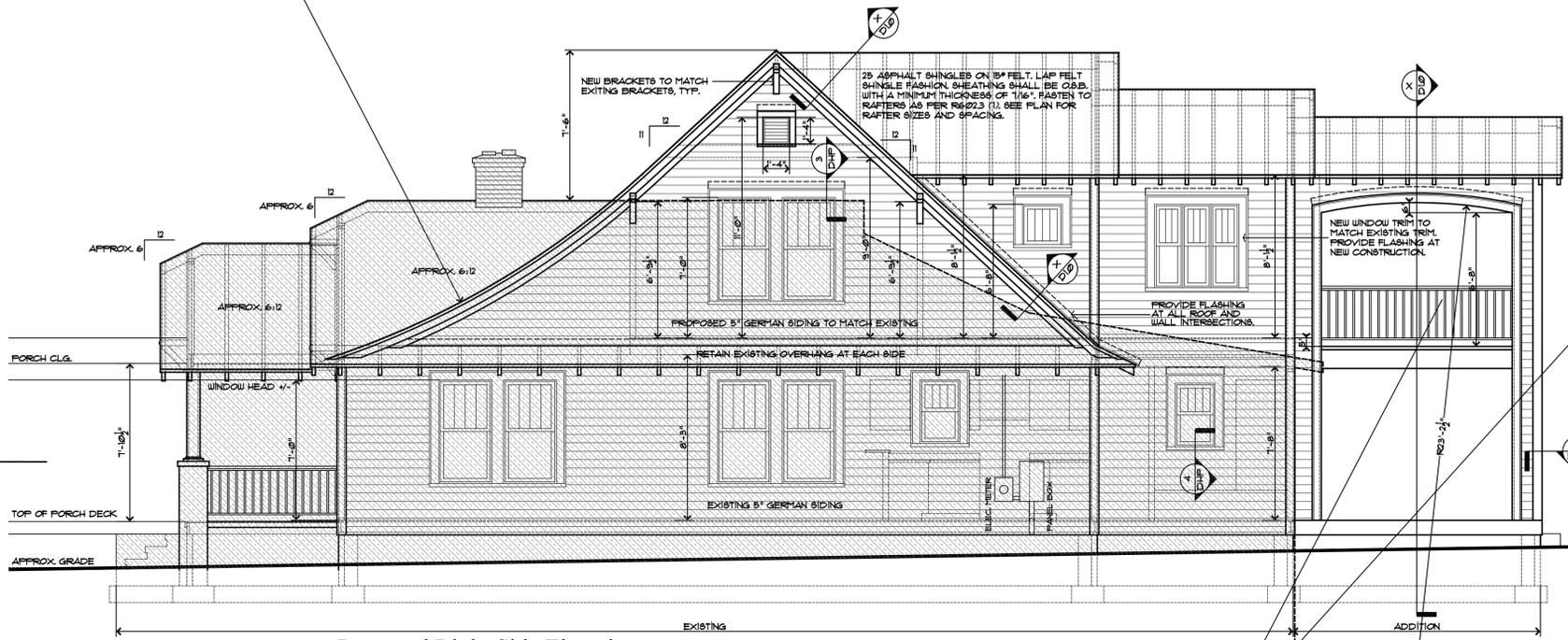
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 SHEET NUMBER: A5.0

PROPOSED
 RIGHT & LEFT SIDE
 ELEVATIONS

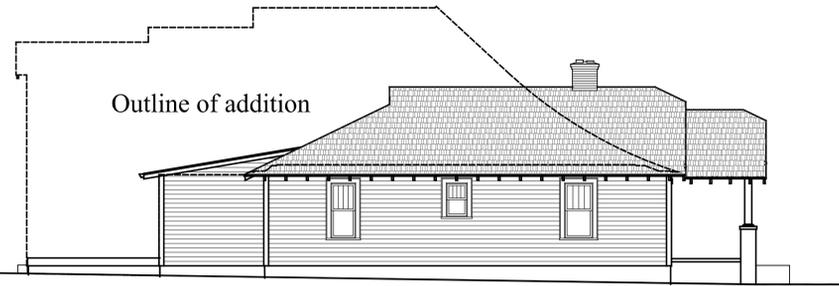
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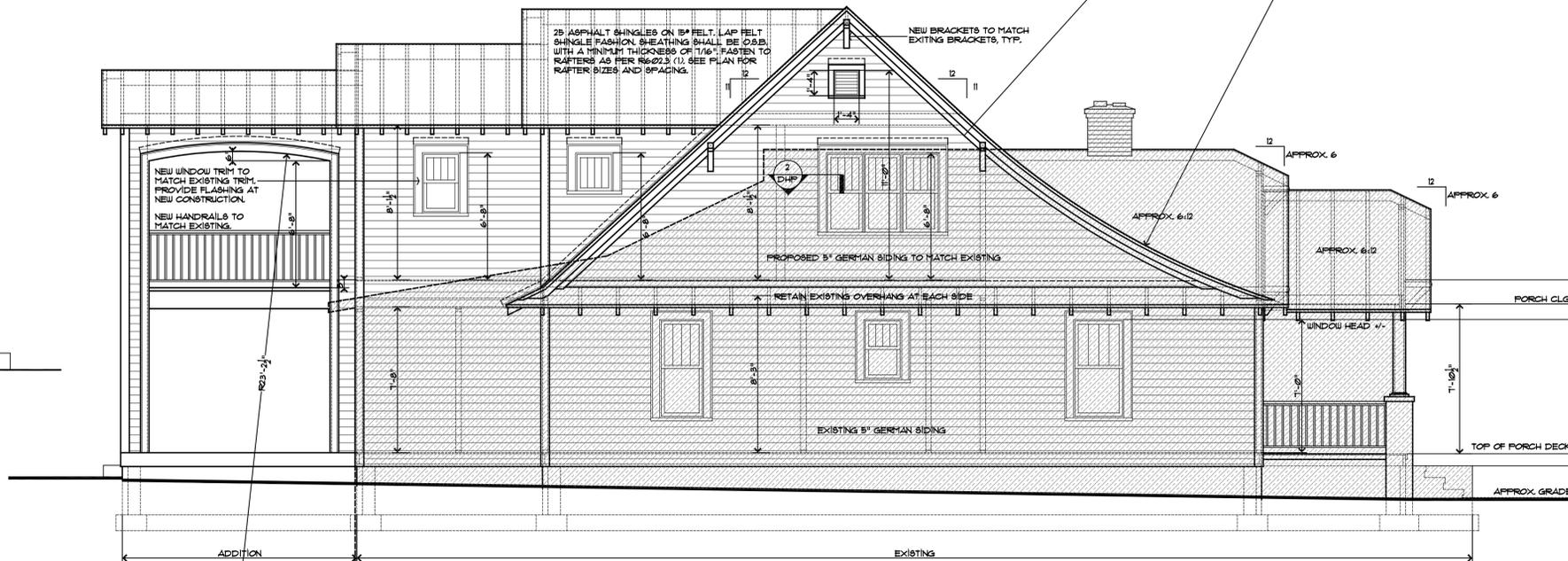
Existing Right Side Elevation
 Scale: 1/4"=1'-0"



