



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMA-2018-00529

DATE: April 10, 2019

ADDRESS OF PROPERTY: 325 West Kingston Avenue

TAX PARCEL NUMBER: 11907918

HISTORIC DISTRICT: Wilmore

APPLICANT: Shelley Hughes Design, LLC

OWNERS: Daniel Burdi

DETAILS OF APPROVED PROJECT: The project is a new single-family house. The front setback is approximately 36'-4" feet from ROW. The front setback aligns with the existing houses on the street. The siding material proposed is wood or Hardie Artisan smooth lap siding and a brick foundation. Trim materials are wood and cementitious where noted on the elevations. Windows are double-hung and casement wood with Simulated True Divided Light (STDL) in a 4/1 pattern (Note: Ply-gem window do not meet HDC requirements and are not approved). Total height as measured from grade to ridge is approximately 26'-6". See attached plans.

The project was approved by the HDC November 14, 2018. This COA waives the Stay of Demolition issued August 8, 2018.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman 

Staff 

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TOTAL FOOTPRINT (TO OUTSIDE OF WALLS)	
1ST FLOOR (FOOTPRINT)=	1610 SF
MUDROOM PORCH=	16 SF
REAR PORCH =	202 SF
FRONT PORCH =	138 SF
TOTAL FOOTPRINT (W/PORCHES)	1966 SF

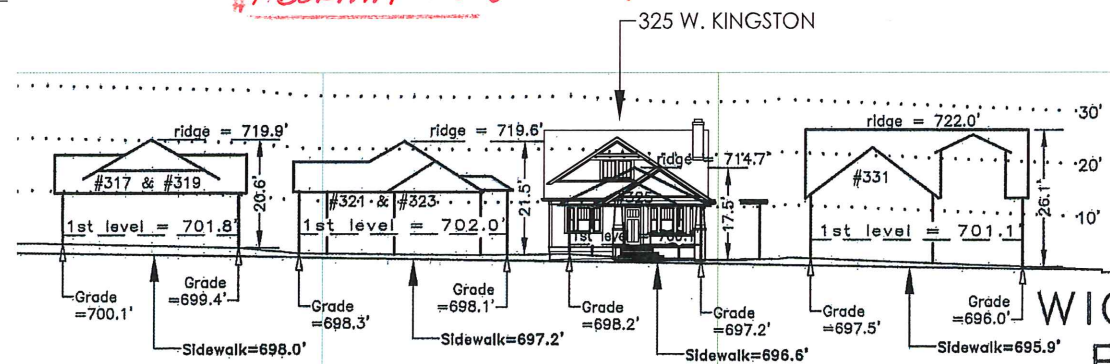
ZONING =	R-8
MAX LOT COVERAGE=	50%
LOT SIZE =	6700 SF
MAX F.A.R. @ 50%	3350 SF
HOUSE + PORCHES =	1966 SF
TOTAL LOT COVERAGE =	30% +/-
DRIVEWAY/WALKS =	APPROX. 1467 SF
TOTAL COVERAGE =	50% +/-

NEW FIRST FLOOR =	1510 SF
NEW SECOND FLOOR=	1329 SF
TOTAL (HEATED) =	2839 SF

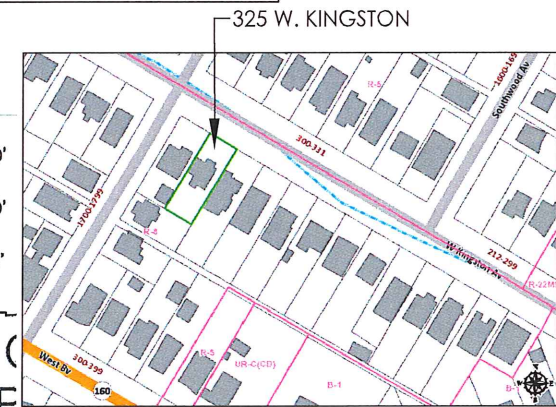
THESE PLANS HAVE BEEN APPROVED THE CHARLOTTE HISTORIC DISTRICT COMMISSION PRIOR TO PERMITTING AND CONSTRUCTION. ANYTHING ON THE EXTERIOR OF THE PROJECT THAT MUST DEVIATE FROM THE PLANS AS DRAWN OR SPECIFIED MUST BE "APPROVED" BY THE HDC STAFF OR COMMISSION PRIOR TO PROCEEDING WITH CHANGES/REVISIONS. CONSULT WITH DESIGNER OR HDC STAFF AS NEEDED IF THERE ARE ANY QUESTIONS.



