



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCADMRM-2018-00467

DATE: 15 November 2018

ADDRESS OF PROPERTY: 1712 Euclid Ave

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER: 12307508

Applicant: Jeff Cangro / Starr Design

DETAILS OF APPROVED PROJECT: Addition of an Underground Backflow Preventer.

The backflow preventer will be approximately 6.5' from the front exterior of the building and will be placed in a concrete vault entirely underground to be flush with the surrounding earth surface. Any removal of vegetation or grass will be replaced in kind. Any above ground/visual elements will be screened with appropriate plantings. See attached exhibits labeled "Site Plan – November 2018"

1. Applicable Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 2.6: Landscape & Site Features.
2. The applicable Design Guidelines for Site Appurtenances (page 8.8) have been met.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

James Haden, Chairman

Staff

1712 Euclid Avenue
Charlotte, NC 28203

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sign

Star Design, PLLC
455 West Morehead St., Ste. 200
Charlotte, NC 28208
V 704.377.5200
www.stardesignfirm.com



CONSTRUCTION DOCUMENTS

No.	Description	Date
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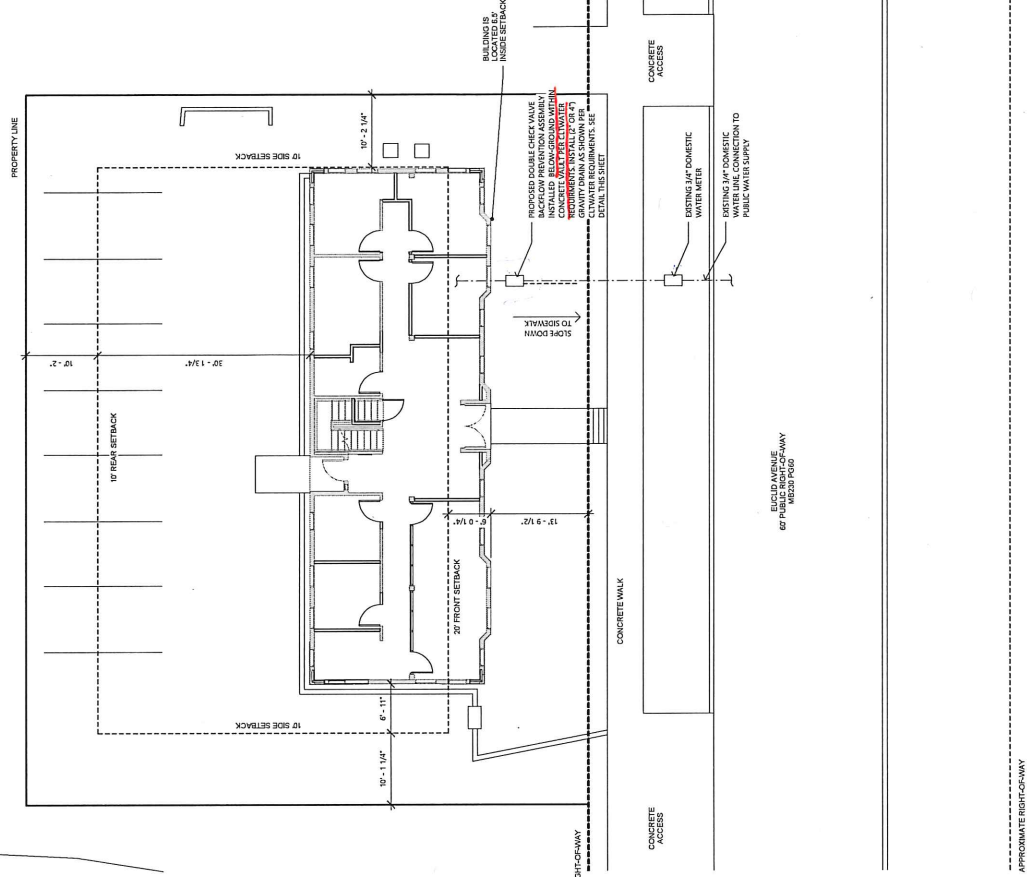
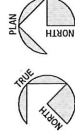
Steven A. Starr, AIA
Lic. # 11090
Signature Date: 07/16/18
Date of expiration 06/30/2019



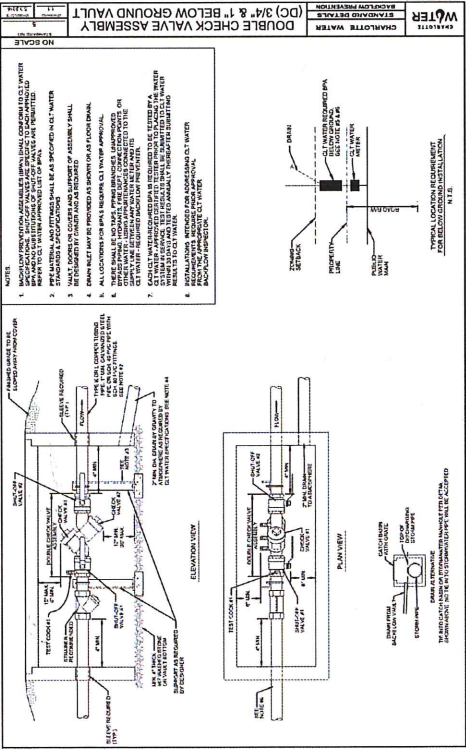
SITE PLAN

AS1.01

18GN006 | Starr Design, PLLC



1 SITE PLAN



PARCEL ID NO.: 123-075-08
ZONING: B-1 (NEIGHBORHOOD BUSINESS)
SITE AREA: 7,971 SF (0.183 AC)
TOTAL BUILDING FOOTPRINT AREA +/-: 1,893 SF
ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
MINIMUM SETBACK: 20 FEET
MINIMUM SIDE YARD: NONE (NON-RESIDENTIAL)
MINIMUM REAR YARD: 10 YARD (NON-RESIDENTIAL)
MAXIMUM BUILDING HEIGHT: 40 FEET
PARKING (EXISTING):
REGULAR PARKING SPACES - 9
HANDICAPPED PARKING SPACES - 0
TOTAL PARKING SPACES - 9

APPROVED
Charlotte
Historic District
Commission

Certificate of Appropriateness

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SITE PLAN - November 2018