



## CHARLOTTE HISTORIC DISTRICT COMMISSION

### CERTIFICATE OF APPROPRIATENESS

**CERTIFICATE NUMBER:** HDCADMRM-2018-00617

**DATE:** 29 October 2018

**ADDRESS OF PROPERTY:** 1917 Euclid Avenue

**HISTORIC DISTRICT:** Dilworth

**TAX PARCEL NUMBER:** 12105720

**OWNER:** Nathaniel & Rachel Barker

**APPLICANT:** Keith M. Wesolowski

**DETAILS OF APPROVED PROJECT:** Accessory Building.

An existing dilapidated shed will be removed. The project is a new two car garage, with both a front and rear dormer, located in the rear yard.

- Building footprint is 28'-1 11/16" x 28'-10 5/16"
  - Height, as measured from grade to ridge, is 17'-2"
  - Dormers not to exceed height or width of garage and are inset from the thermal wall of the first floor.
  - Brick foundation with 5" exposure lap wood pine siding to match original lap siding
  - All trim details, including corner boards, will be wood
  - Windows will be double-hung wood with Simulated True Divided Lights (STD L) molded muntins in a 4/1 pattern to match the primary structure.
  - Garage doors will be wood with STD L windows in a pattern that coordinates with the house.
  - Garage will meet all required setbacks
  - Post construction, rear yard permeable area is approximately 87%
  - No changes to main house including the porte cochère's brick columns, roof, or existing access.
  - The only change approved to existing structure is the removal of vinyl elements and the restoration of original siding and trim
  - This COA does not include approval for changes to the existing driveway or site improvements.
  - See attached drawings
1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 2.6: Work in Rear Yards.
  2. The applicable Policy & Design Guidelines for Materials (page 6.15) and Accessory Buildings (page 8.9) have been met.