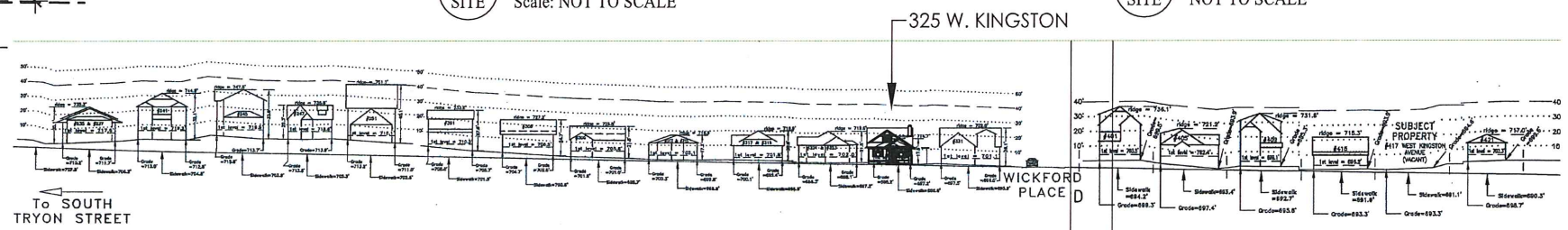
HDCKMA-2018-00529



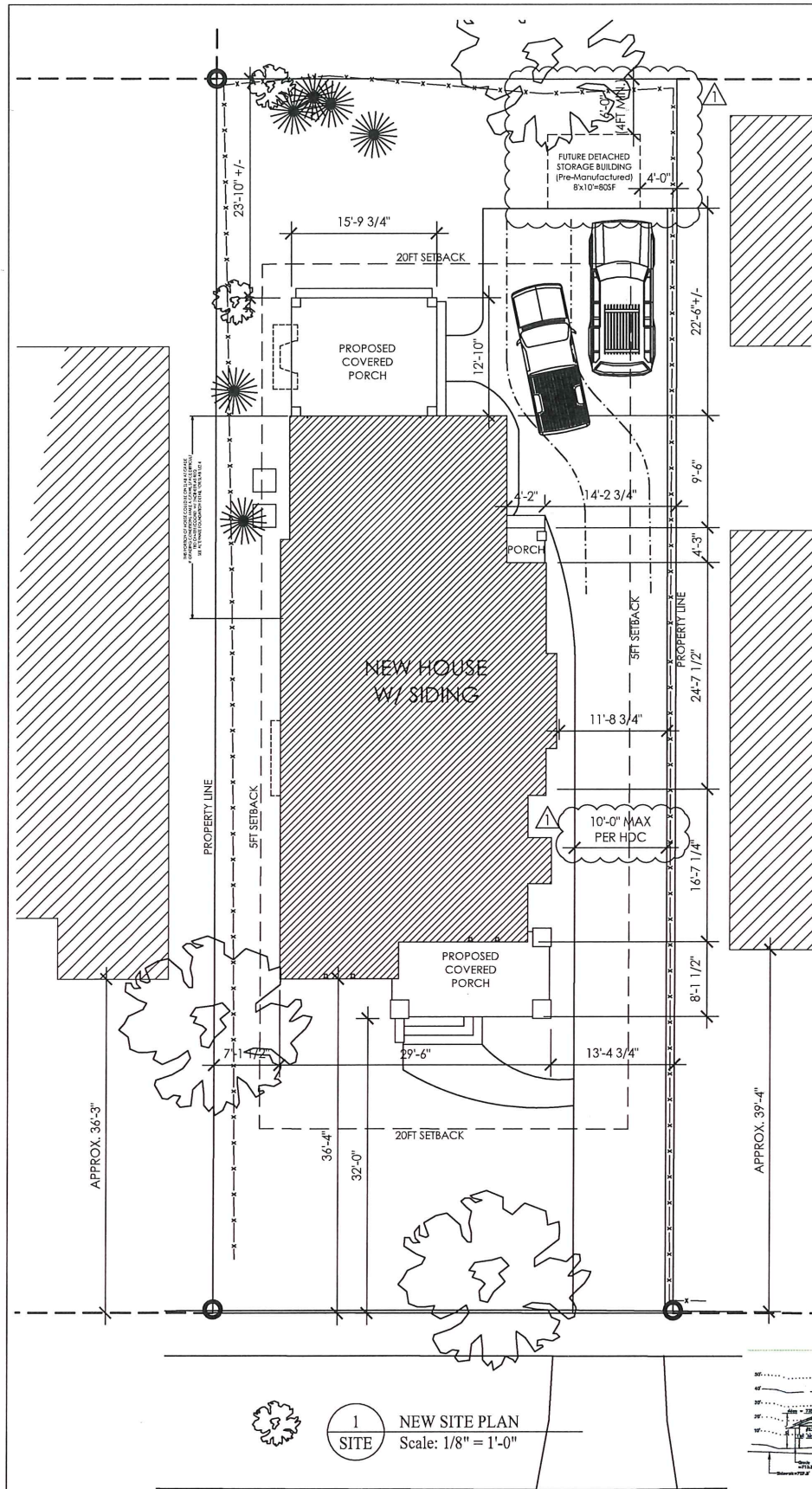
2A STREET ELEVATION (ENLARGED)
SITE Scale: NOT TO SCALE



3 LOCATION/CHAR-MECK GIS Map
SITE NOT TO SCALE



2B STREET ELEVATION SURVEY
SITE Scale: NOT TO SCALE



1	NEW SITE PLAN
SITE	Scale: 1/8" = 1'-0"

W. KINGSTON AVE.

Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

704.575.9594

BURDI RESIDENCE
325 W. KINGSTON AVE.
CHARLOTTE, NC
NEW CONSTRUCTION

04.01.2019-HDC REVISION REQUEST
& UPDATED TO 2019 CODES
REVISIONS

SHEET TITLE
SITE PLAN & STREET
ELEVATIONS

ISSUE DATE
JAN. 18, 2019

SHEET NUMBER

SITE

- TYPICAL WALL LEGEND
- EXTERIOR WALLS: BRICK W/1" AIR SPACE ON 2X STUD WALL AND 1/2" GYP. WALL BOARD INSIDE
 - EXTERIOR WALLS: WOOD SIDING OR PER ELEVATIONS, ON AIR INFILTRATION BARRIER ON 1/2" EXTERIOR SHEATHING (OR PER ENGINEER) ON 2X STUD WALL (PER ENGINEER) W/ MINIMUM INSULATION PER CODES AND 1/2" GYP. WALL BOARD INSIDE (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS: 2 X 4 OR 2 X 6 STUDS AS NOTED ON PLANS @ 16" O.C. W/ 1/2" GYP BOARD EACH SIDE
 - BRICK/STONE VENEER: REPRESENTS BRICK OR STONE VENEER OR COLUMNS

