



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMA-2018-00446

DATE: 1 February 2019

ADDRESS OF PROPERTY: 620 E Tremont Av

TAX PARCEL NUMBER: 12109348

HISTORIC DISTRICT: Dilworth

APPLICANT: Allen L. Brooks, ALB Architecture

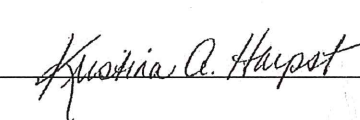
DETAILS OF APPROVED PROJECT: The project is a rear addition that is slightly taller and wider than the existing house. The addition ridge height is approximately 3' above the existing ridge. On the right side is a gable addition that ties into the left side hipped roof. Materials include wood siding, wood or aluminum clad windows, wood columns and brackets, and brick to match existing. New roof and window trim details will match the house. Post-construction the rear yard will be 50% permeable. See attached plans.

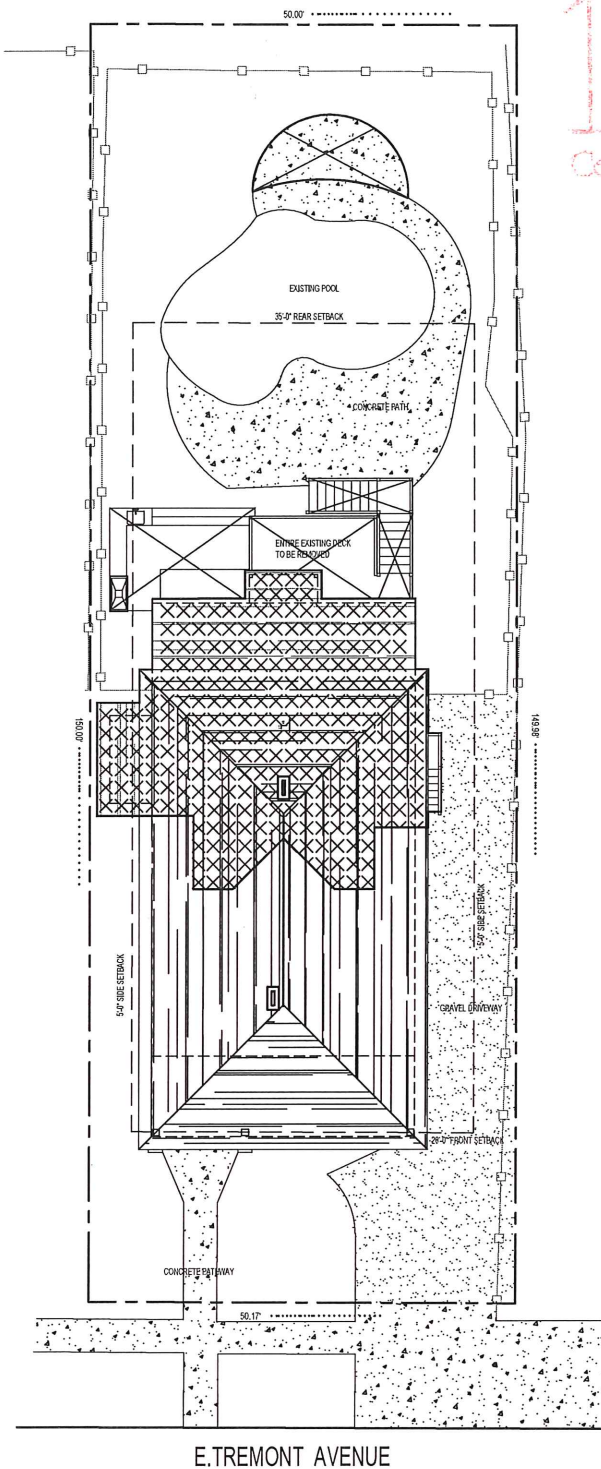
The project was approved by the HDC December 19, 2018.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