Proposed Right Side Elevation
 Scale: 1/4"=1'-0"



Existing Left Side Elevation
 Scale: 1/4"=1'-0"



Proposed Left Side Elevation
 Scale: 1/4"=1'-0"

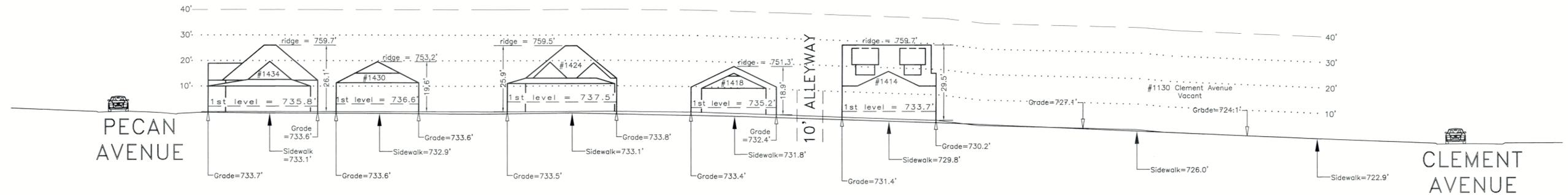
Streetscape Elevations

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 6th day of February, 2019.



A.G.Z.
 Andrew G. Zoutewelle
 Professional Land Surveyor
 NC License No. L-3098



H A M O R T O N P L A C E

A.G. ZOUTEWELLE
SURVEYORS
 1418 East Fifth St. Charlotte, NC 28204
 Phone: 704-372-9444 Fax: 704-372-9555
 Firm Licensure Number C-1054

Building Heights Sketch of
 1400 BLOCK of HAMORTON PLACE
 FACING SOUTHWEST – EVEN SIDE
 CHARLOTTE, MECKLENBURG COUNTY, N.C.
 for Charlotte-Mecklenburg Planning Department
 February 5, 2019

General Notes:

1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

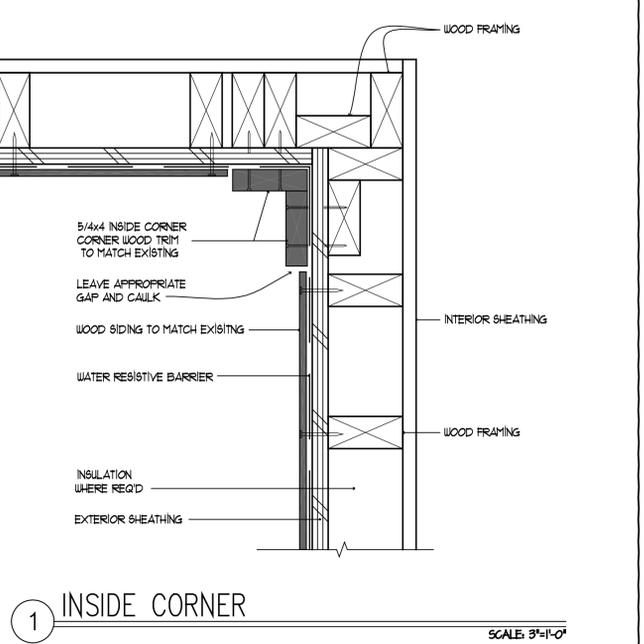
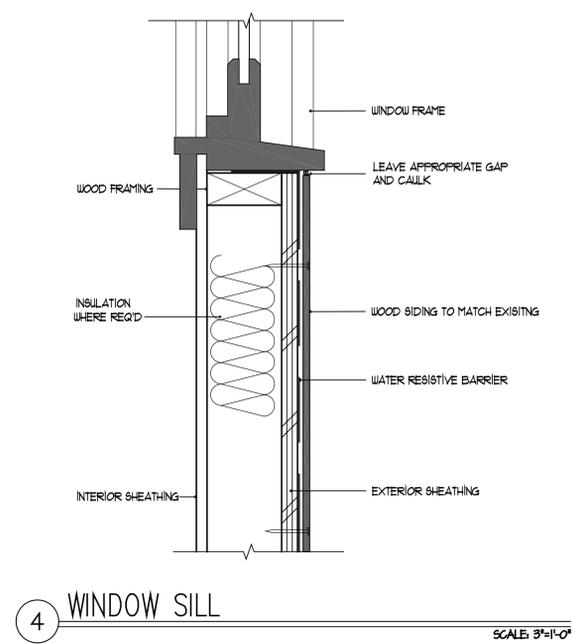
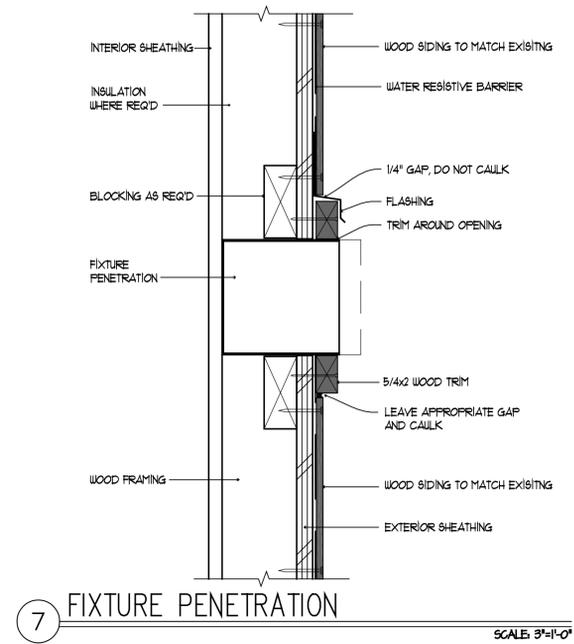
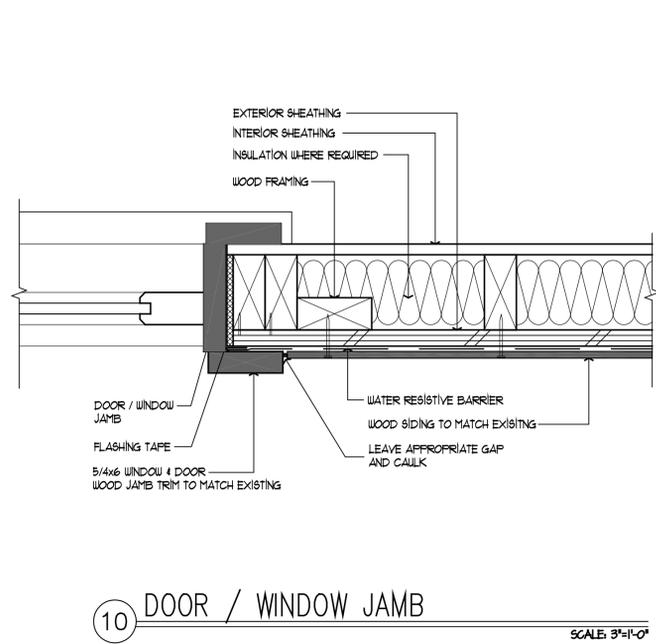
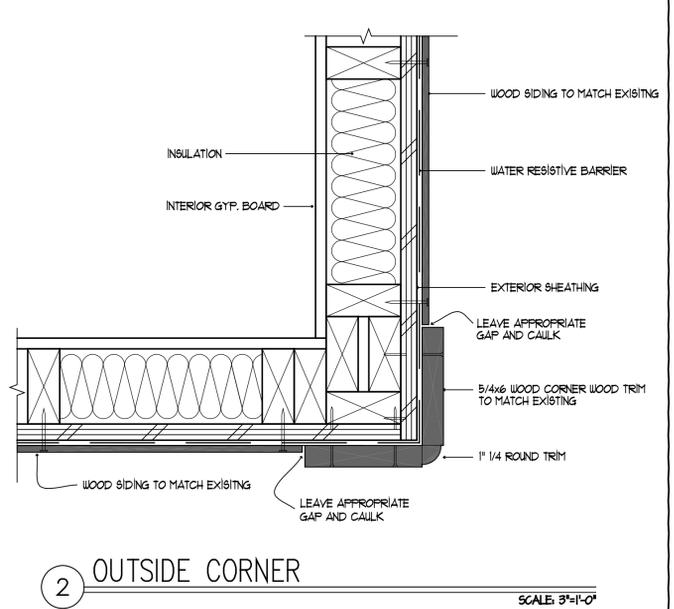
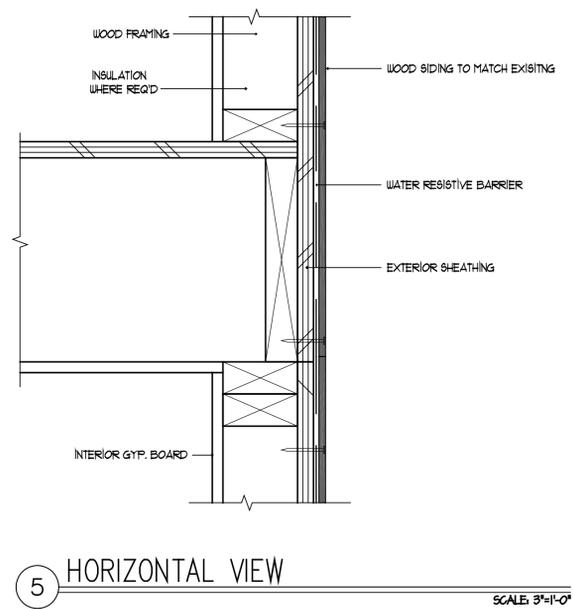
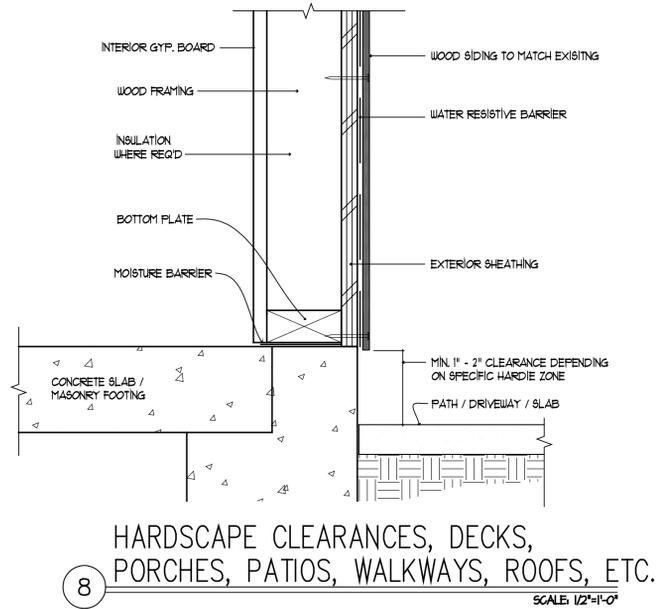
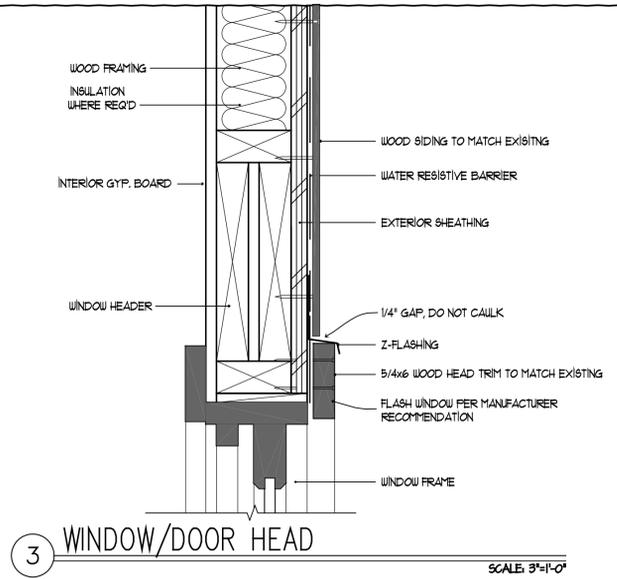
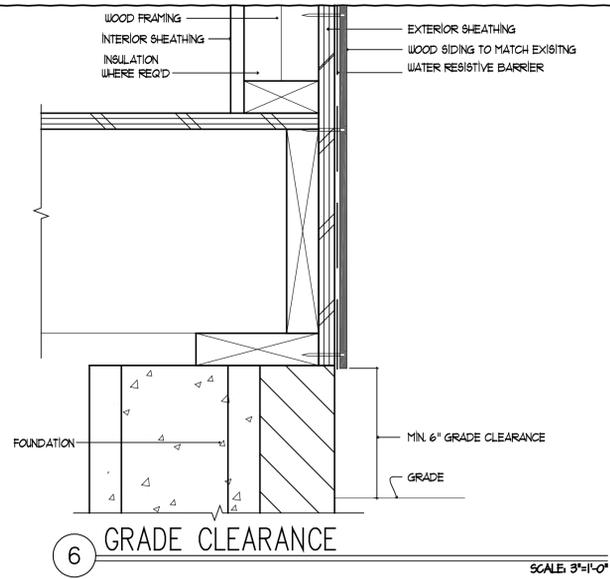