INSULATION REQUIREMENTS:
R-15 MIN. IN EXTERIOR WALLS
R-19 MIN. IN FLOORS
R-38 MIN. IN ATTICS

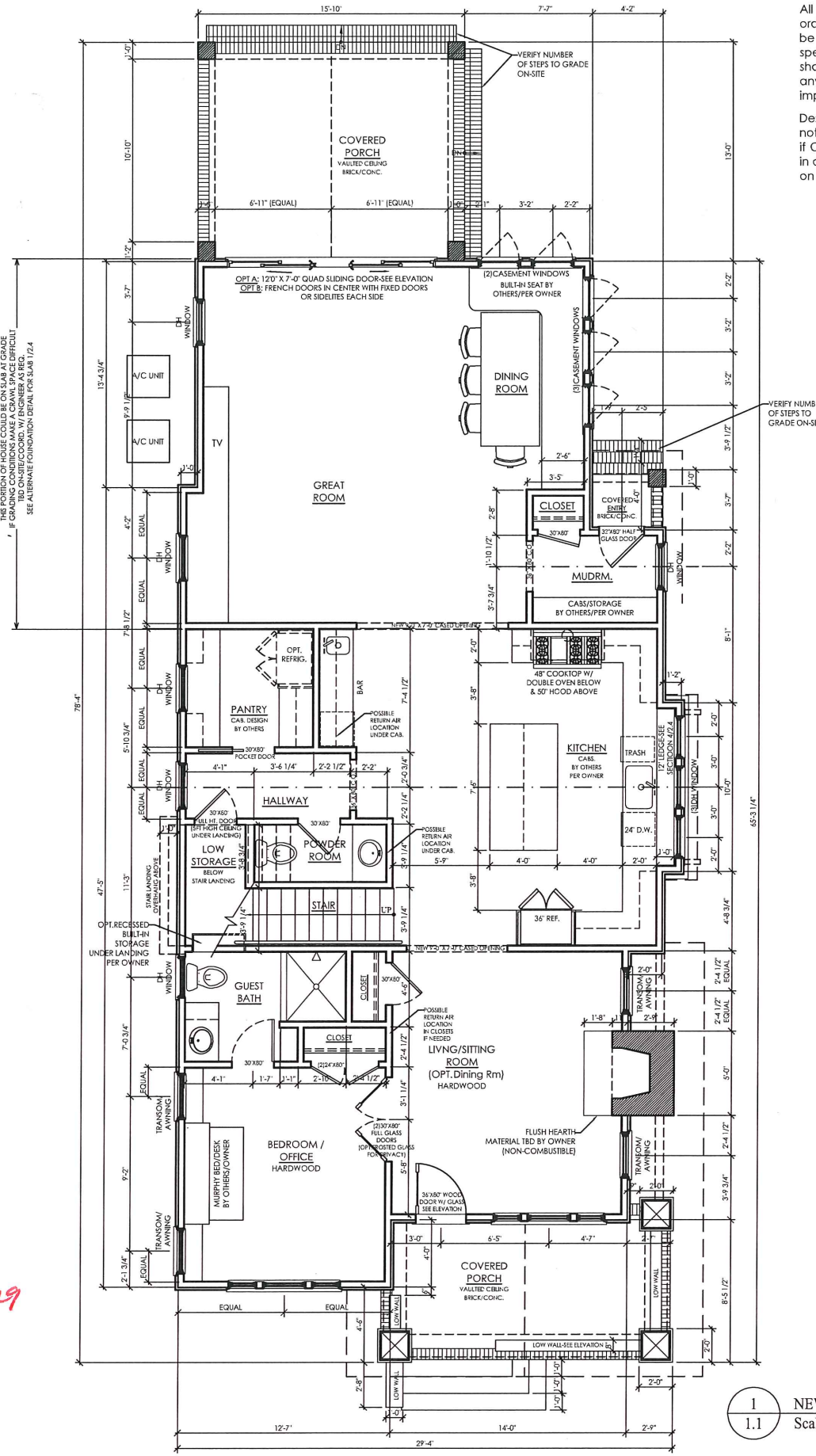
NOTES:
-ALL INTERIOR DIMENSIONS ARE SHOWN TO FACE OF GYP. BOARD, UNLESS OTHERWISE NOTED.
-ALL EXTERIOR DIMENSIONS ARE SHOWN TO FACE OF STUD OR BRICK UNLESS OTHERWISE NOTED.
-DO NOT SCALE DRAWINGS, MAY NOT BE PRINTED TO SCALE. USE DIMENSIONS GIVEN. CONTRACT DESIGNER IS RESPONSIBLE FOR ANY DISCREPANCIES ARE FOUND.
-DO NOT SCALE MATERIAL PATTERNS SHOWN. PATTERNS DO NOT REPRESENT ACTUAL MATERIAL AND ARE SHOWN ONLY TO INDICATE CHANGE IN MATERIAL OR DESIGN INTENT.

- GENERAL FLOOR PLAN NOTES:
- SEE ELEVATIONS FOR EXTERIOR WINDOW/DOOR SIZES. ALL INTERIOR DOOR SIZES ARE LABELED ON PLANS.
 - INTERIOR WALLS TO BE 2 X 4 FRAMING U.N.O. OR AS REQUIRED BY ENGINEER.
 - SHELVING, CABINETS, BUILT-INS TO BE BUILT ON-SITE BY FINISH CARPENTER OR OTHERS. ALL CABINETS TO BE DESIGNED BY OTHERS. VERIFY FINAL DESIGN W/ OWNER/DESIGNER AND MEASUREMENTS IN FIELD BEFORE ORDERING.
 - LOCATE ALL DOORS MINIMUM 4" FROM ADJACENT WALLS ON HINGE SIDE. IF A CASING LARGER THAN 4" IS SELECTED, ADJUST AS NEEDED. IF DOORS ARE NOT LOCATED NEXT TO AN ADJACENT WALL, CENTER ON SPACE THEY ENTER INTO.
 - PROVIDE CARBON MONOXIDE AND SMOKE DETECTORS AS REQUIRED PER CURRENT CODES.
 - CONTRACTOR TO VERIFY WINDOWS IN BEDROOMS MEET EGRESS CODES AND VERIFY LOCATIONS TEMPERED GLASS OR FALL PREVENTION (CHILD SAFETY) LOCKS ARE REQ'D PER CODE BEFORE ORDERING/INSTALLING.
 - PROVIDE SOUND ATTENUATION INSULATION BATTIS IN ALL INTERIOR BATHROOM AND LAUNDRY ROOM WALLS
 - PROVIDE SOLID BLOCKING IN WALLS FOR ALL WALL MOUNTED ITEMS NOT LIMITED TO THE FOLLOWING: RANGE HOOD, CLOSET RODS, DOOR STOPS, TOWEL BARS, TOILET PAPER DISPENSERS, OTHER WALL MOUNTED ACCESSORIES. CONFIRM NEEDS WITH OWNER AND FIXTURE SELECTIONS.
 - ALL HEADERS, BEAMS, JOISTS, TRUSSES, ETC. TO BE DESIGNED AND SPECIFIED BY ENGINEER OR MANUJ. CONTRACTOR TO NOTIFY ENGINEER AND DESIGNER OF ANY DISCREPANCIES FOUND BETWEEN ENG. SPECS & DESIGN SPECS.
 - PROVIDE 1/2" DROP IN FRAMING AT ALL TILE AND STONE FLOOR AREAS AND/OR PER ENGINEER. (OPTION: DOUBLE SHEETS OF FLOOR SHEATHING IN AREAS NOT DROPPED. ADJUST DOOR AND WINDOW HIGHTS AS REQ'D)

- GENERAL MECHANICAL/PLUMBING NOTES:
- PROVIDE EXTERIOR FROST FREE HOST BIBBS AT LOCATIONS NOTED ON PLANS OR PER OWNER.
 - KEEP ALL SUPPLY PLUMBING LINES OUT OF EXTERIOR WALLS TO AVOID POTENTIAL FREEZING ISSUES WHERE POSSIBLE.
 - LOCATE ANY VENTS, PIPES, OR OTHER WALL OR ROOF PENETRATIONS IN AREAS THAT ARE LEAST VISIBLE FROM THE STREET WHEREVER POSSIBLE.
 - HVAC SUPPLY AND RETURN VENTS TO BE COORDINATED ON-SITE AS REQUIRED PER MANJ/HVAC CALCULATIONS. COORDINATE WITH DESIGNER IF NEEDED ON POSSIBLE LOCATIONS THAT WON'T DISRUPT THE DESIGN INTENTIONS AS NEEDED.

