



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCADMRM-2018-00623

DATE: 10/30/2018

ADDRESS OF PROPERTY: 917 Berkeley Ave

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER: 12309207

OWNER(S): Michael & Jo Rizer

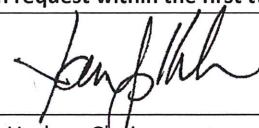
DETAILS OF APPROVED PROJECT: Replace Windows and Doors.

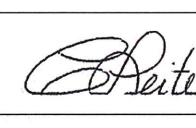
- Replace rear elevation door with a wood clad door, to include, Simulated True Divided Light (STD L) 7/8" molded muntins in a 12-grille pattern
- Remove non-historic windows to add wood clad fixed & operable quad door unit on left side elevation, to include, Simulated True Divided Light (STD L) 7/8" molded muntins in a 12-grille pattern
- Removal of two non-historic kitchen windows and replace with three wood casement windows, to include, Simulated True Divided Light (STD L) 7/8" molded muntins in an 8-grille pattern
- Removal of two non-historic windows and one non-historic door in pantry and replace with two double hung wood windows centered on the rear and left elevations, to include, Simulated True Divided Light (STD L) 7/8" molded muntins in an 6/6 pattern
- See attached drawings

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 2.6: Replacement windows and doors.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman


Staff

| Window Schedule | | | | | | | | |
|-----------------|-----------|-------|--------|----------|-------------|------------|------|----------|
| Window No. | Room | Size | Unit | Mull | Operation | Header Ht. | Type | Quantity |
| 1 | Kitchen | 72x60 | 2056-3 | standard | Casement | 8'-0" | wood | 1 |
| 2 | Pantry | 33x52 | 2822 | | double hung | 7'-6" | wood | 1 |
| 3 | Back Hall | 33x60 | 2826 | | double hung | 7'-6" | wood | 1 |

Notes:

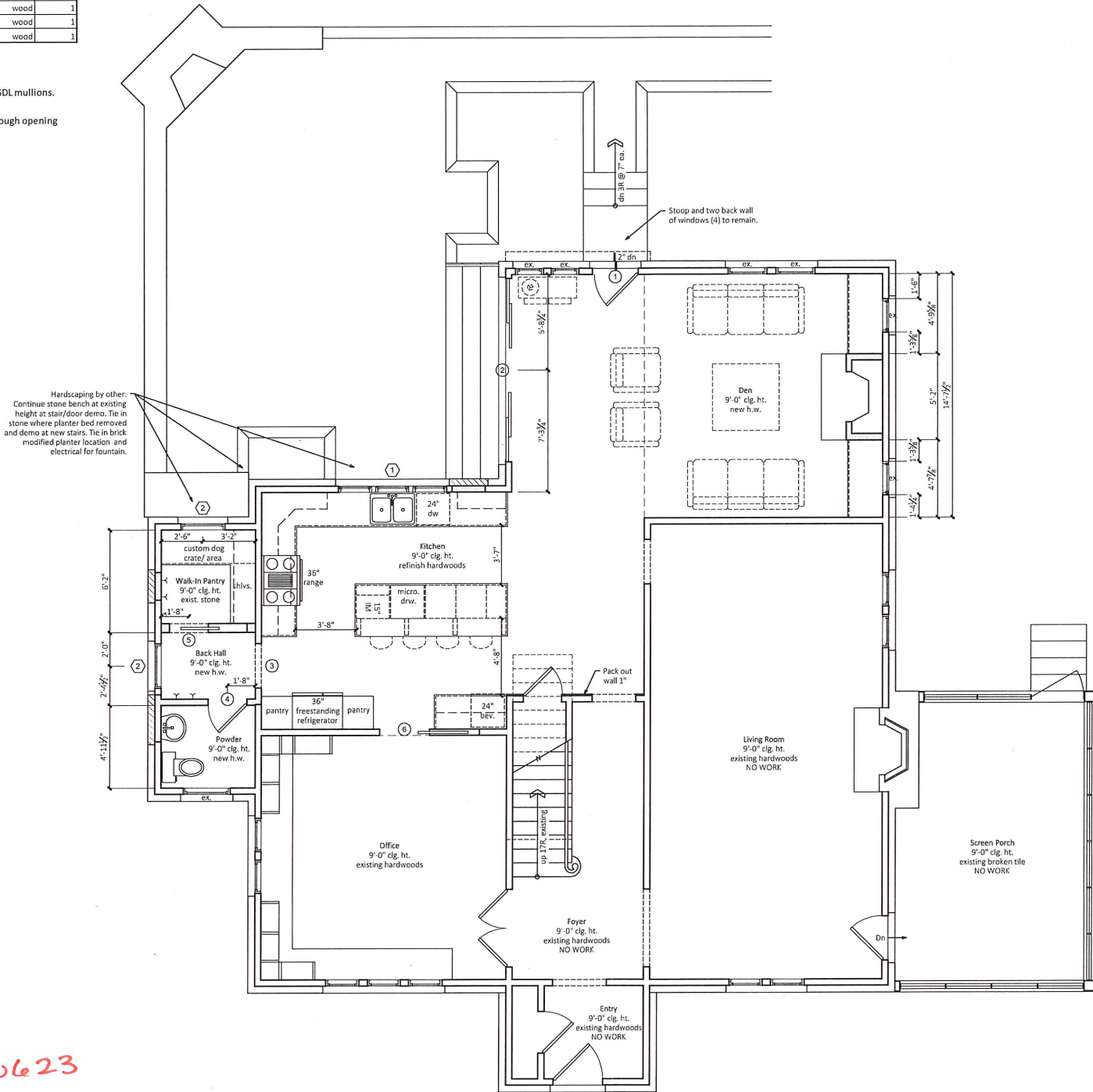
Windsor Pinnacle Series window doors. See plans for light patterns. All windows and doors to have 7/8" SDL mullions.