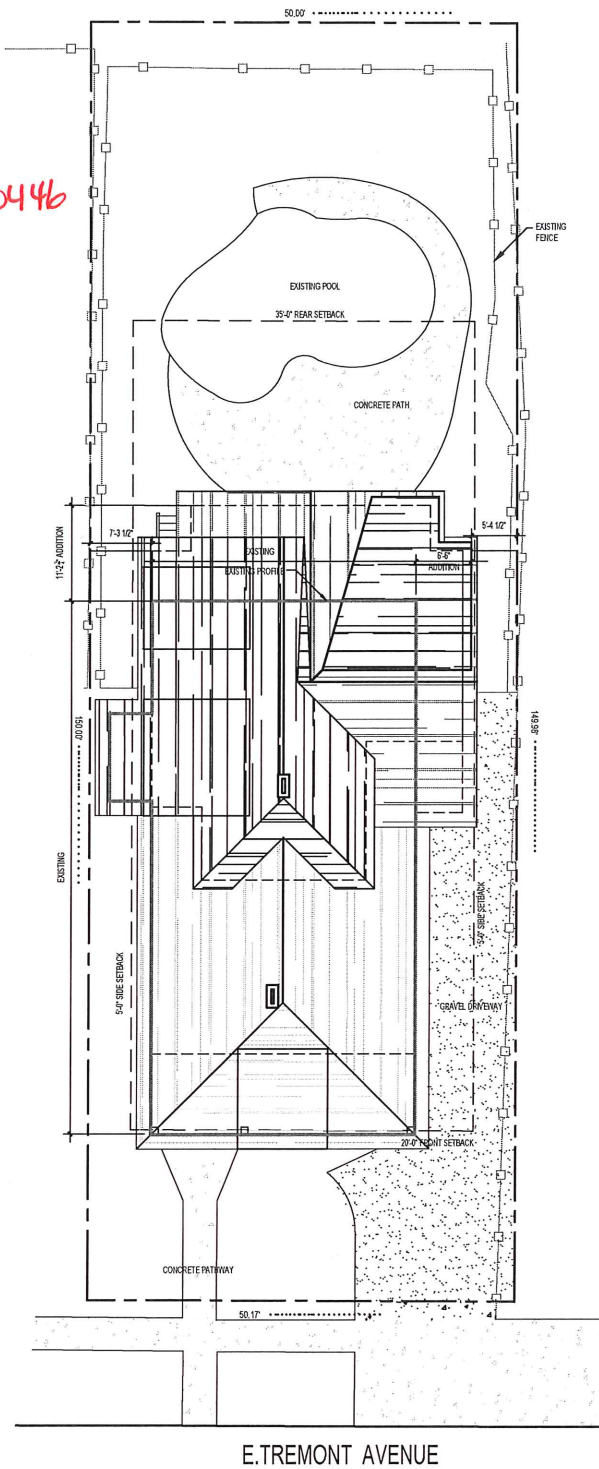
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman 

Staff 



② EXISTING SITE PLAN
1" = 10'-0"



① PROPOSED SITE PLAN
1" = 10'-0"

GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF STUD TO ALIGN WITH FACE OF BRICK U.N.O.
- FIRE BLOCK @ FLOOR & CEILING PER CODE.
- ALL DIMENSIONS ARE TO FACE OF STUD & BRICK U.N.O.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO MATCH EXISTING U.N.O.
- ALL FASCIAS TO BE 8".
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.5.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.5.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
- R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
 - R311.7.8.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- R312.1.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- R312.1.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

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- THIS PAGE SHALL EXPIRE ON DECEMBER 31, 2019 @ 11:59 PM IF BUILDING PERMIT HAS NOT BEEN ACQUIRED PRIOR TO EXPIRATION DATE

NOTE:

| | | | | |
|----------------|--|------|--------------------|--|
| CONCRETE | | KEY: | WALL TO BE REMOVED | |
| GRAVEL | | | ITEM TO BE REMOVED | |
| RETAINING WALL | | | | |
| PAVER SYSTEM | | | | |

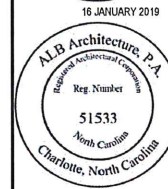
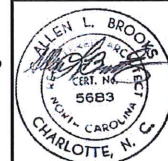
LEGEND:

| | |
|----------------------|--|
| BOUNDARY LINE | |
| OVERHEAD UTILITIES | |
| FENCE (TYPE NOTED) | |
| UTILITY POLE | |
| RWL: RIGHT OF WAY | |
| EP: EDGE OF PAVEMENT | |
| CL: CENTERLINE | |