HISTORIC DISTRICT NOTES:
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APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
#HDCRMA-2018-20529



All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.
Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

1 NEW 1ST FLOOR
1.1 Scale: 1/4" = 1'-0"

SHELLEY HUGHES
DESIGN, LLC
704.575.9594

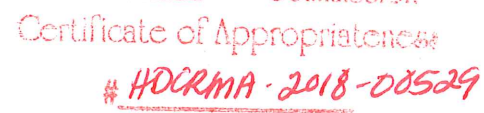
BURDI RESIDENCE
325 W. KINGSTON AVE.
CHARLOTTE, NC
NEW CONSTRUCTION

04.01.2019-HDC REVISION REQUEST
& UPDATED TO 2019 CODES
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SHEET TITLE
1ST FLOOR PLAN

ISSUE DATE
JAN. 18, 2019

SHEET NUMBER
1.1



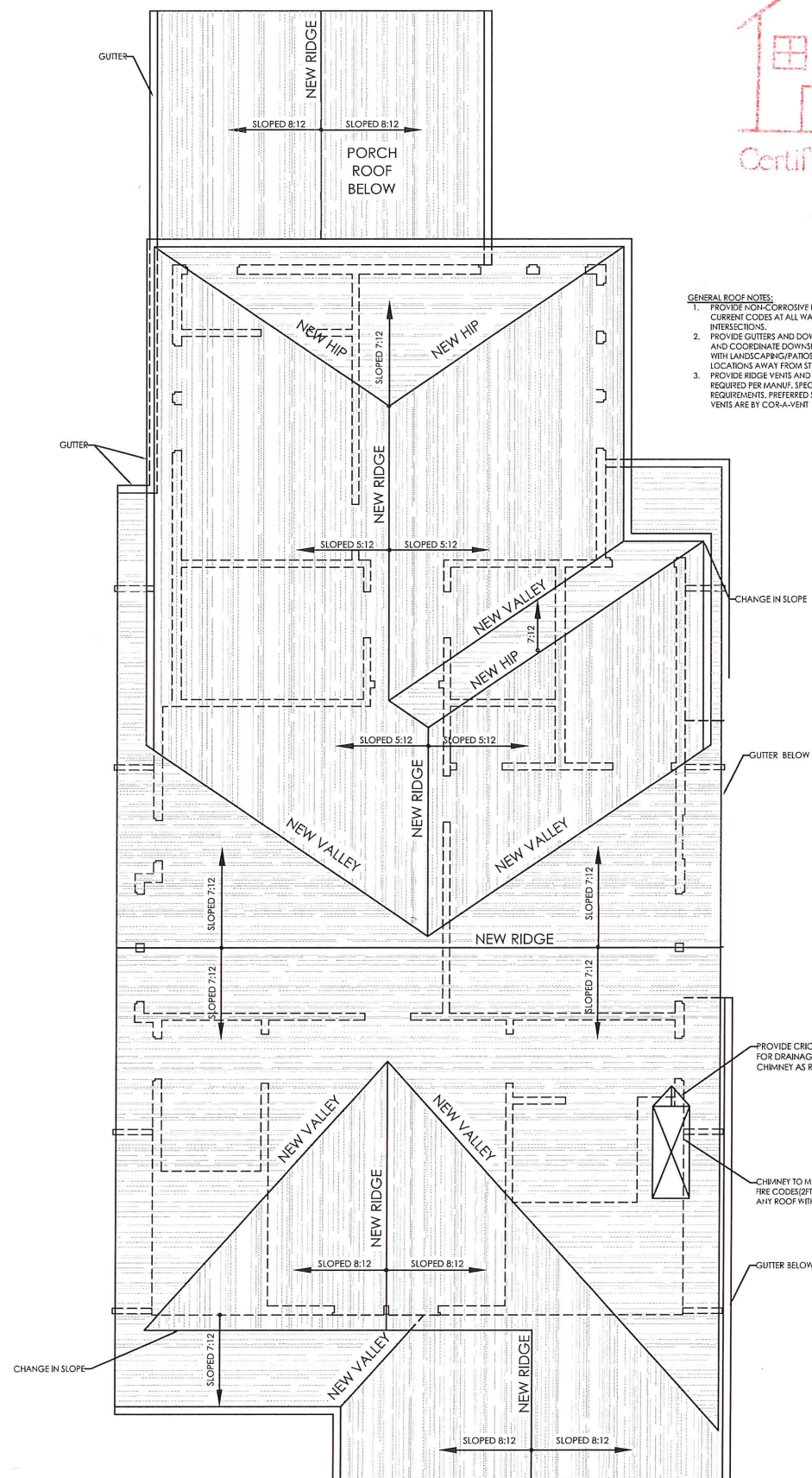
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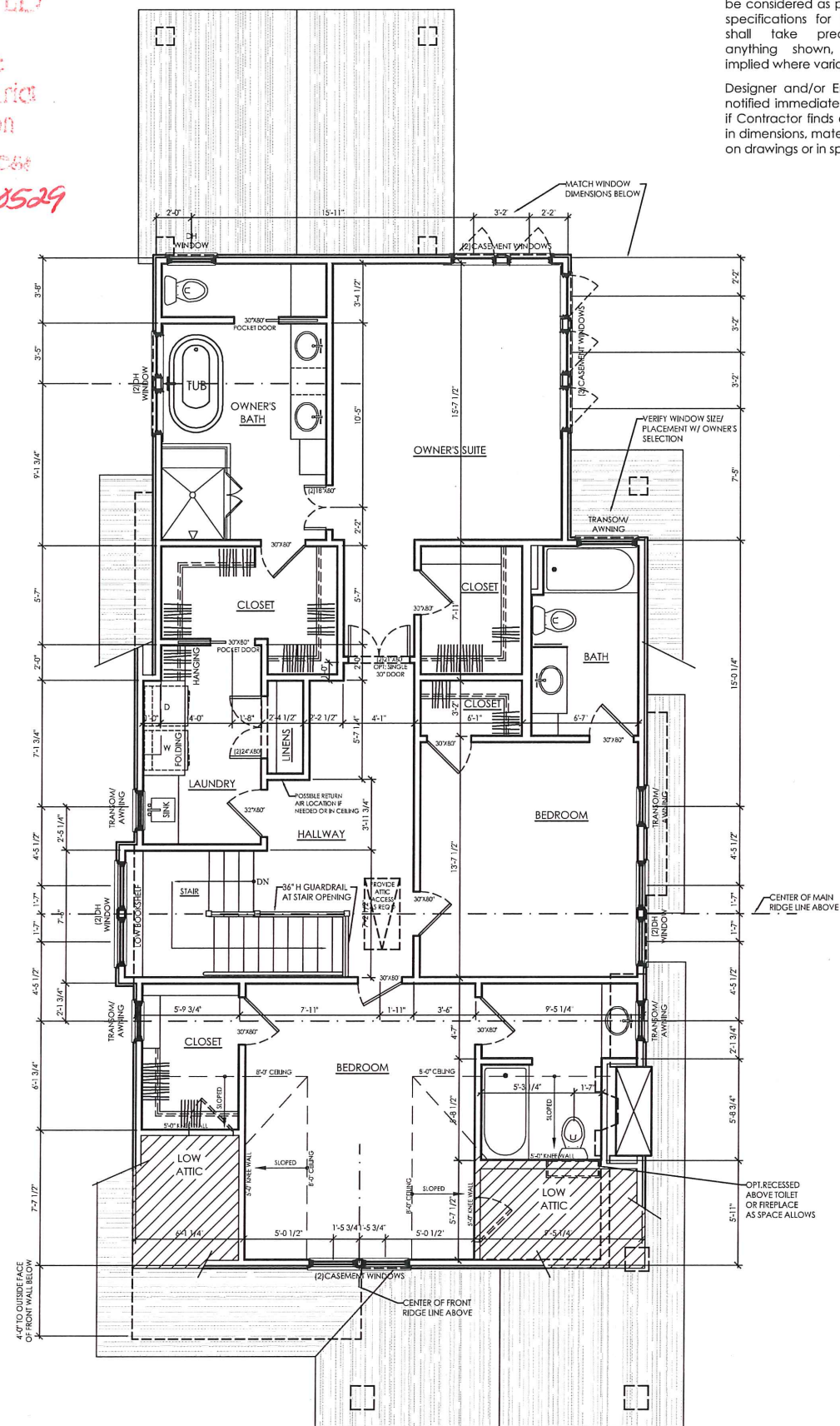
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GENERAL ROOF NOTES:

1. PROVIDE NON-CORROSIVE FLASHING TO MEET CURRENT CODES AT ALL WALL/ROOF INTERSECTIONS.
2. PROVIDE GUTTERS AND DOWNSPOUTS ON-SITE AND COORDINATE DOWNSPOUT LOCATIONS WITH LANDSCAPING/PATIOS, IN BEST DRAINAGE LOCATIONS AWAY FROM STRUCTURE.
3. PROVIDE RIDGE VENTS AND SOFFIT VENTS AS REQUIRED PER MANUF. SPECS AND CODE REQUIREMENTS. PREFERRED SOFFIT AND RIDGE VENTS ARE BY COR-A-VENT



2	NEW ROOF PLAN
1.2	Scale: 1/4" = 1'-0"

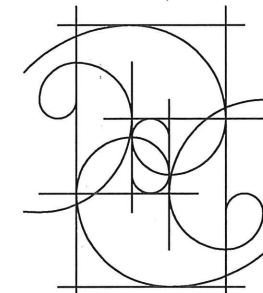


1 2ND FLOOR PLAN
1.2 Scale: 1/4" = 1'-0"

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SHEET TITLE
2ND FLOOR PLAN &
ROOF PLAN

ISSUE DATE
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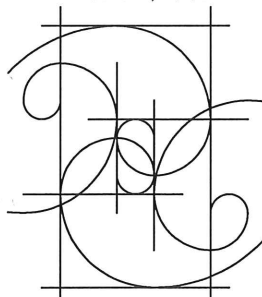
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1.2

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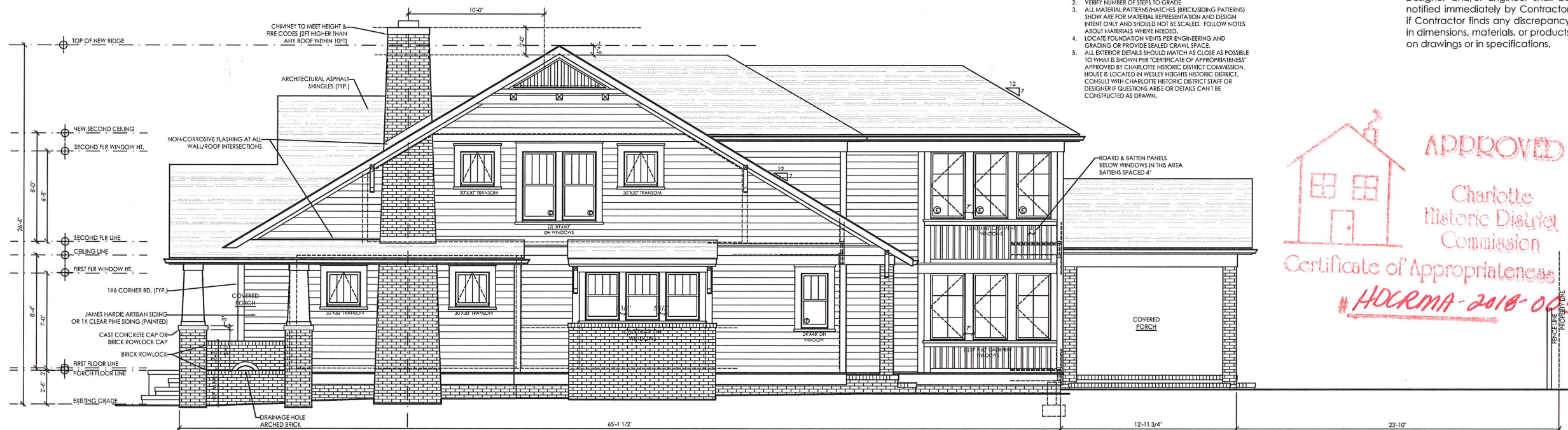


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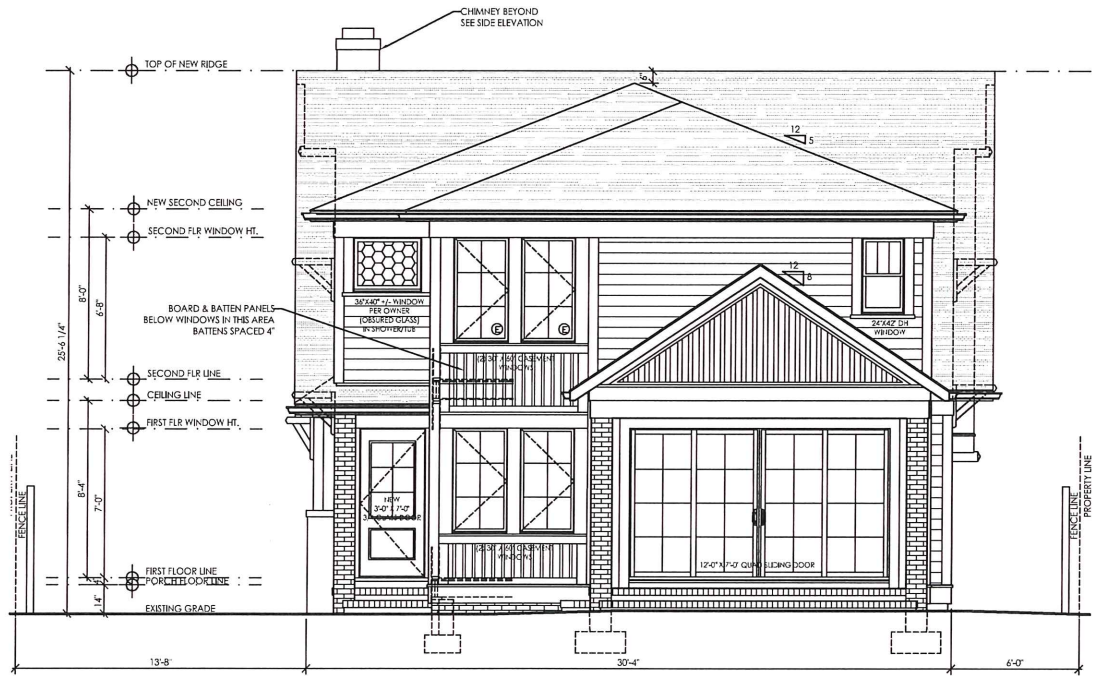