Window sizes are approximate unit sizes and NOT rough openings. Manufacturer shall dictate required rough opening requirements after field measurement is verified.

| First Floor Door and Cased Opening Schedule | | | |
|---|-------------|---|----------|
| Door No. | Room | Size Type | Quantity |
| 1 | Den | 2-8x8-0 clad door | 1 |
| 2 | Den | 11-0x8-0 clad fixed & operable quad door unit | 1 |
| 3 | Back Hall | 2-8x6-8 cased opening | 1 |
| 4 | Powder Room | 2-4x6-8 1-panel recessed panel | 1 |
| 5 | Pantry | 2-4x6-8 1-panel recessed panel (pocket door) | 1 |
| 6 | Office | 3-0x6-8 relocate existing pocket door | 1 |

Notes:

Door sizes are unit sizes and NOT rough openings. Determine exact RO required for door and frame per manufacturer specs.



1st. Floor Plan - Renovation

Scale: 3/4" = 1'-0"

Footings, Foundations, and Slabs

- Provide and install new CMU block foundation on slab footing for new brick steps as required by finish grade.

Framing

- Frame to bring existing Den floor system level with main house, as well as framing around new fireplace, and necessary framing to accommodate the new door package.
- Frame for new window package and location, new cased opening location, and new pocket door location in Kitchen.
- Frame for new window package and locations, as well as for new rooms (Pantry, Back Hall, & Powder Room).

Exterior Windows & Doors

- Provide and install Windsor Pinnacle Clad doors at Den.
- Provide and install Windsor Pinnacle Wood casement windows at Kitchen.
- Provide and install Windsor Pinnacle Wood double hung windows at Pantry and Back Hall.

HVAC

- Relocate ductwork and returns as needed to accommodate new plan at Den.
- New ductwork including supplies and returns to be incorporated into new plan at Kitchen.
- Install and ventilate new hood/hood insert and mechanical make-up air as required per code at Kitchen.
- New ductwork including supplies and returns to be incorporated into new plan at Pantry, Back Hall, and Powder Room.
- Install and ventilate new bath fan at Powder Room.

Plumbing

- Install new water supply lines and sewer drain lines within footprint of the home to accommodate new locations of plumbing fixtures.