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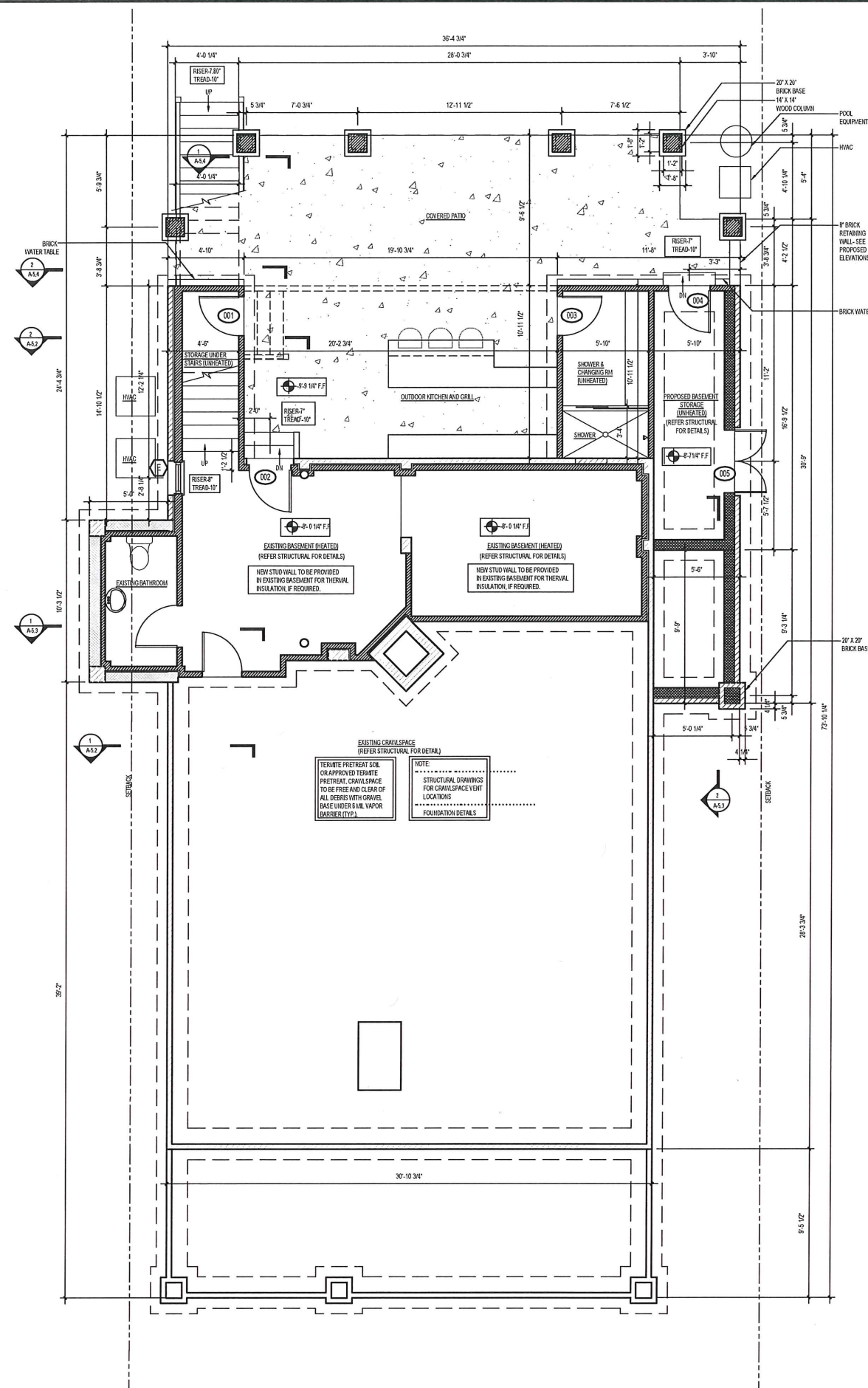
Historic Dilworth Renovation For the:
BLUMENTHAL RESIDENCE
620 E. Tremont Avenue, Charlotte, NC 28203

PROJECT #: 18071
ISSUED: 16 JANUARY 2019
REVISIONS:

EXISTING SITE PLAN

A-1.0

OF: SIXTEEN



1 PROPOSED FOUNDATION/BASEMENT PLAN
1/4" = 1'-0"

| WINDOW SCHEDULE | | | |
|-----------------|----------------|---|-------------------|
| ID | SIZE | HEADER HEIGHT | TYPE |
| A | 2'-8" X 5'-6" | MATCH EXISTING | DOUBLE HUNG |
| B | 2'-8" X 5'-0" | 7'-0" | DOUBLE HUNG |
| C | 3'-0" X 3'-6" | 6'-8" | OPERABLE CASEMENT |
| D | 2'-0" X 3'-6" | SECOND FLOOR 7'-0" STAIRS 4'-2" (FROM 1ST F.F.) | DOUBLE HUNG |
| E | 2'-4" X 2'-0" | FIRST FLOOR 4'-8" BASEMENT 6'-8" | CASEMENT |
| F | 2'-10" X 1'-8" | 5'-5" | CASEMENT |
| G | 2'-0" X 2'-0" | FIRST FLOOR 4'-8" BASEMENT 6'-8" (ON EITHER SIDE OF BIG WINDOWS) SECOND FLOOR 7'-0" | CASEMENT |

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. SEE ELEVATIONS FOR MANTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE BELOW.
 5. WINDOW SIZING:
 - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - 5.2. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MANTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - 5.3. M.E. = MATCH EXISTING.
 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

| BASEMENT DOOR SCHEDULE | | |
|------------------------|--|----------------------------|
| NUM | OPENING | LOCATION |
| 001 | 2'-6" x 6'-8" | STORAGE UNDER STAIRS |
| 002 | 2'-6" x 6'-8" (INSULATED & WEATHER STRIPPED) | BASEMENT ENTRY |
| 003 | 2'-6" x 6'-8" | STORAGE UNDER STAIRS |
| 004 | 2'-6" x 6'-8" | PROPOSED UNHEATED BASEMENT |
| 005 | PR 2'-0" x 6'-8" | PROPOSED UNHEATED BASEMENT |