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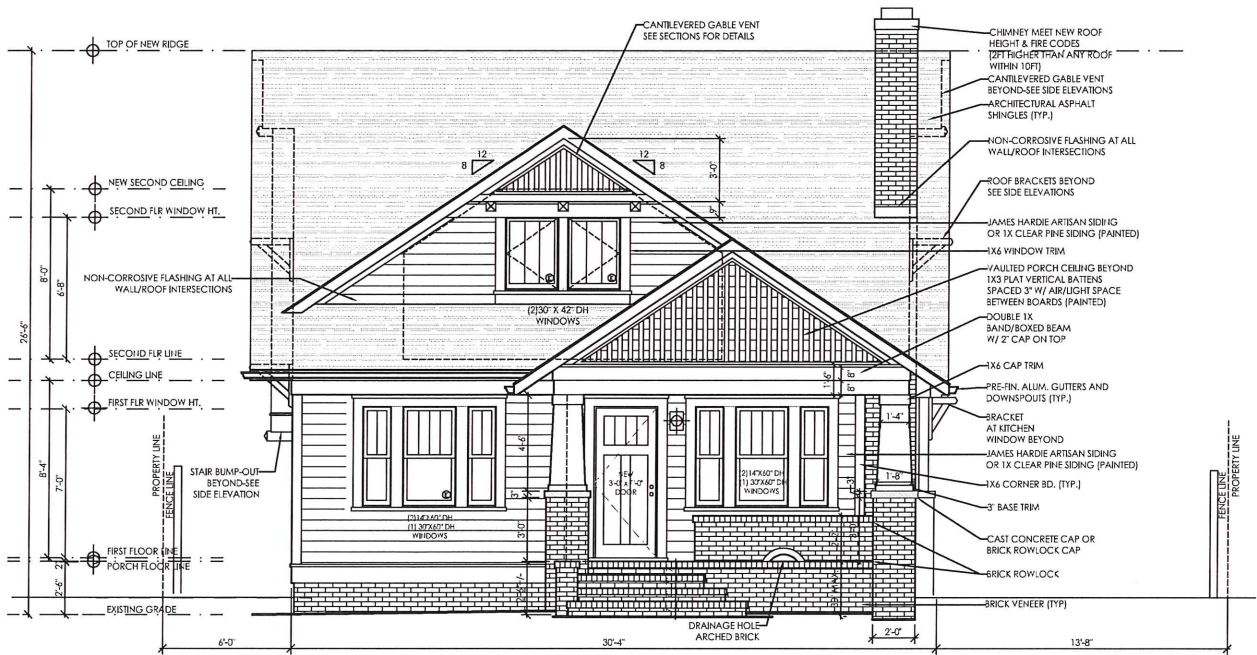
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2
2.1 RIGHT ELEVATION (DRIVEWAY)
Scale: 1/4" = 1'-0"



3
2.1 REAR ELEVATION
Scale: 1/4" = 1'-0"



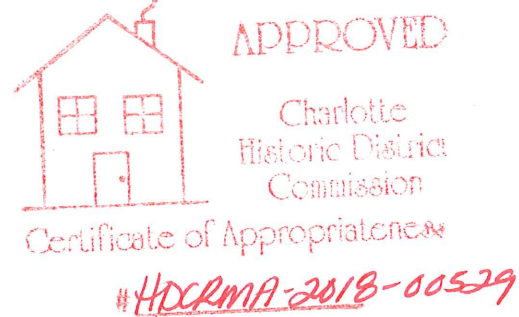
1
2.1 NEW FRONT ELEVATION
Scale: 1/4" = 1'-0"

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NEW CONSTRUCTION

REVISIONS
SHEET TITLE
NEW ELEVATIONS

ISSUE DATE
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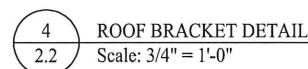
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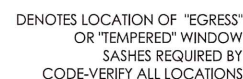
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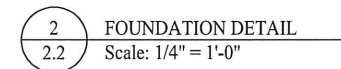
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4 ROOF BRACKET DETAIL
2.2 Scale: 3/4" = 1'-0"




DENOTES LOCATION OF "EGRESS"
OR "TEMPERED" WINDOW
SASHES REQUIRED BY
CODE-VERIFY ALL LOCATIONS



2 FOUNDATION DETAIL
2.2 Scale: 1/4" = 1'-0"

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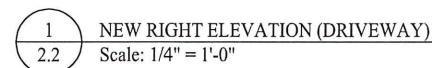
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SHEET TITLE
NEW ELEVATION &
DETAILS