Plumbing Fixtures:

- Kitchen:
 - (1) Sink
 - (1) Faucet
 - (1) Disposal
 - (1) Air Switch for Disposal
- Powder Room:
 - (1) Sink
 - (1) Faucet
 - (1) Toilet
 - (1) Toilet Lever
- No Irrigation work

Insulation and Weatherproofing

- Restore any insulation disturbed during construction.
- No additional sound proofing is included in budget.
- Work includes all necessary Air Sealing (Caulk all plates, jacks, and headers as required by code.)

Exterior Veneer

- Provide and install new brick veneer at new steps and tooth-in brick veneer as necessary to accommodate new door/window schedule. Brick veneer to match existing size and texture as close as possible. Grout style to match existing.

Exterior Railing

- Provide and install standard powder coated aluminum handrail and pickets at new steps from doors to grade at Den.

Drywall

- Restore drywall as needed from construction.
- All drywall to be sanded and smooth and follow gypsum level 4 finish requirements to be ready for paint prep.

Flooring

- Install stain-in-place oak hardwoods at newly raised floor area at Den to match existing wood species and size of floor boards as closely as possible. Tooth-in as needed where other framed walls removed. Sand and refinish all hardwoods at Den to match existing finish as closely as possible. Hardwoods to have 3/4" round oak at base molding to be stained to match flooring.
- Tooth-in and repair new stain-in-place oak hardwoods as needed and refinish all hardwoods at Kitchen to match existing finish as closely as possible. Hardwood refinishing to terminate at cased opening between Kitchen and Foyer as well as Kitchen and Office/Dining Room with flush thresholds. Hardwoods to have 3/4" round oak at base molding to be stained to match flooring.
- Install new stain-in-place oak hardwoods to match existing wood species, size, and finish as closely as possible in Back Hall and Powder Room. Hardwoods to have 3/4" round oak at base molding to be stained to match flooring.
- Stone flooring at Pantry to remain.
- All carpet, rugs, and/or runners to be Client Provided.

Tile Package

- Kitchen:
 - Install tile at Kitchen back splash from countertop to wall cabinets and around new windows to the ceiling as per plans. Includes bar area as well.

Cabinetry

- Install new cabinetry per plan. Full overlay, solid wood fronts, dove tailed full extension drawers, and soft close cabinet hinges are standard. Cabinets to be stained or painted.
- Den (right & left of F.P., includes wood countertops) Kitchen Powder Room Pantry (includes wood countertops)

Countertops

- Provide and install natural stone counter tops at: Kitchen (perimeter & island) Powder Room

Interior Trim & Doors

- Tooth-in and install new base trim, casing, and crown to match existing profiles as closely as possible with in-stock moldings.
- Provide and install custom trim carpentry and paneling on new fireplace wall and return walls and above new cabinet built-ins per plans.
- Relocate existing pocket door slab 1-panel recessed panel pocket door at Office/Dining Room. Provide new track system.
- Amend end of bookshelves due to the removal of some of the bookshelves to accommodate new pocket door location.
- Provide and install new 2'-4" 1-panel recessed panel door at Powder Room.
- Provide and install new 2'-4" 1-panel recessed panel door at Pantry.
- Provide and install new hardware to match existing hardware as closely as possible in finish and style with in-stock options.

Fireplace

- Raise the existing firebox up to the new floor level or if required just above new floor level to meet combustibility code requirements. Extend gas line and reset log set. Provide and install new stone surround and hearth.

Bath Accessories

- Client provided throughout. This includes all towel bars, paper holders, towel rings, robe hooks, etc.

Mirrors

- Client provided throughout.

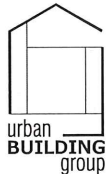
Painting/Wallpapering

- All interior and exterior painting to be Client provided.
- All wallpaper removal and/or installation to be Client provided.

Heated

Renovation 814 Sq.Ft.