Architectural Details

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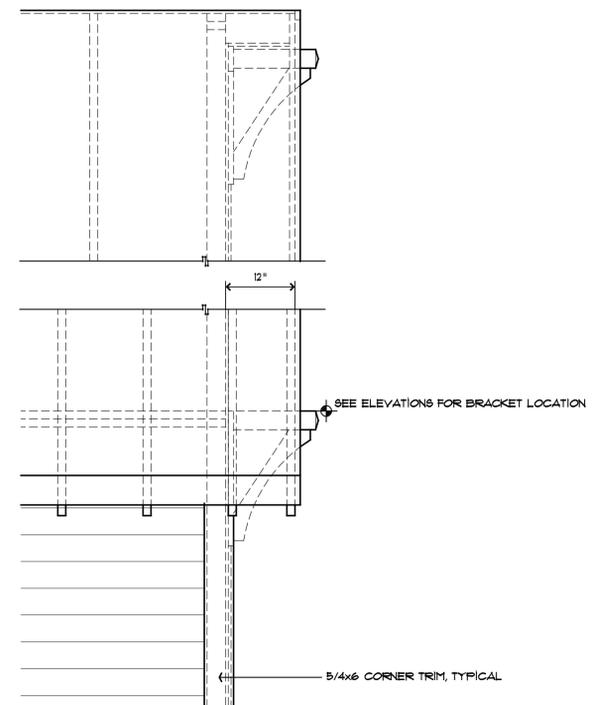
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DETAIL
SHEET
TRIM

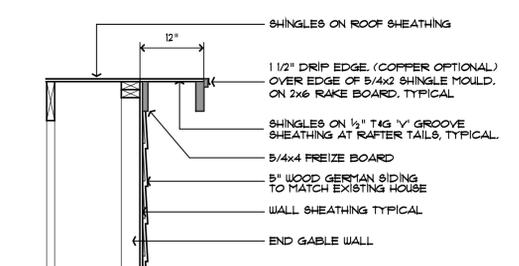
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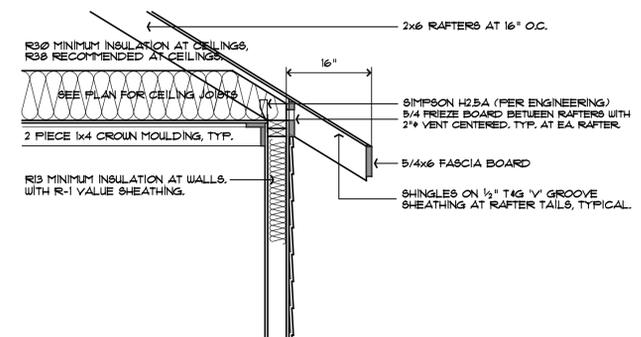
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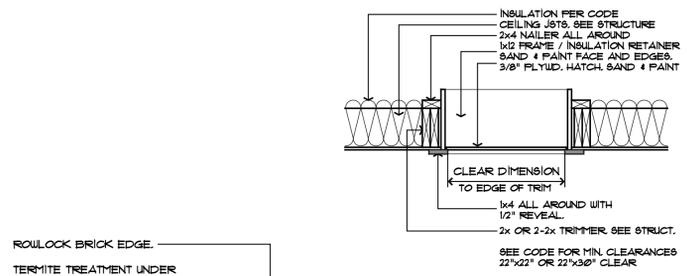
3 TYPICAL EAVE PROFILE
Scale: 3/4"=1'-0" (NON-STRUCTURAL BRACKETS)
PRIME AND BACK PRIME ALL EXTERIOR TRIM.



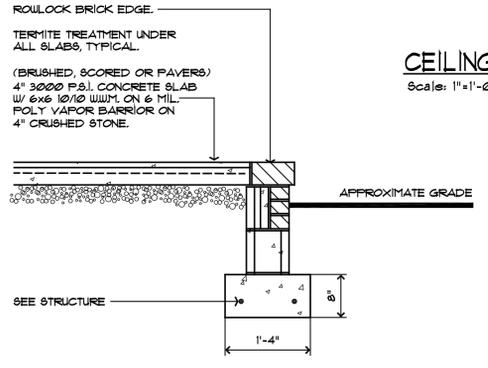
2 TYPICAL RAKE DETAIL
Scale: 3/4"=1'-0"
PRIME AND BACK PRIME ALL EXTERIOR TRIM.



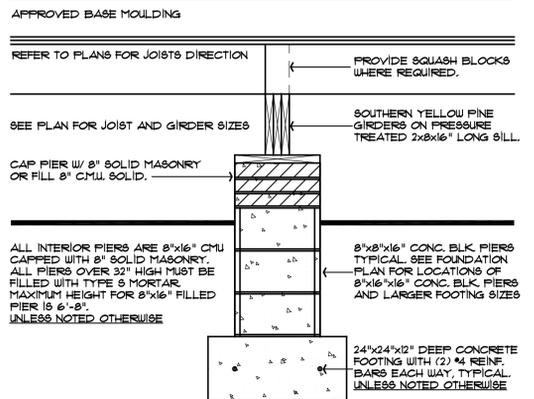
1 TYPICAL EAVE DETAIL
Scale: 1-1/2"=1'-0"
PRIME AND BACK PRIME ALL EXTERIOR TRIM.



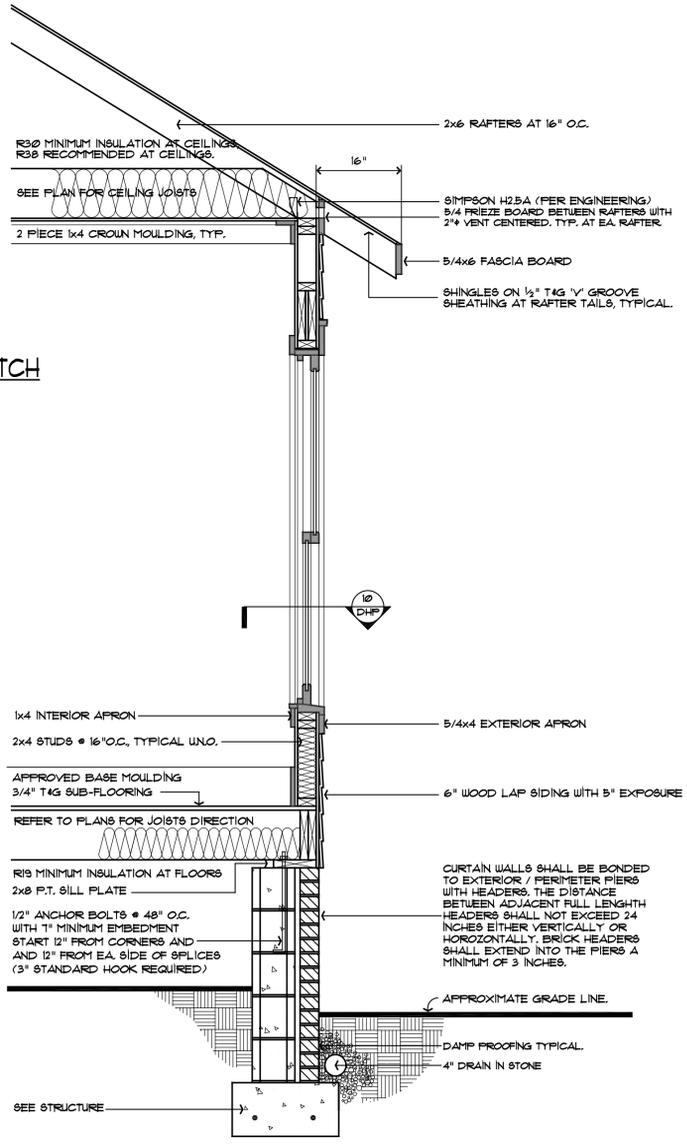
CEILING ATTIC ACCESS HATCH
Scale: 1"=1'-0"