*Continued on next page*

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

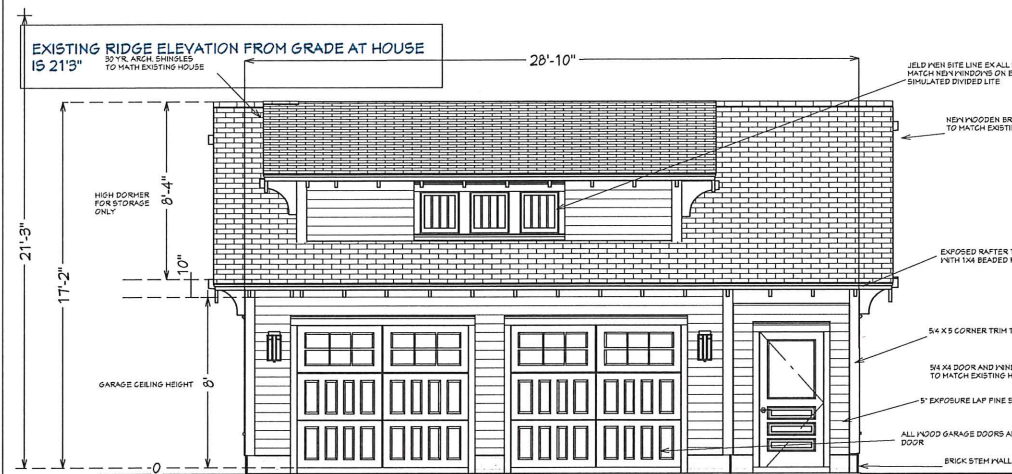


James Haden, Chairman

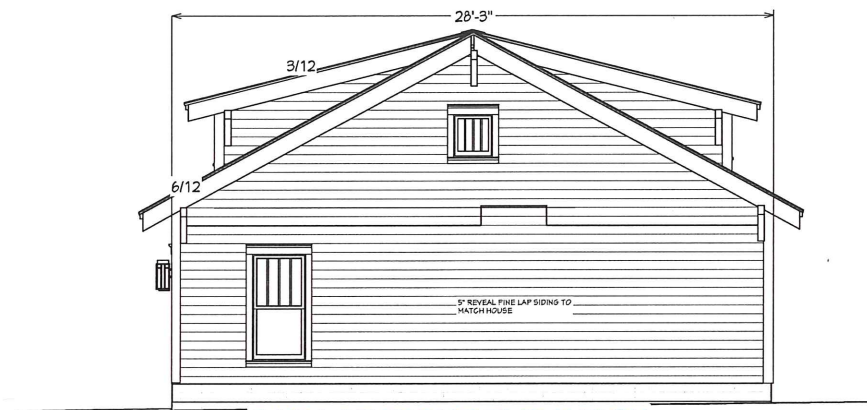


Staff

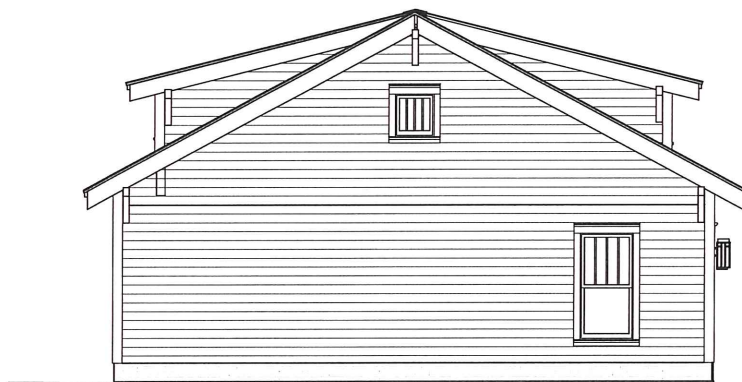




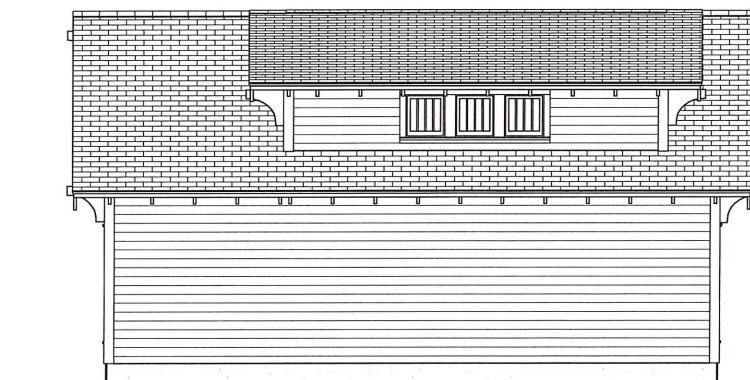
GARAGE FRONT ELEVATION



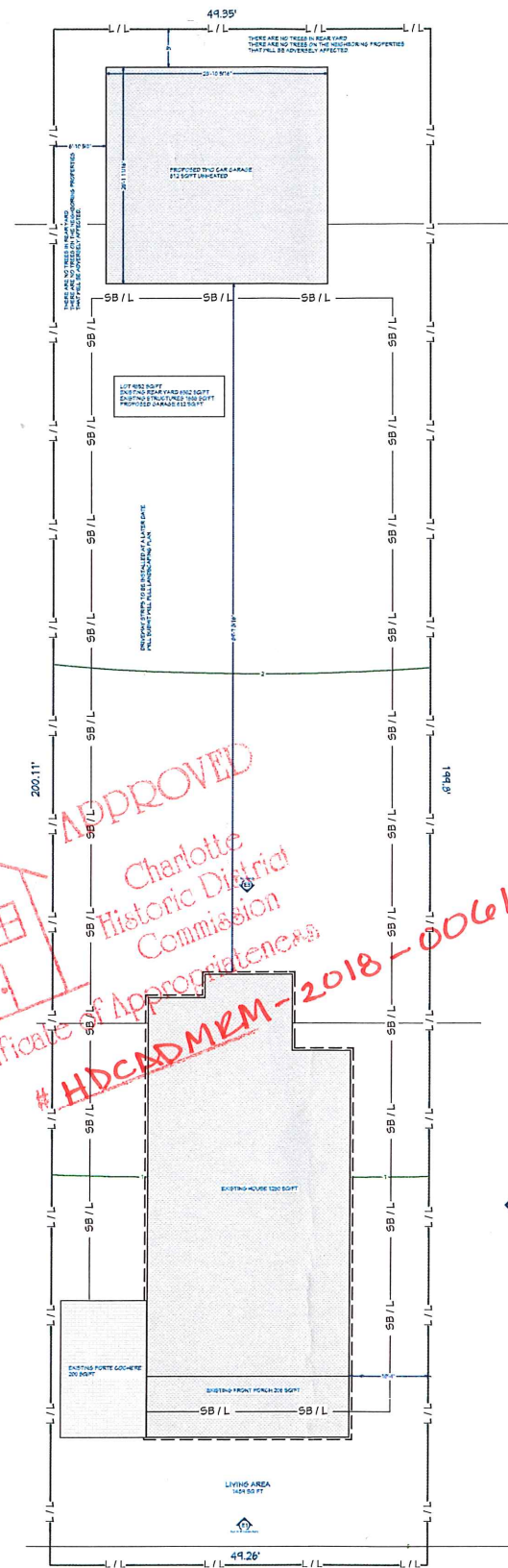
GARAGE RIGHT ELEVATION



GARAGE LEFT ELEVATION



GARAGE REAR ELEVATION



PLOT PLAN  
3/32"=1'

PHOTOS OF EXISTING STRUCTURE



proposed garage location at rear of property



original window configuration



exposed rafters beneath vinyl  
original 5" lap siding



existing house front view



existing house side view



original window configuration



exposed rafters beneath vinyl



existing house rear view