Total Under Roof 3,110 Sq.Ft.



urban BUILDING group
Residential Design/Build Specialists

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342 Circle Avenue
Charlotte, North Carolina

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Charlotte
Historic District
Commission
Certificate of Appropriateness
#HDCADM2M-2018-00623

Drawn By: A.M.K.
Scale: As Shown
Print Date: October 2, 2018
Revisions:

Design For:
Rizer Residence
917 Berkeley Avenue
Charlotte, NC 28203

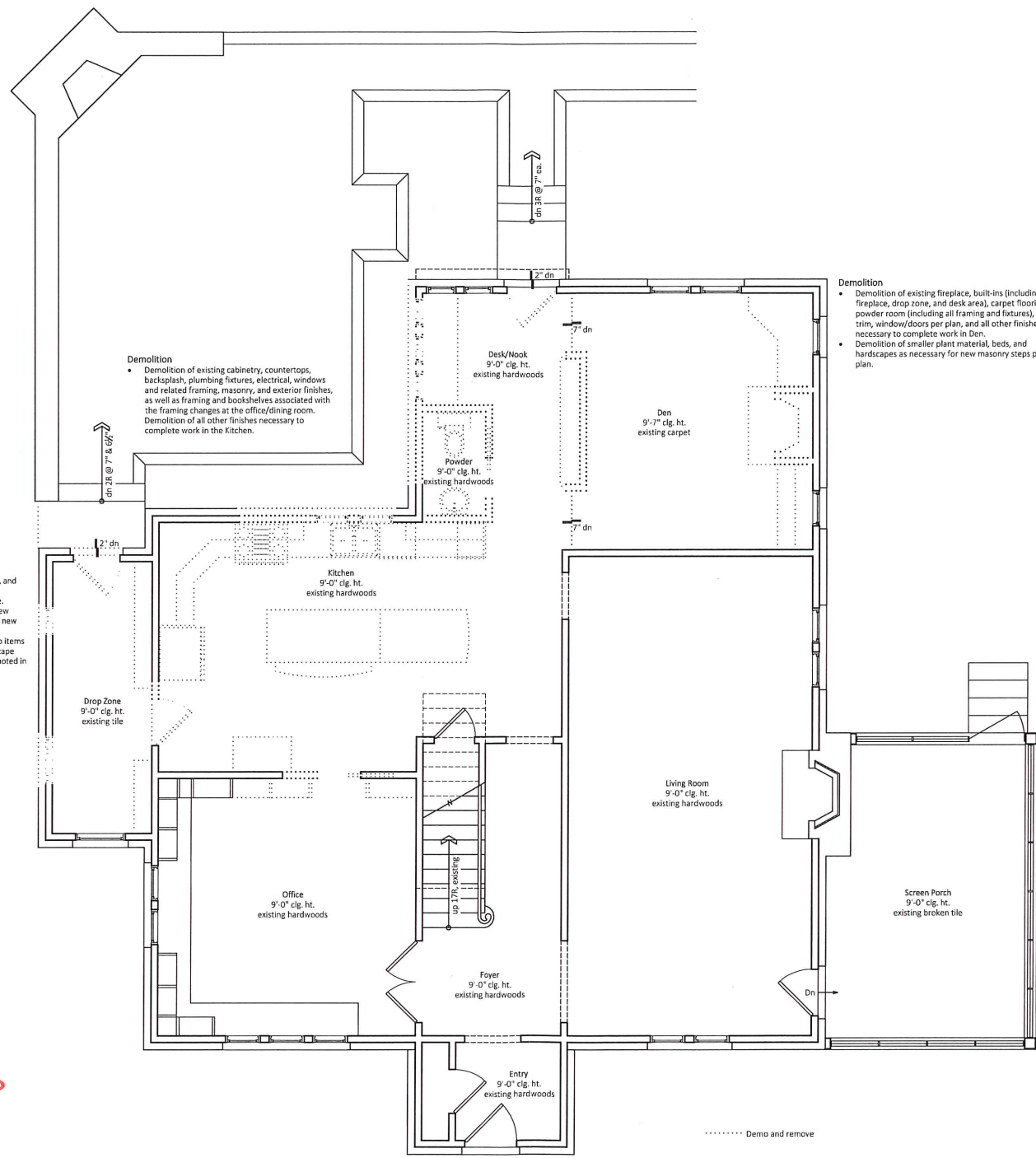
10.09.2018
A2
Plan



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1st. Floor Demolition Plan

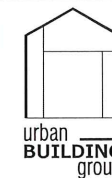
Scale: 3/4" = 1'-0"

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HDC ADMRM-2018-00623

| | | |
|----------------------------------|--------------------------------|------------|
| Drawn By: A.M.K. 10/9/2018 | Print Date: October 9, 2018 | Revisions: |
|----------------------------------|--------------------------------|------------|