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 6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
 7. ALL DIMENSIONS ARE TO FACE OF STUD & BRICK U.N.O.
 8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 3/16".
 10. ALL RISERS TO BE SOLID.
 11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
 12. RAILS TO BE 36" IN HEIGHT.
 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
 14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
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- STAIRS, RAILING & GUARD NOTES:
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 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 2. R311.7.5.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
 3. R311.7.5.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 4. R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
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- NOTE:
- C M U
 - EXISTING WALL
 - NEW WALL
 - BRICK



APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
HDCRMN-2018-00446

ALB

architecture

ALB Architecture
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ALLEN L. BROOKS
ARCHITECT
5683
NORTH CAROLINA
16 JANUARY 2019

ALB Architecture P.A.
Registered Architectural Firm
Reg. Number
51533
North Carolina
Charlotte, North Carolina
1st

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Historic Dilworth Renovation For the:
BLUMENTHAL RESIDENCE
620 E. Tremont Avenue, Charlotte, NC 28203

PROJECT #: 18071
ISSUED: 16 JANUARY 2019
REVISIONS:

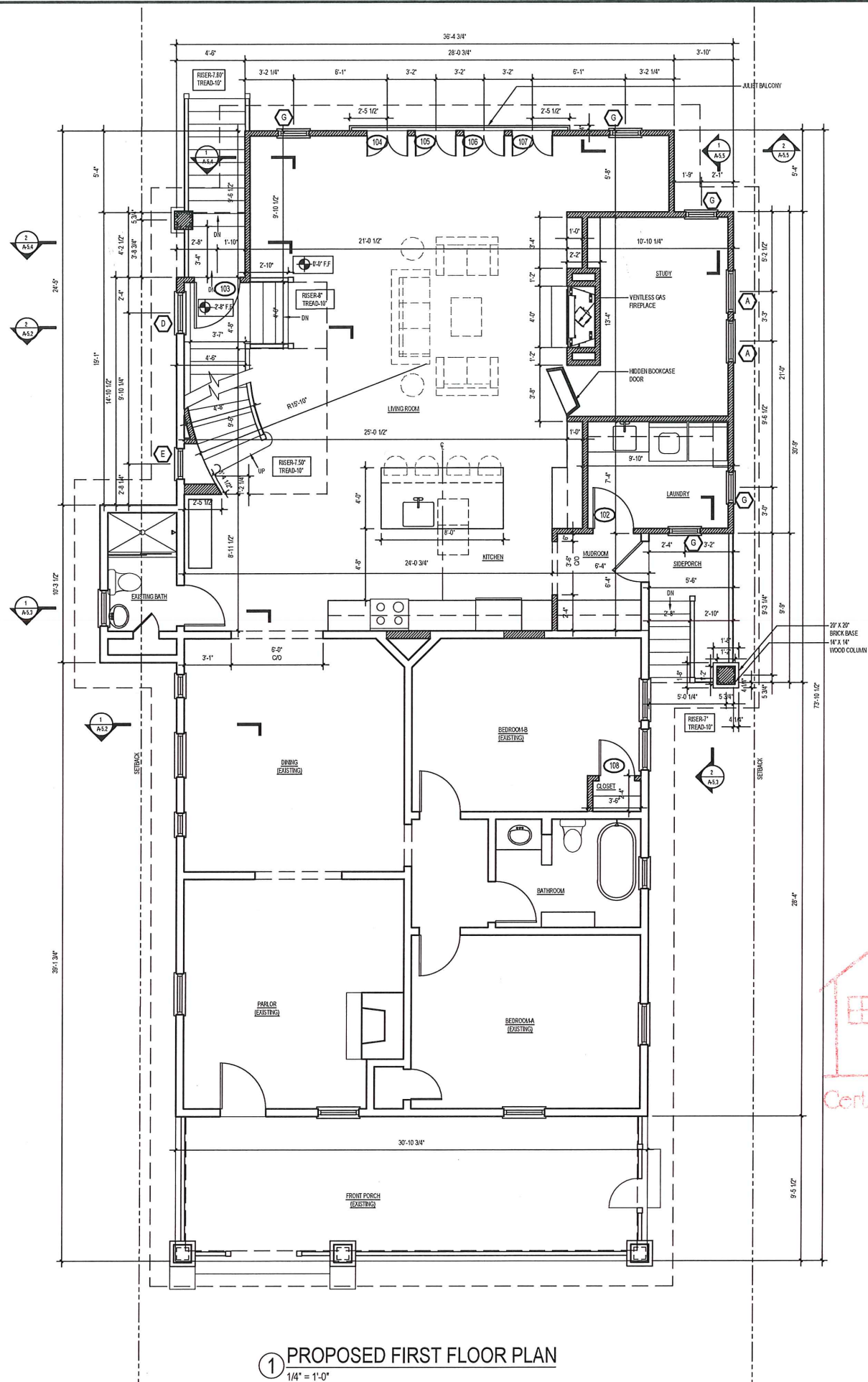
PROPOSED
FOUNDATION/BASEMENT
PLAN
A-4.0
OF: SIXTEEN