existing house side view



| REVISION TABLE | DESCRIPTION |
|----------------|-------------|
| NUMBER         | DATE        |
| 1              |             |
| 2              |             |
| 3              |             |
| 4              |             |
| 5              |             |
| 6              |             |
| 7              |             |
| 8              |             |
| 9              |             |
| 10             |             |

SERVICES PROVIDED:  
RESIDENTIAL - LIGHT COMMERCIAL MULTI  
FAMILY, NEW HOMES, LARGE SCALE  
RENOVATION, HISTORIC PRESERVATION

BARKER  
1917 EUCLID AVE.  
CHARLOTTE, NC. 28203

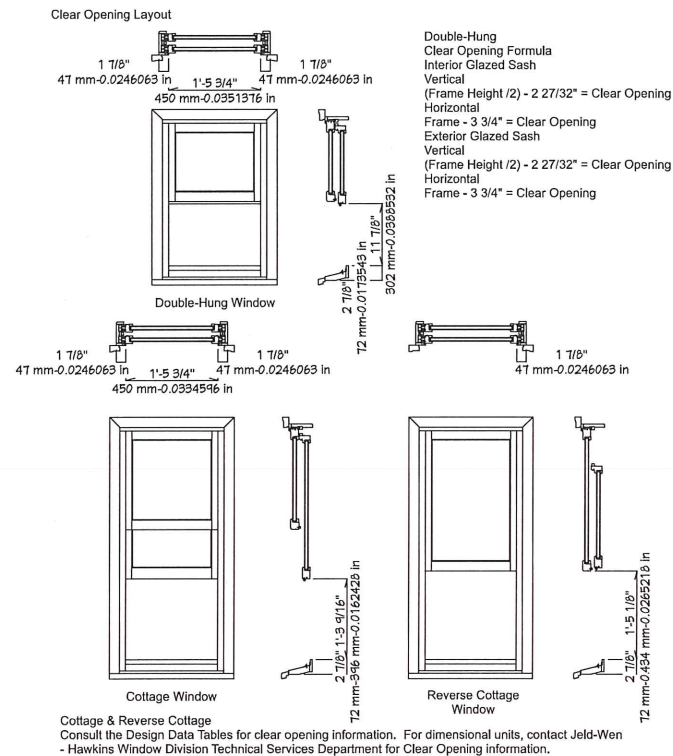
DRAWINGS PROVIDED BY:  
RAM DESIGN BUILD  
401 RENSSELAER AVE.  
CHARLOTTE, NC. 28203