Design For:
Rizer Residence
917 Berkeley Avenue
Charlotte, NC 28203

10.09.2018
A1
Plan



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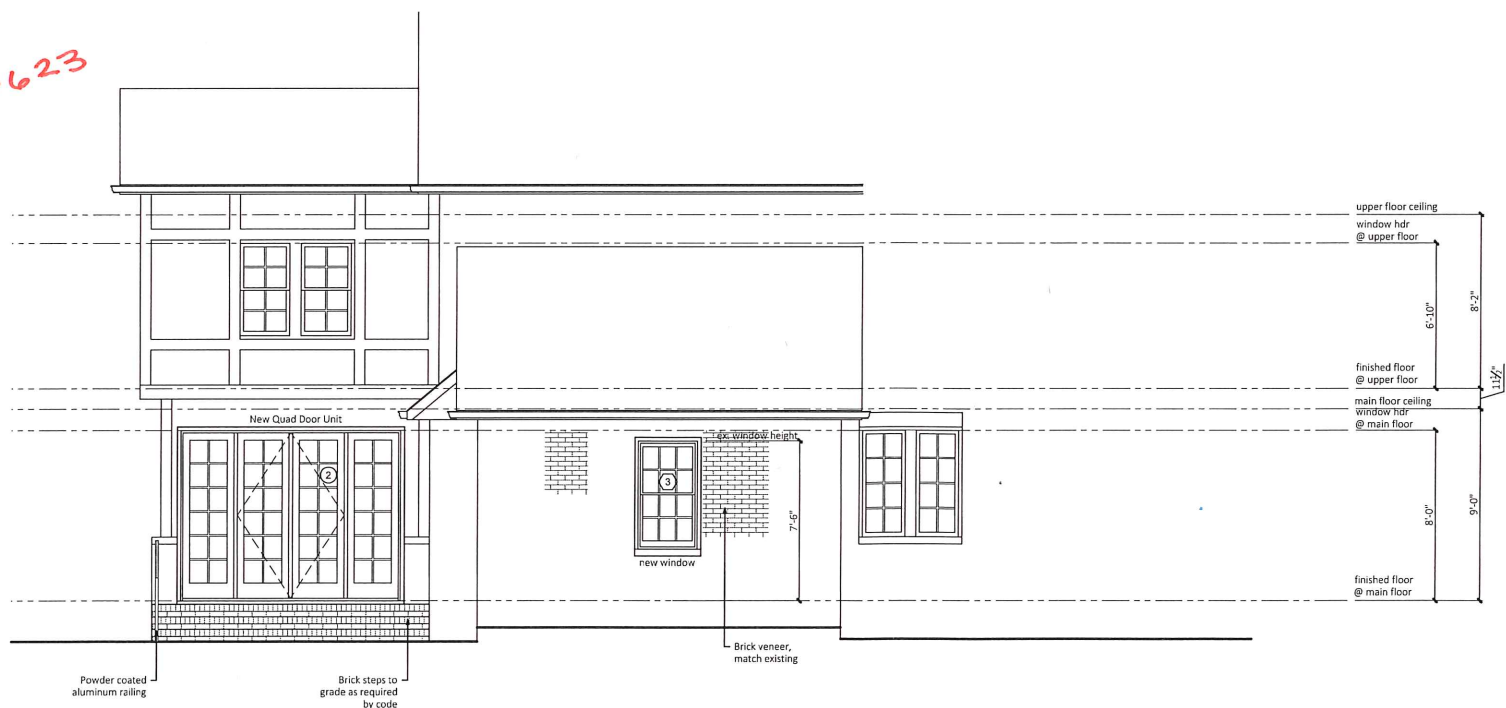
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Rear Elevation - Renovation

Scale: $\frac{1}{4}" = 1'-0"$

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Left Side Elevation - Renovation

Scale: $\frac{1}{4}" = 1'-0"$

Drawn By:
S. M. K.
Print Date:
October 3, 2018
Revisions:

Design For:
Rizer Residence
917 Berkeley Avenue
Charlotte, NC 28203

10.09.2018

A3

Elevations