6 OPTIONAL REAR PATIO PERIMETER
Scale: 3/4"=1'-0"



5 TYPICAL PIER DETAIL
Scale: 3/4"=1'-0"



4 TYPICAL WALL SECTION
Scale: 3/4"=1'-0"
PRIME AND BACK PRIME ALL EXTERIOR TRIM.



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DETAIL SHEET
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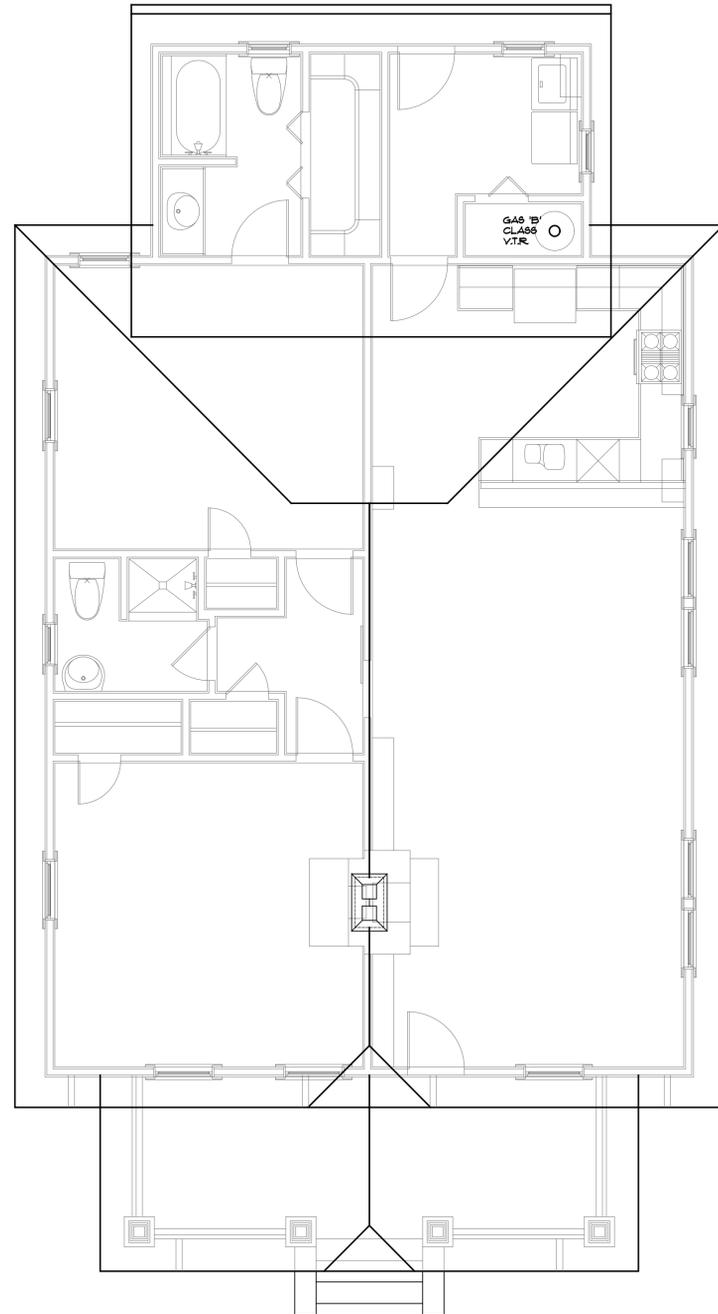
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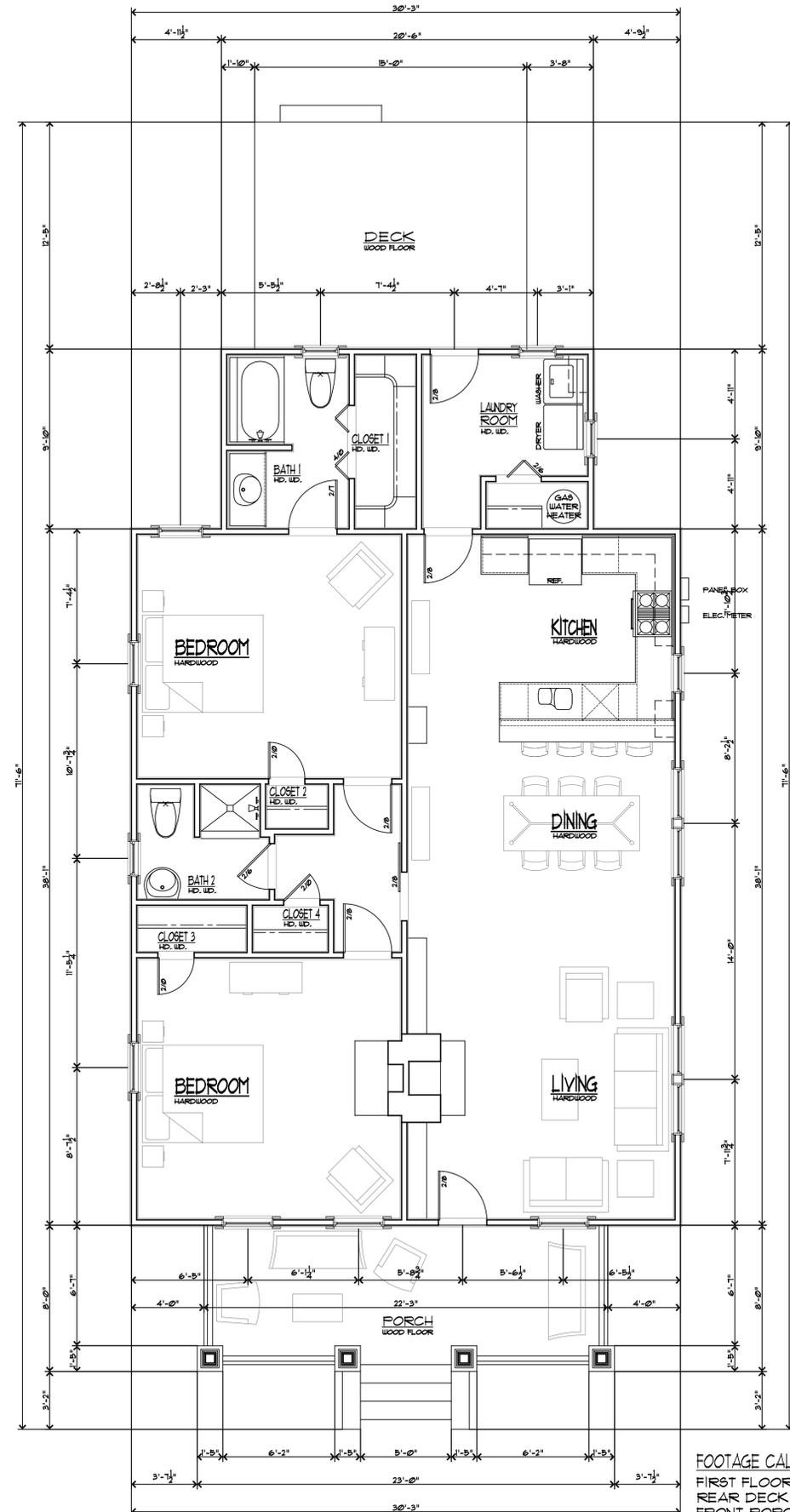
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Existing Roof Plan
Scale: 1/4"=1'-0"