ISSUE DATE
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2.2



1 NEW RIGHT ELEVATION (DRIVEWAY)
2.2 Scale: 1/4" = 1'-0"



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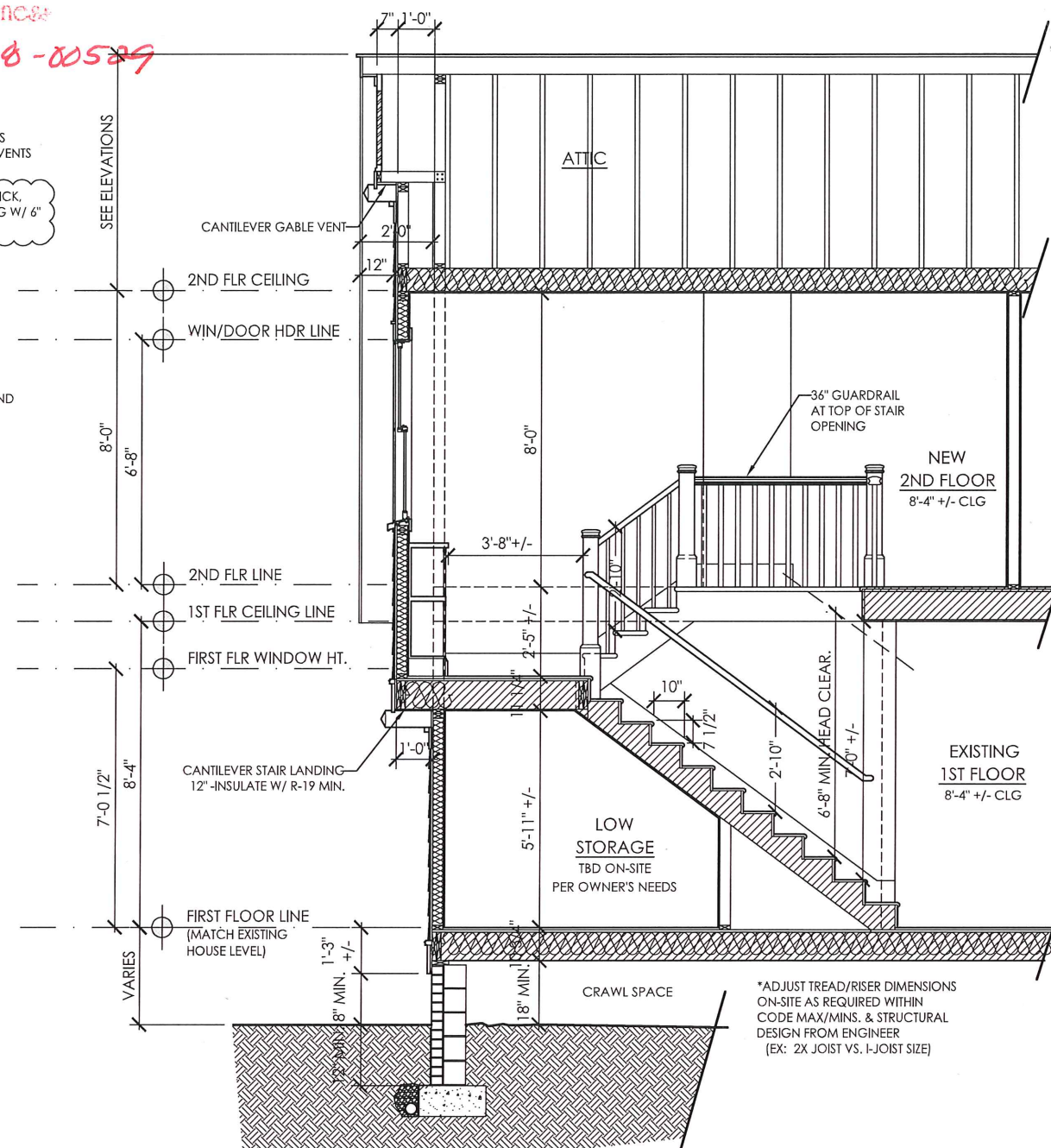
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2
2.3 GABLE DETAILS
Scale: 1/4" = 1'-0"



1
2.3 STAIR SECTION
Scale: 1/2" = 1'-0"