② STAIR DETAIL w/ RAIL
1/2" = 1'-0" (INTERIOR ONLY)

③ STAIR DETAIL w/ GUARD
1/2" = 1'-0" (INTERIOR ONLY)

④ WOOD STAIR DETAIL
1/2" = 1'-0" (EXTERIOR ONLY)

⑤ MASONRY STAIR DETAIL
1/2" = 1'-0" (EXTERIOR ONLY)



① PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

| WINDOW SCHEDULE | | | |
|-----------------|----------------|---|-------------------|
| ID | SIZE | HEADER HEIGHT | TYPE |
| A | 2'-8" X 5'-6" | MATCH EXISTING | DOUBLE HUNG |
| B | 2'-8" X 5'-0" | 7'-0" | DOUBLE HUNG |
| C | 3'-0" X 3'-6" | 6'-8" | OPERABLE CASEMENT |
| D | 2'-0" X 3'-6" | SECOND FLOOR 7'-4" STAIRS 4'-2" (FROM 1ST F.F.) | DOUBLE HUNG |
| E | 2'-4" X 2'-0" | FIRST FLOOR 7'-8" BASEMENT 6'-8" | CASEMENT |
| F | 2'-10" X 1'-8" | 5'-9" | CASEMENT |
| G | 2'-0" X 2'-0" | FIRST FLOOR 6'-8" (ON EITHER SIDE OF BIG WINDOW) SECOND FLOOR 7'-0" | CASEMENT |

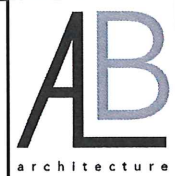
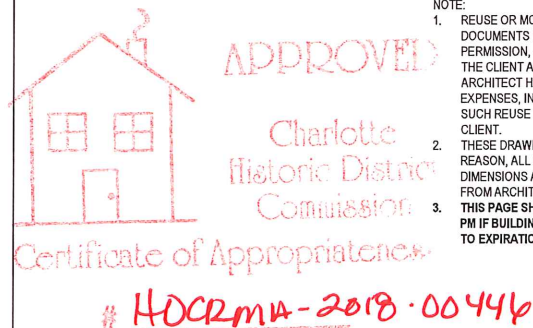
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 2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE BELOW.
 5. WINDOW SIZING:
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| FIRST FLOOR DOOR SCHEDULE | | |
|---------------------------|---|-----------------|
| NUM. | OPENING | LOCATION |
| 101 | 2'-8" x 6'-8" (INSULATED & WEATHER STRIPPED) | SIDE ENTRY DOOR |
| 102 | 2'-8" x 6'-8" (INSULATED & WEATHER STRIPPED) | LAUNDRY |
| 103 | 3'-0" x 6'-8" (INSULATED & WEATHER STRIPPED) | REAR ENTRY |
| 104 | PR 1'-4" x 6'-8" (INSULATED & WEATHER STRIPPED) | LIVING ROOM |
| 105 | PR 1'-4" x 6'-8" (INSULATED & WEATHER STRIPPED) | LIVING ROOM |
| 106 | PR 1'-4" x 6'-8" (INSULATED & WEATHER STRIPPED) | LIVING ROOM |
| 107 | PR 1'-4" x 6'-8" (INSULATED & WEATHER STRIPPED) | LIVING ROOM |
| 108 | 2'-4" x 6'-8" (INSULATED & WEATHER STRIPPED) | BEDROOM CLOSET |