Existing First Level Floor Plan
Scale: 1/4"=1'-0"

FOOTAGE CALCULATIONS

FIRST FLOOR	1354
REAR DECK	191
FRONT PORCH	194
TOTAL	1739
TOTAL HEATED	1354

*PORCH AND DECK SQ. FT. INCLUDES STEPS



DLMessenheimer@gmail.com
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1418 Hamorton Place
1418 Hamorton Place
Charlotte, North Carolina 28205

REVISIONS	DATE
1/ABC	

DATE: 16 January 2019

DRAWN BY: DLM
SHEET NUMBER: A1.0

EXISTING
FIRST FLOOR PLAN
AND ROOF PLAN

A1.0

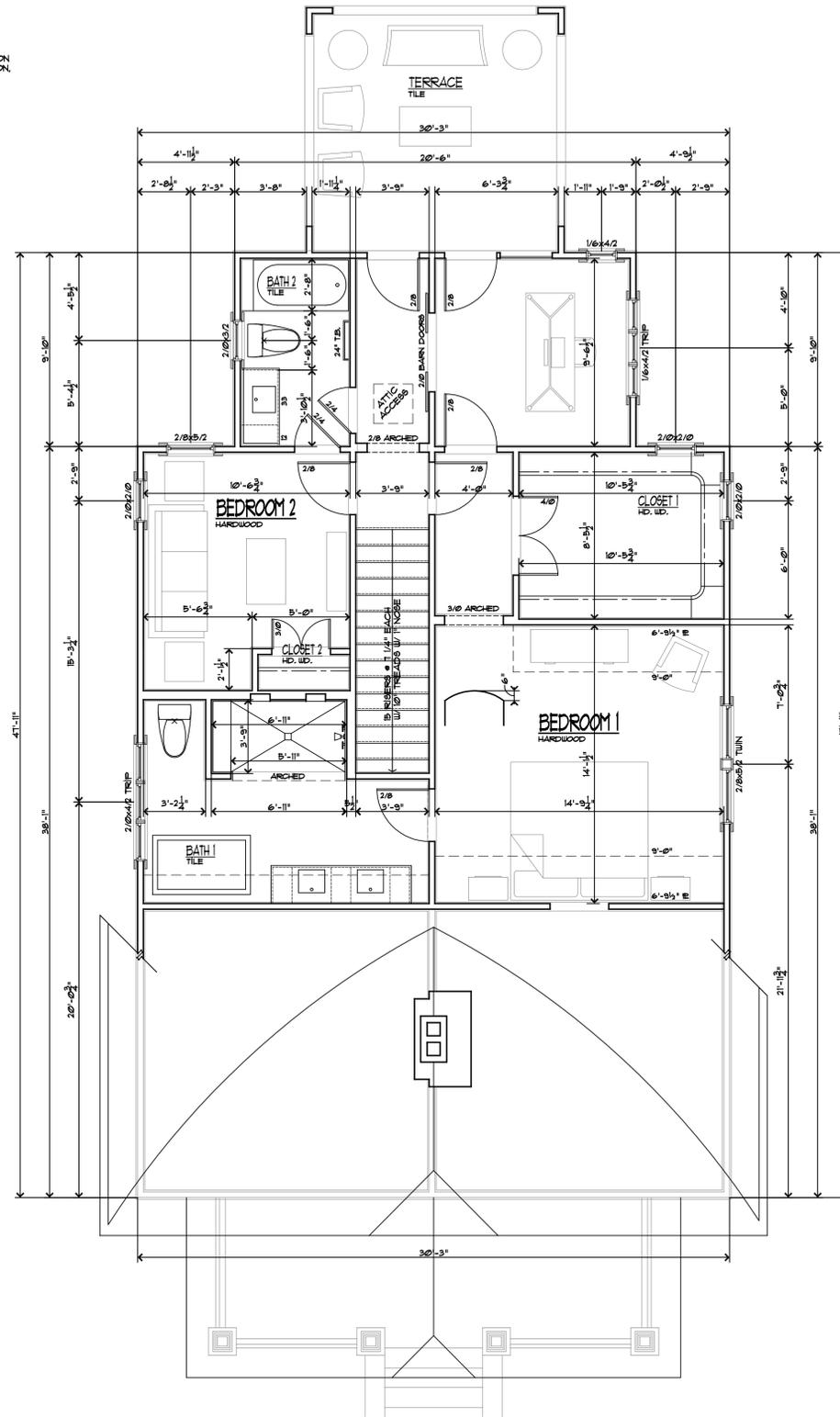
GENERAL NOTES APPLY TO ALL SHEETS:

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2. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION AND COORDINATE ANY CORRECTIONS OR REVISIONS WITH THE OWNER AND DESIGNER. MEISENHEIMER DESIGN 4 THE EUROPEAN DESIGN STUDIO, INC. WILL ASSUME NO LIABILITY FOR DIMENSIONAL ERRORS ONCE CONSTRUCTION BEGINS.
3. ALL STRUCTURAL INFORMATION HAS BEEN PROVIDED BY A PROFESSIONAL ENGINEER. THE APPEARANCE OF HIS PROFESSIONAL ENGINEERING SEAL CONFIRMS THAT ALL STRUCTURAL INFORMATION HAS BEEN CHECKED AND APPROVED FOR CONSTRUCTION. CONTRACTOR SHALL COMMUNICATE ANY STRUCTURAL DISPUTES DIRECTLY WITH THE ENGINEER.
4. BY APPLYING FOR AND OBTAINING A BUILDING PERMIT FOR THESE DOCUMENTS, THE CONTRACTOR AFFIRMS THAT HE OR SHE HAS REVIEWED & APPROVED THESE CONSTRUCTION DOCUMENTS AS IS AND ACCEPTS ALL PARTS OF THESE CONSTRUCTION DOCUMENTS AS SHOWN.
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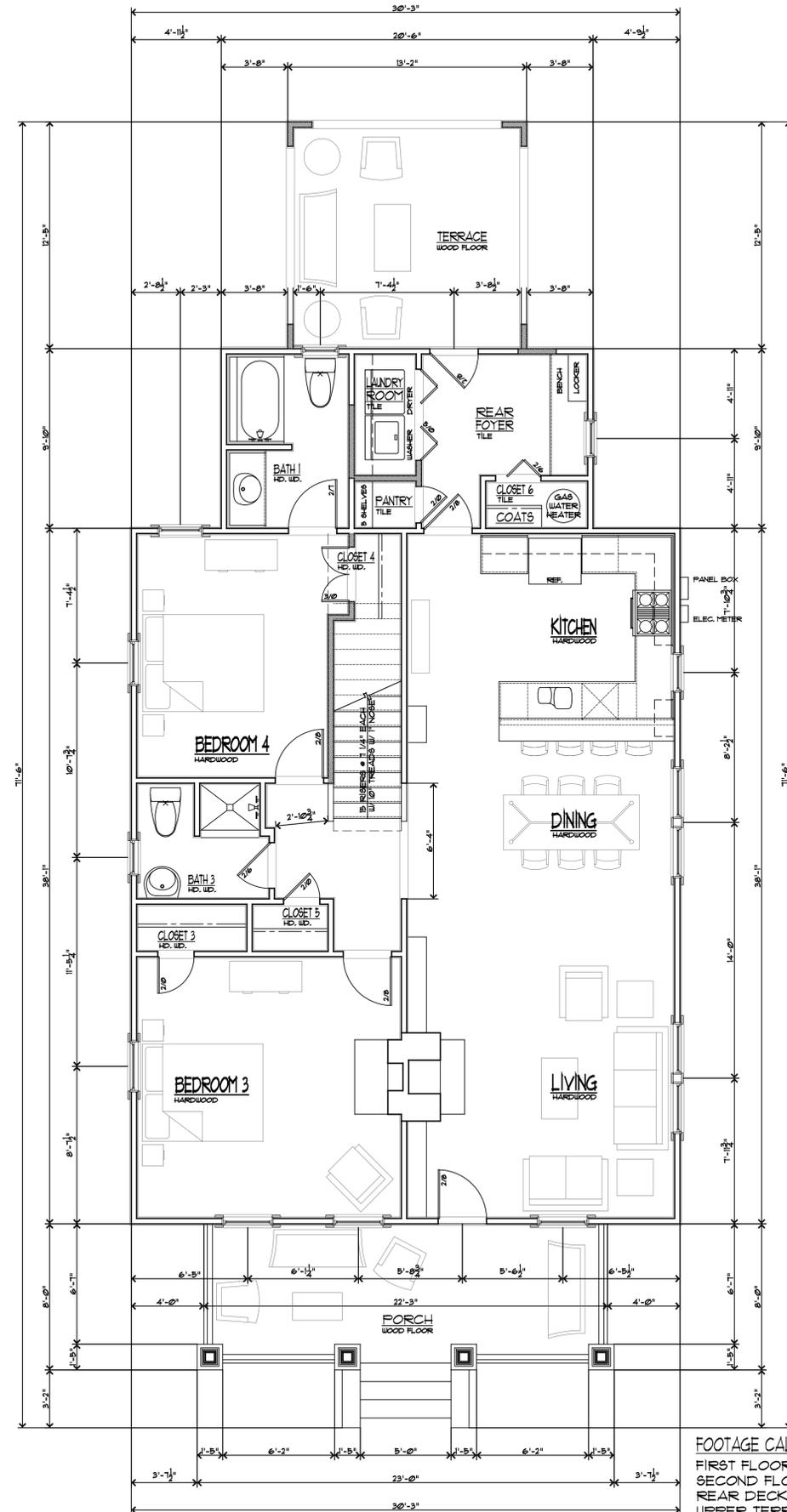
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Proposed Second Level Floor Plan
Scale: 1/4"=1'-0"



Existing First Level Floor Plan
Scale: 1/4"=1'-0"

FOOTAGE CALCULATIONS

FIRST FLOOR	1354
SECOND FLOOR	911
REAR DECK	163
UPPER TERRACE	163
FRONT PORCH	194
TOTAL	2785
TOTAL HEATED	2265

*PORCH SQ. FT. INCLUDES STEPS



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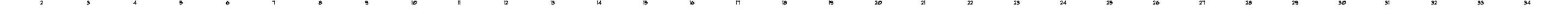
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PROPOSED
FIRST FLOOR AND
SECOND FLOOR PLANS