DATE:  
10/19/2018

SCALE:  
1/4"=1'

SHEET:  
A-1



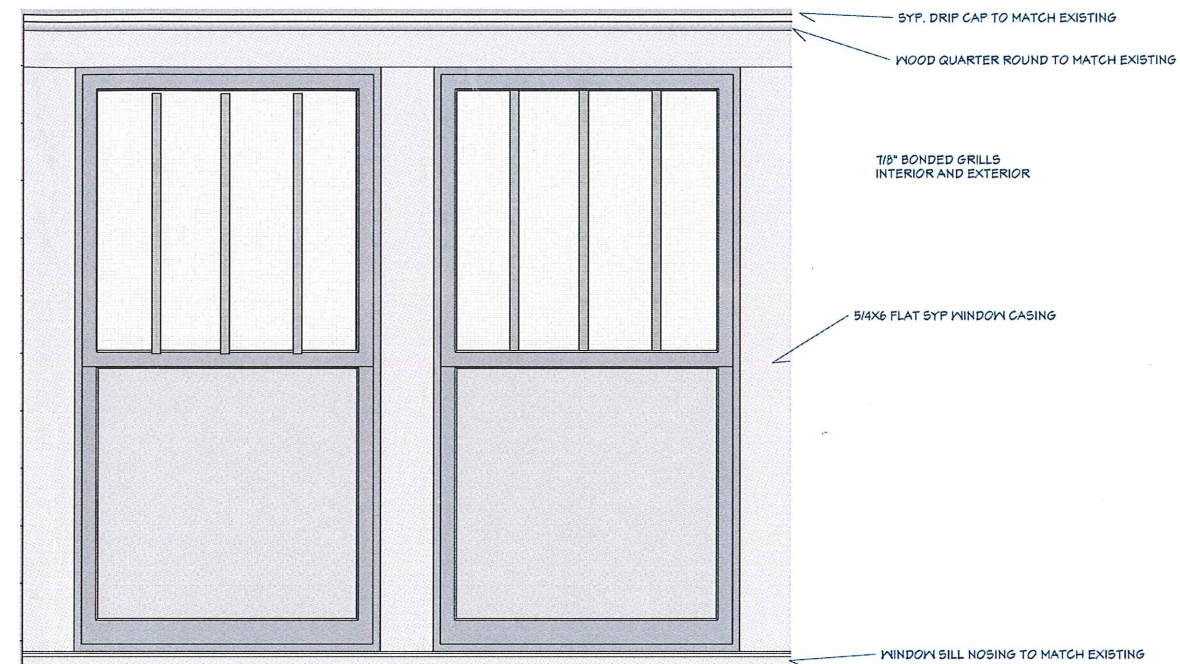


SITELINE  
WOOD WINDOW  
DOUBLE-HUNG

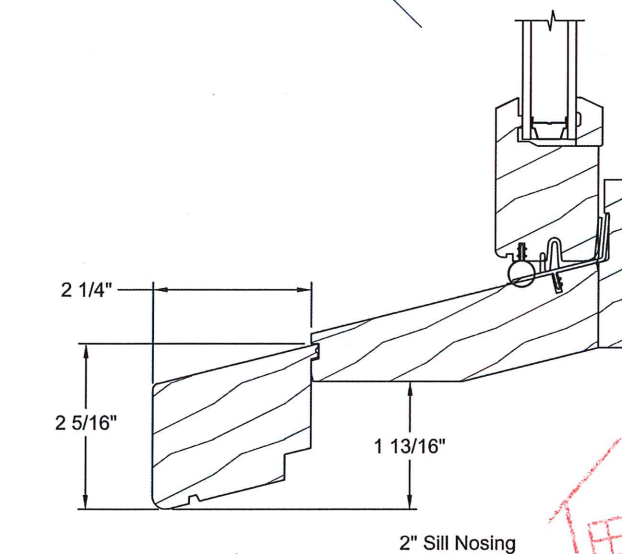
CLEAR OPENING

SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE

ALL NEW WINDOWS ARE JELD-WEN  