- NOTE:
- C M U
 - EXISTING WALL
 - NEW WALL
 - BRICK

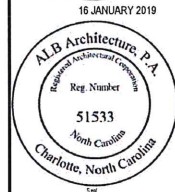
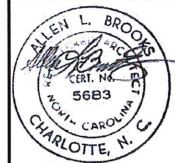
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 12. RAILS TO BE 38" IN HEIGHT.
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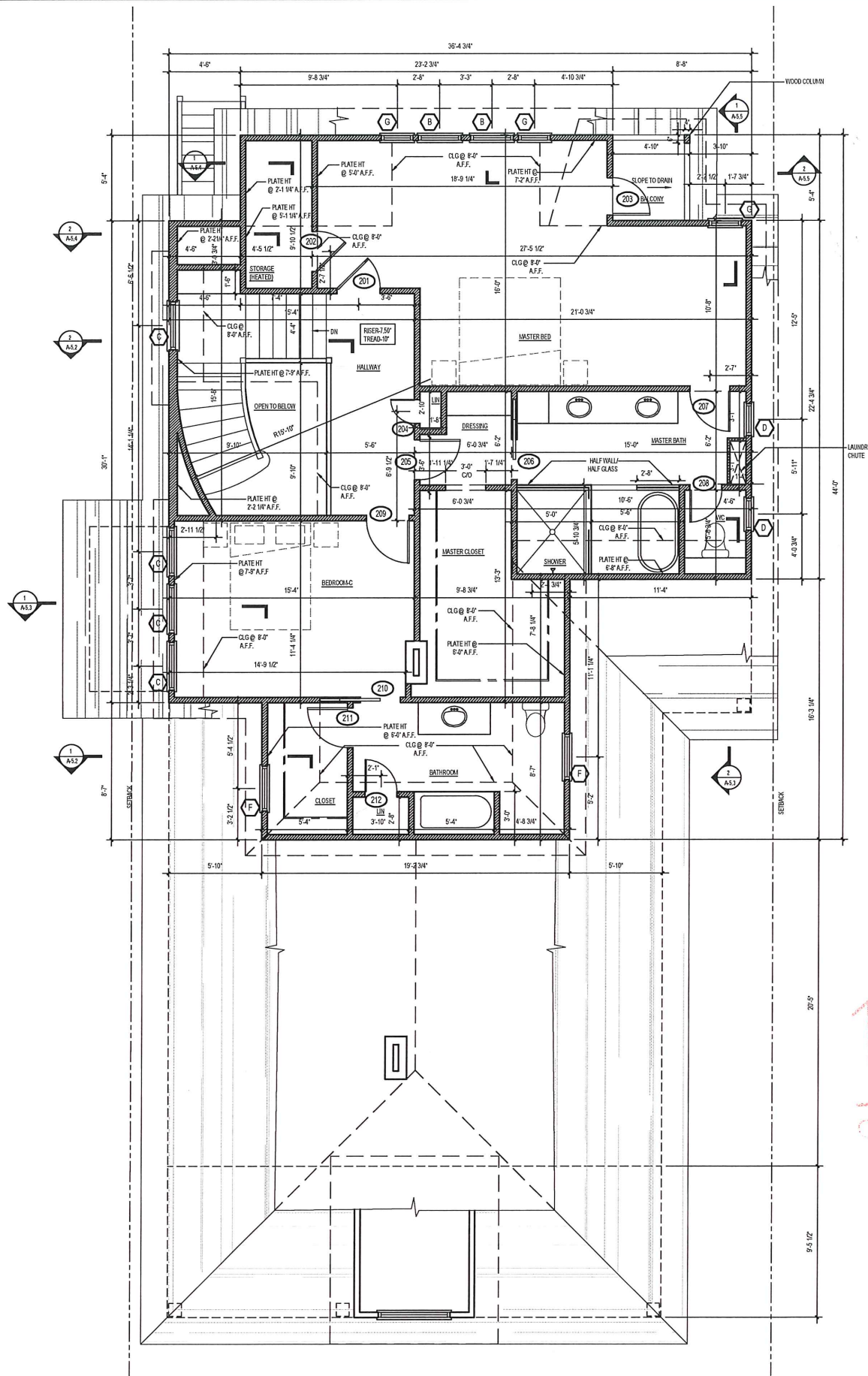


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ISSUED: 16 JANUARY 2019
REVISIONS:

PROPOSED 1ST FLOOR PLAN
A-4.1
OF: SIXTEEN



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

| WINDOW SCHEDULE | | | |
|-----------------|----------------|---|-------------------|
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| G | 2'-0" X 2'-0" | FIRST FLOOR 7'-0" BASEMENT 6'-0" (ON EITHER SIDE OF BIG WINDOW) | CASEMENT |

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 3 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE BELOW.
 5. WINDOW SIZING:
 - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - 5.2. FOR ADDITIONS & REBUILDS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - 5.3. M.E. = MATCH EXISTING.
 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

| SECOND FLOOR DOOR SCHEDULE | | |
|----------------------------|--|----------------------|
| ID | OPENING | LOCATION |
| 201 | 2'-8" x 6'-8" | MASTER BED |
| 202 | 2'-8" x 6'-8" | MASTER BED STORAGE |
| 203 | 2'-4" x 6'-8" (INSULATED & WEATHER STRIPPED) | MASTER BED BALCONY |
| 204 | 1'-8" x 6'-8" | LINEN CLOSET |
| 205 | 2'-8" x 6'-8" | MASTER BATH DRESSING |
| 206 | 2'-8" x 6'-8" POCKET DOOR | MASTER BATH |
| 207 | 2'-8" x 6'-8" | MASTER BATH |
| 208 | 2'-0" x 6'-8" | WC |
| 209 | 2'-8" x 6'-8" | BEDROOM C |
| 210 | 2'-8" x 6'-8" POCKET DOOR | BEDROOM C BATHROOM |
| 211 | 2'-8" x 6'-8" | BEDROOM C CLOSET |
| 212 | 2'-0" x 6'-8" | LINEN CLOSET |