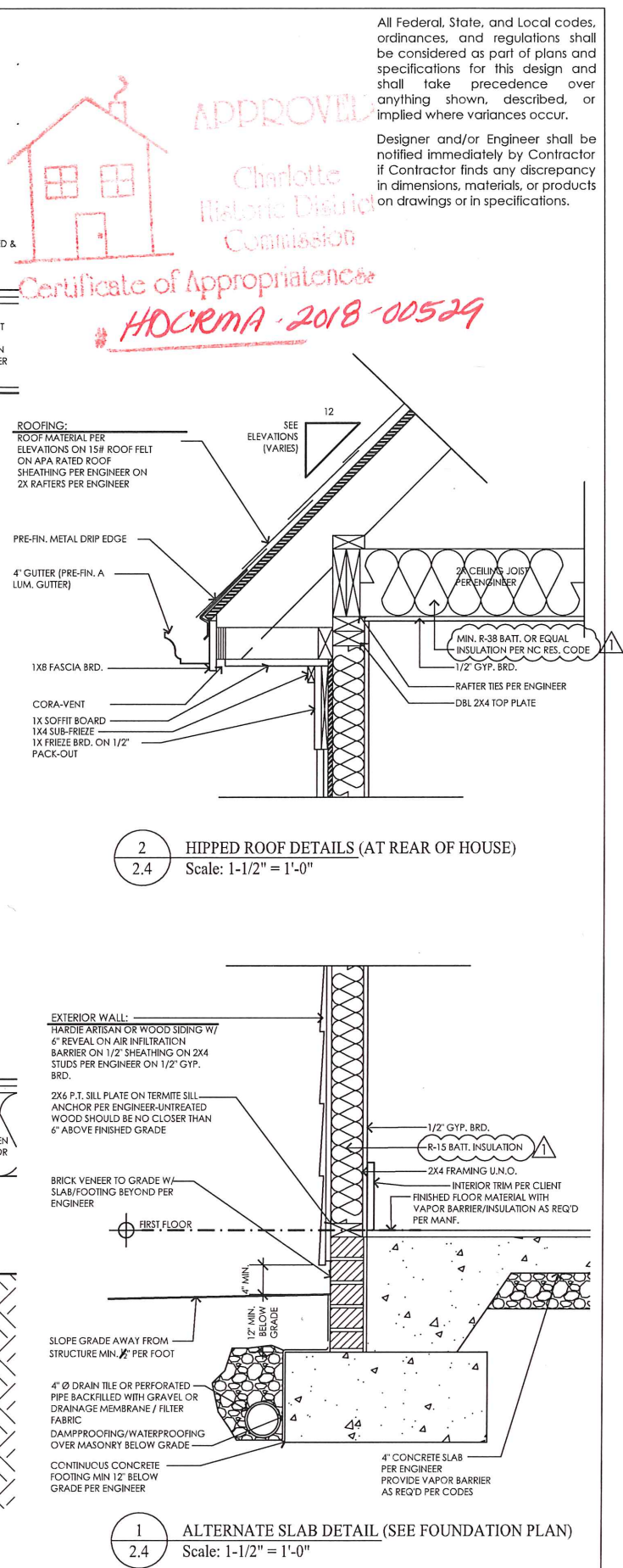
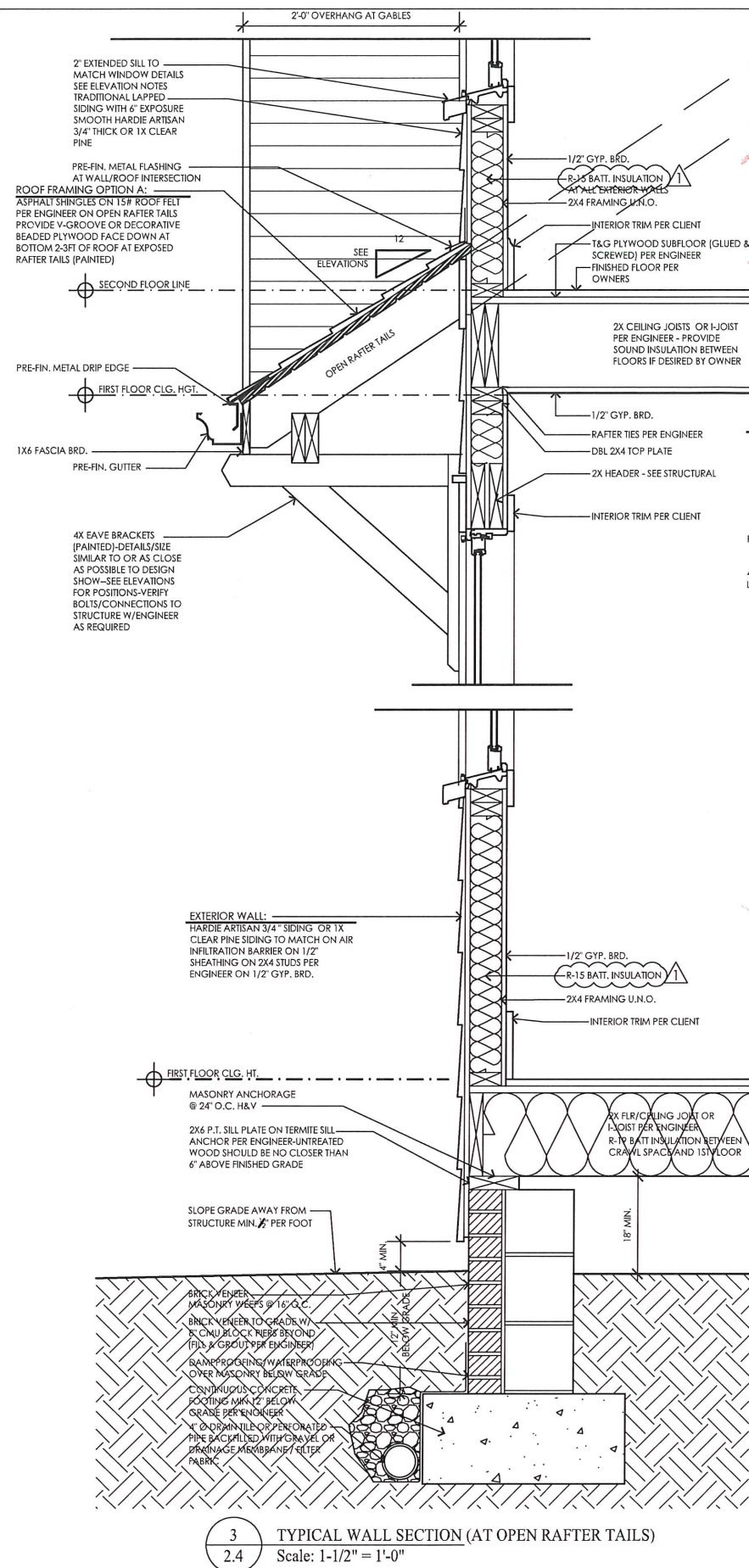
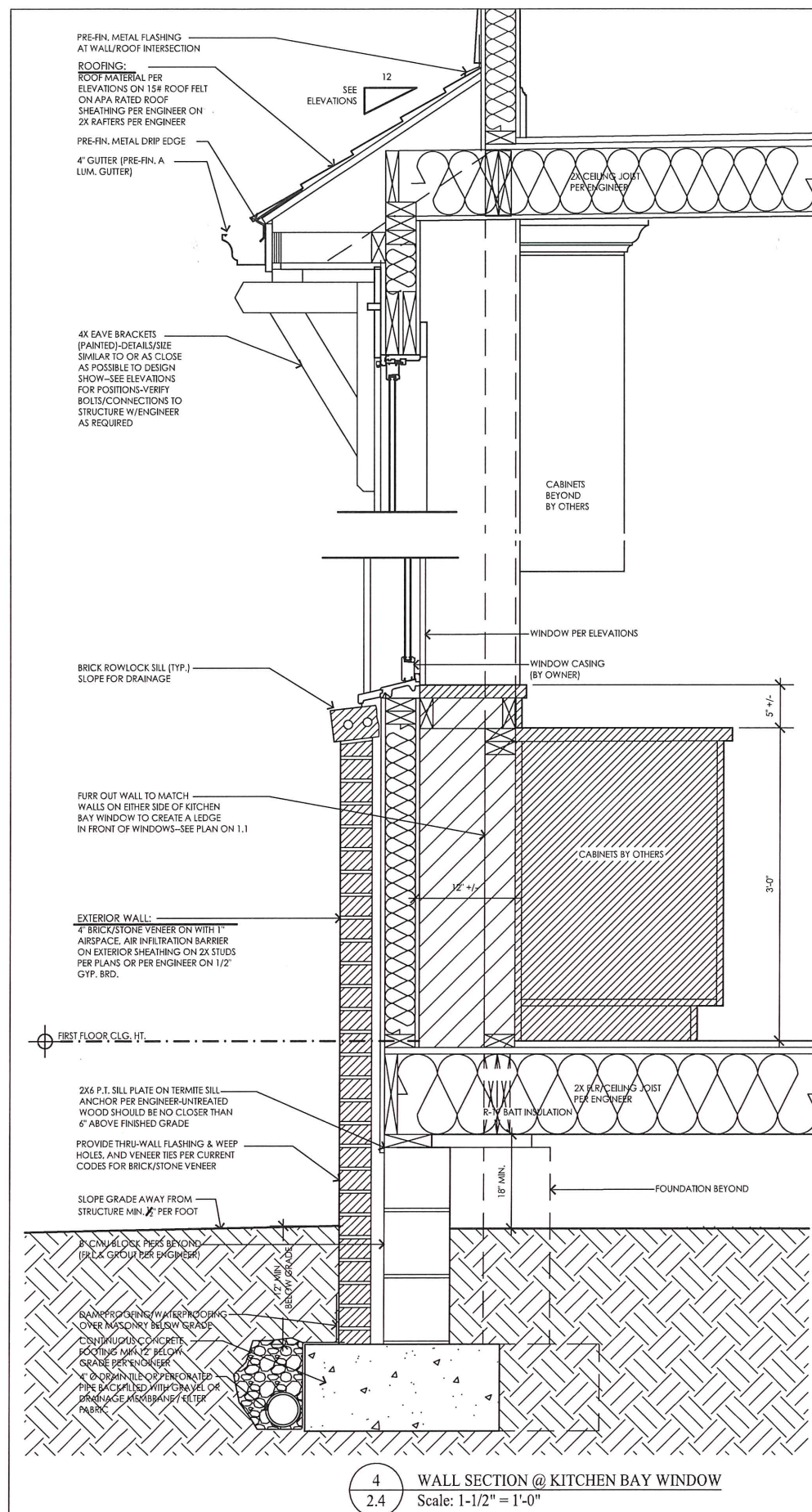
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2.4