SITELINE ALL WOOD DOUBLE HUNG



NTS



NTS

APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

# HDC ADMIN - 2018 - 00617



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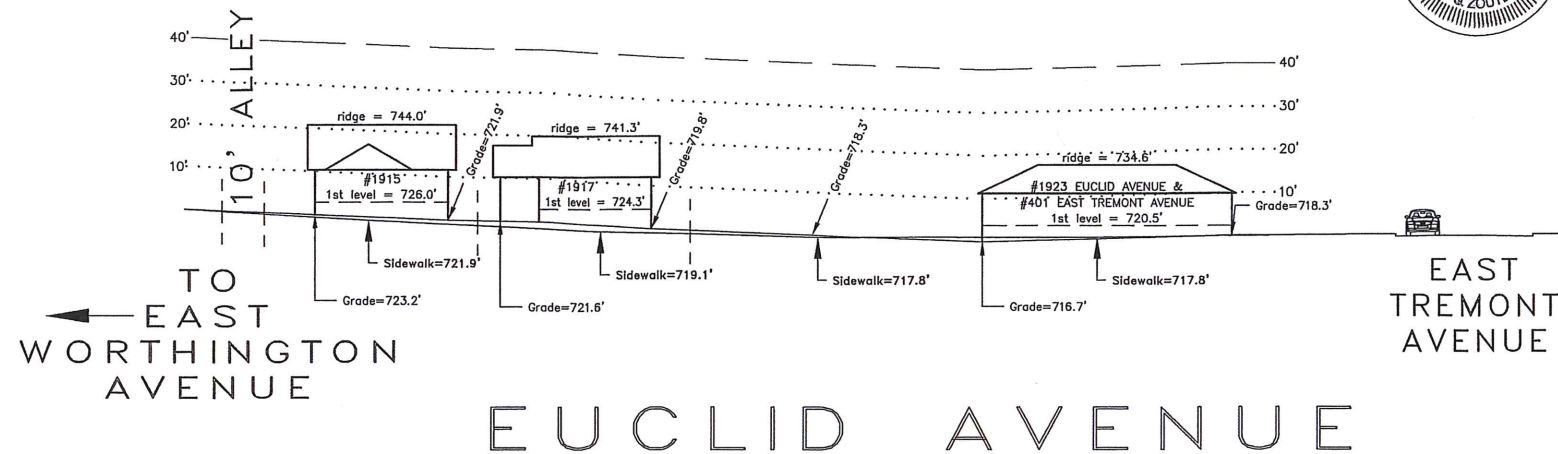
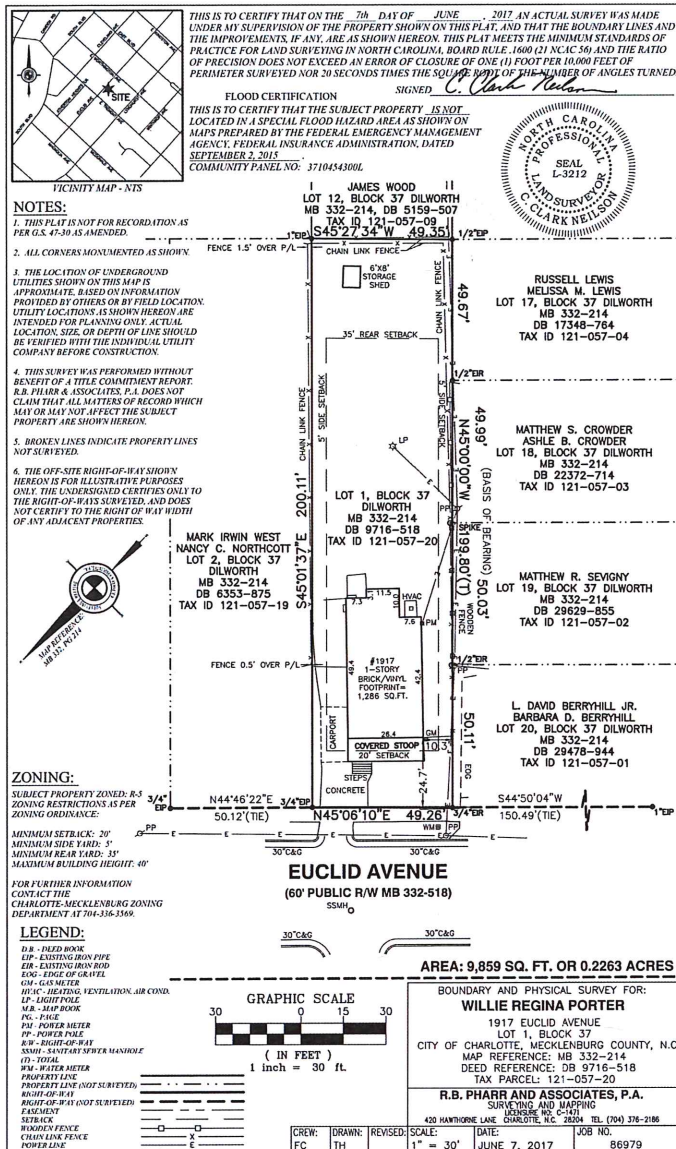
SCALE:

1/4"=1'

SHEET:

A-3





General Notes:  
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rear yard or side yard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.  
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 12th day of August, 2014.



Andrew G. Zoutewelle  
Professional Land Surveyor  
NC License No. L-3098

A.G. ZOUTEWELLE  
SURVEYORS  
1418 East Fifth St. Charlotte, NC 28204  
Phone: 704-372-9444 Fax: 704-372-9555  
Firm Licensure Number C-1054

Copyright 2014  
Building Heights Sketch of  
1915-1923 EUCLID AVENUE &  
401 EAST TREMONT AVENUE  
FACING SOUTHEAST  
CHARLOTTE, MECKLENBURG COUNTY, N.C.  
for Charlotte-Mecklenburg Planning Department  
August 07, 2014

Scale 1" = 20'

0' 20' 40' 60' 80'

Z:\2014\WGS\ZAC\401 EAST TREMONT AVENUE TO 1915 EUCLID AVENUE\DWG\401 EAST TREMONT AVENUE TO 1915 EUCLID AVENUE



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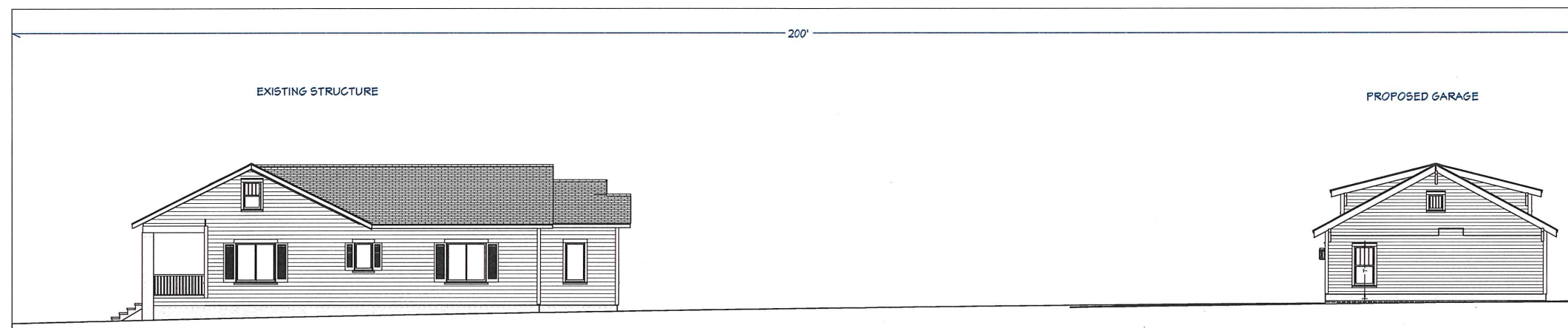
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1/4"=1'

SHEET:  
A-2

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Right Elevation Showing Existing House  
with Proposed Garage

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A-8