- STAIRS, RAILING & GUARD NOTES:
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 2. R311.7.5.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
 3. R311.7.5.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 4. R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
 - 4.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
 5. R311.7.8.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
 6. R312.1.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
 7. R312.1.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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NOTE:

CMU

EXISTING WALL

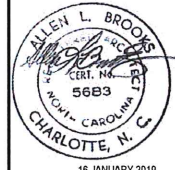
NEW WALL

BRICK



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1200 E. Morehead St.
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E-mail:
brooks.alb@icloud.com
lauer.alb@icloud.com



16 JANUARY 2019

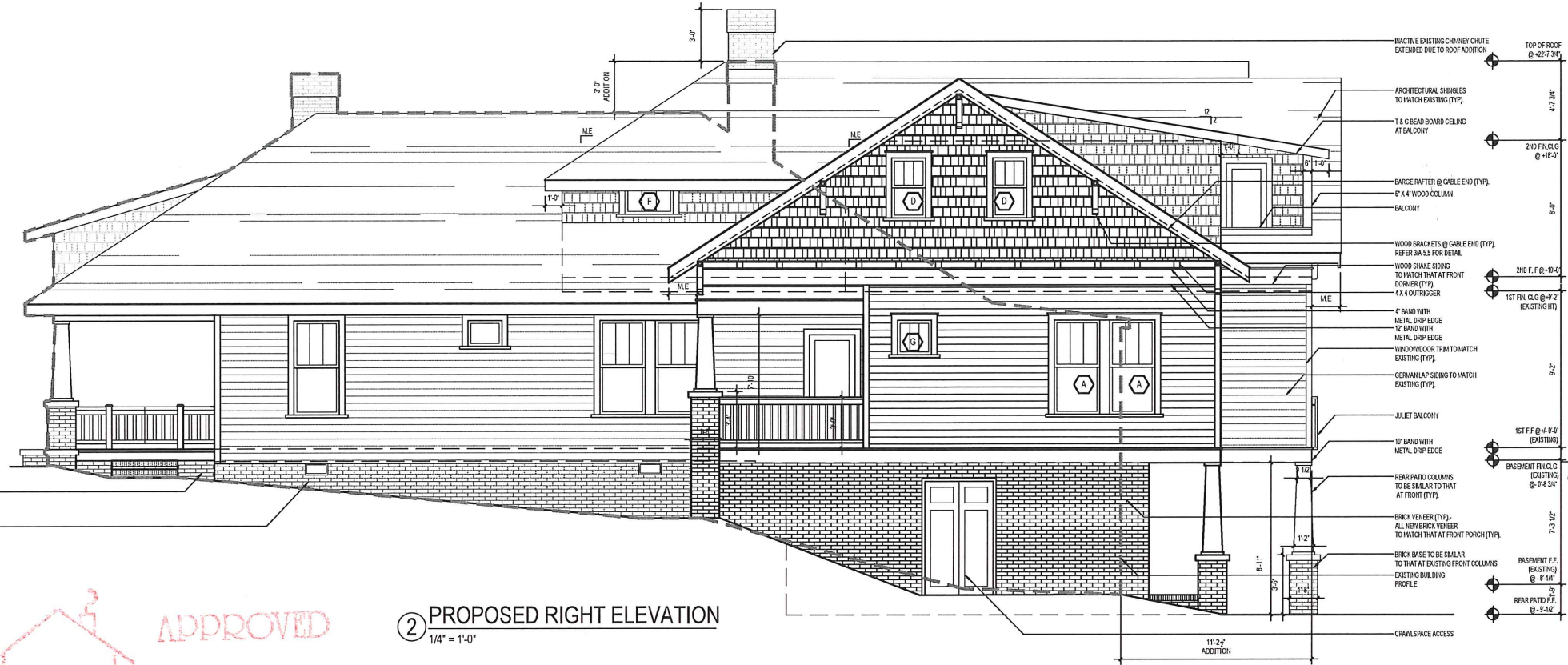


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Historic Dilworth Renovation For the:
BLUMENTHAL RESIDENCE
620 E. Tremont Avenue, Charlotte, NC 28203