A3.0



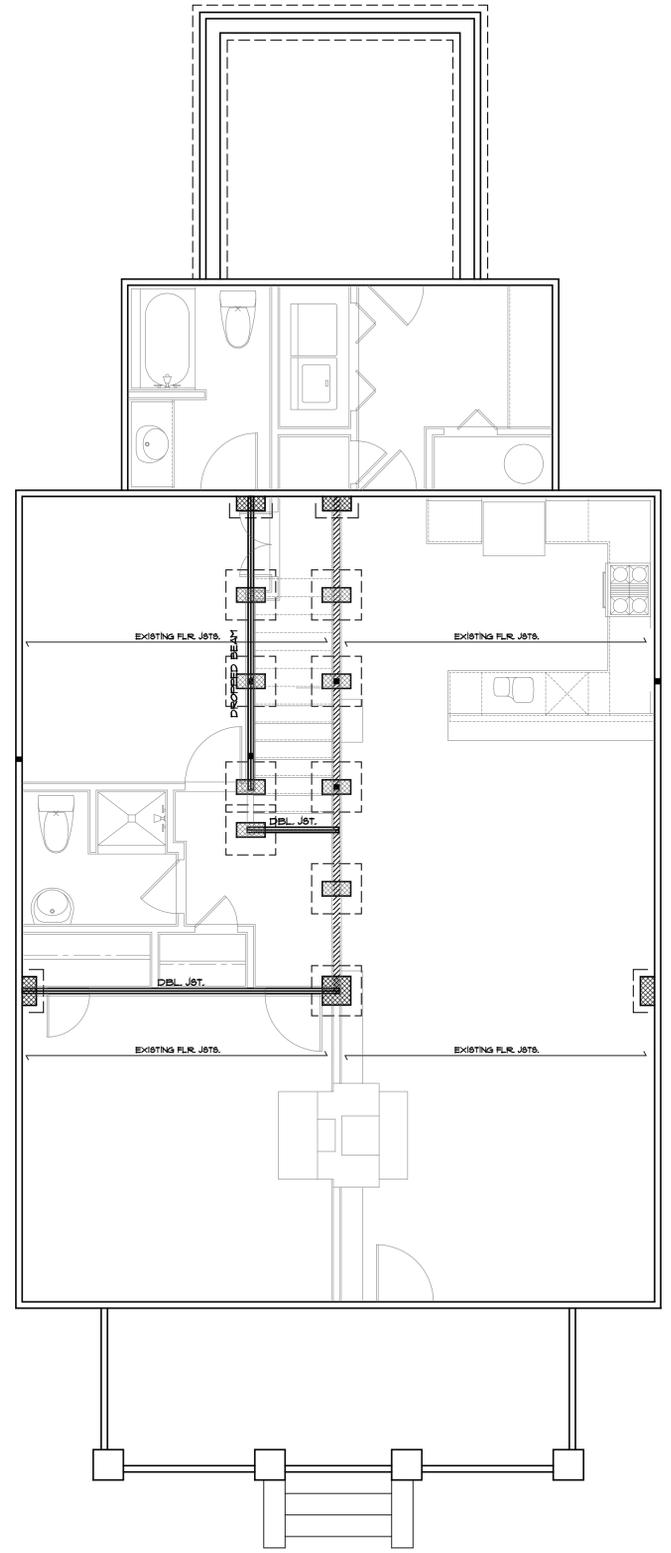
NOTE TO BUILDERS AND/OR LUMBER SUPPLIERS:
DO NOT ALTER THE FRAMING PLANS. ANY
CHANGES MADE WITHOUT THE REVIEW AND
APPROVAL OF THE ENGINEER OF RECORD SHALL
ABSOLVE HIM OR HER OF ALL RESPONSIBILITY
FOR ALL ASPECTS OF THE ENGINEERED DESIGN.

HOWARD VERNA ENGINEERING'S
STANDARD NOTES SHALL BE USED
WITH THESE PLANS. THE ENGINEER
OF RECORD DOES NOT ACCEPT
RESPONSIBILITY FOR ANY PART
OF THE PLANS NOT RELEVANT TO
THE STRUCTURAL INFORMATION.

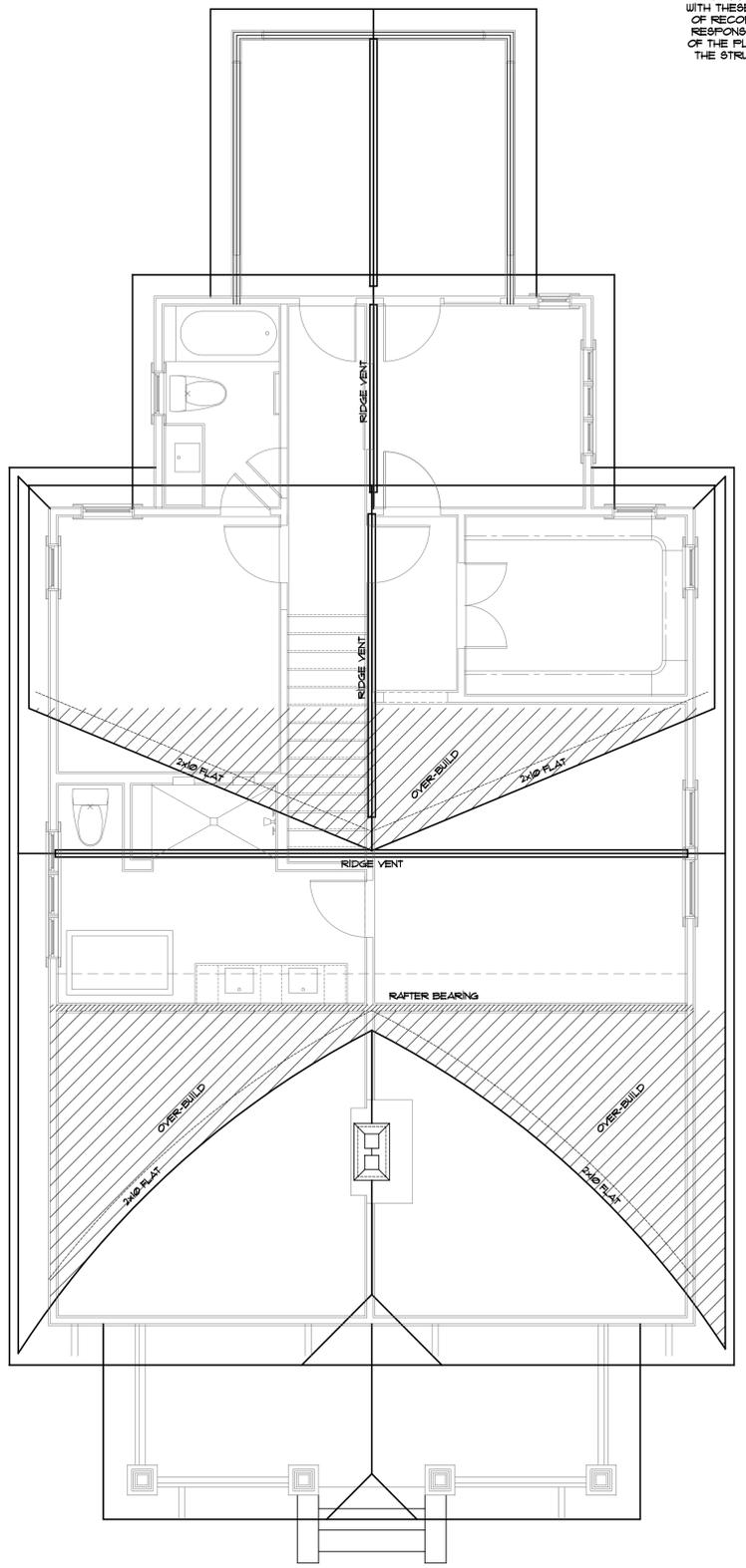
HE
Howard - Verna Engineering, P.C.
5109-A Monroe Rd.
Charlotte, NC 28205
704-531-9219
NC License #C-3328 SC License #4185



1418 Hamorton Place
1418 Hamorton Place
Charlotte, North Carolina 28205



Proposed Foundation Plan
Scale: 1/4"=1'-0"



ATTIC VENTILATION CALCULATIONS
~~1/31 OF DIVIDED BY 300 OF 566 SQUARE FEET OF VENT AREA REQUIRED~~
~~2893 SQUARE FEET OF VENT AREA PROVIDED~~
Proposed Roof Plan
Scale: 1/4"=1'-0"

REVISIONS	DATE
1. ABC	

DATE: 16 January 2019

DRAWN BY: DLM
SHEET NUMBER: S1.0

PROPOSED
FOUNDATION &
ROOF PLAN

S1.0