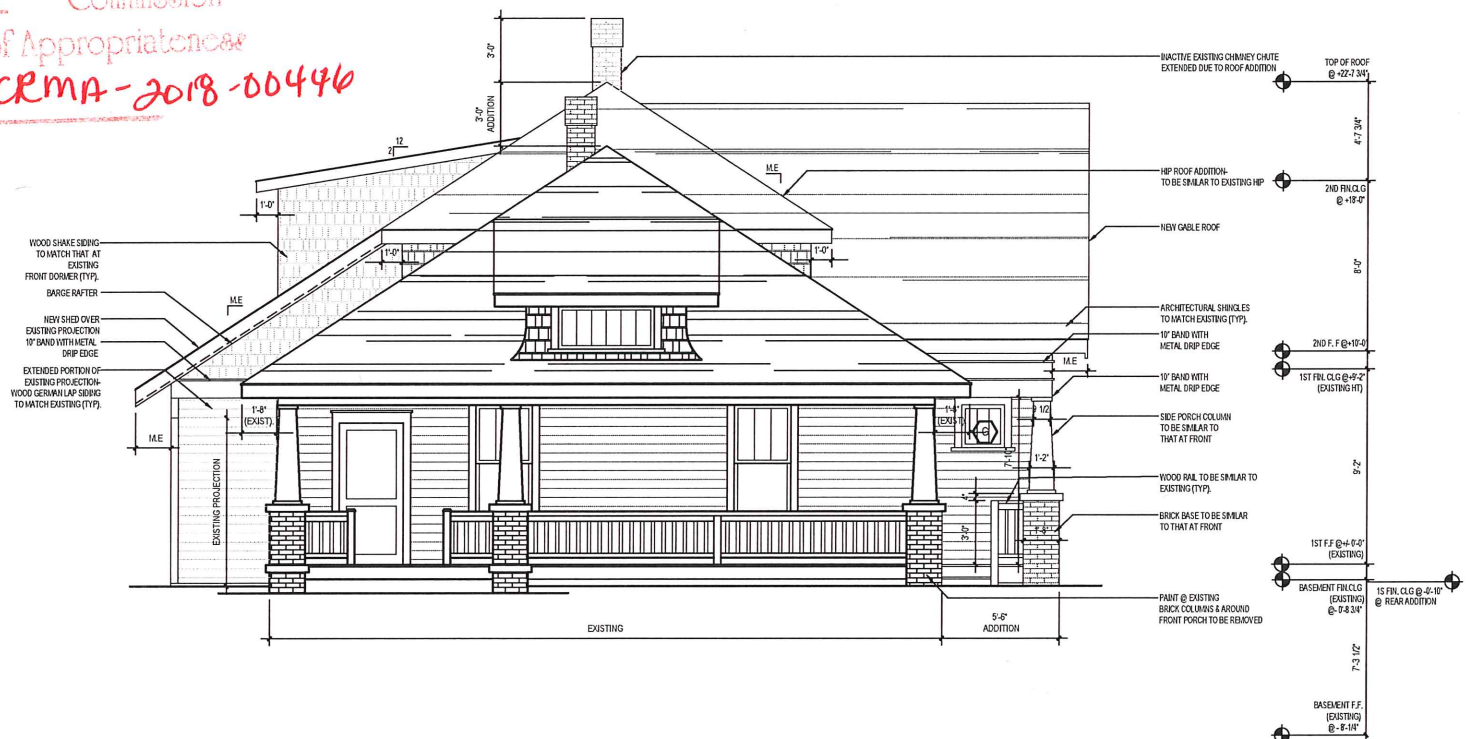
PROJECT #: 18071
ISSUED: 16 JANUARY 2019
REVISIONS:

PROPOSED 2ND FLOOR PLAN
A-4.2
OF: SIXTEEN



2 PROPOSED RIGHT ELEVATION
1/4" = 1'-0"

APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
HDCRMA-2018-00446



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

| WINDOW SCHEDULE | | | |
|-----------------|----------------|--|-------------------|
| ID | SIZE | HEADER HEIGHT | TYPE |
| A | 2'-6" X 5'-6" | MATCH EXISTING | DOUBLE HUNG |
| B | 2'-6" X 5'-0" | 7'-0" | DOUBLE HUNG |
| C | 3'-0" X 3'-6" | 6'-6" | OPERABLE CASEMENT |
| D | 2'-0" X 3'-6" | SECOND FLOOR 7'-0" STAIRS 4'-2" (FROM 1ST F.F.) | DOUBLE HUNG |
| E | 2'-4" X 2'-0" | FIRST FLOOR 7'-6" BASEMENT 6'-8" | CASEMENT |
| F | 2'-10" X 1'-8" | 5'-5" | CASEMENT |
| G | 2'-0" X 2'-0" | FIRST FLOOR 11'-6" MASTER BED 9'-6" (ON EITHER SIDE OF BIG WINDOWS) SECOND FLOOR 7'-0" | CASEMENT |

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 5 SF OF GLASS OR MORE & LESS THAN 16" A.F.F. MUST BE TEMPERED.
 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
 5. WINDOW SIZING:
 - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - 5.2. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP & FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
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GENERAL NOTES:

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2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF STUD TO ALIGN WITH FACE OF BRICK U.N.O.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & BRICK U.N.O.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 28" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO MATCH EXISTING U.N.O.
17. ALL FASCIAS TO BE 6".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

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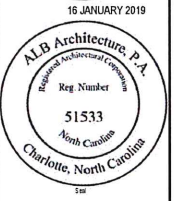
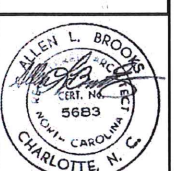
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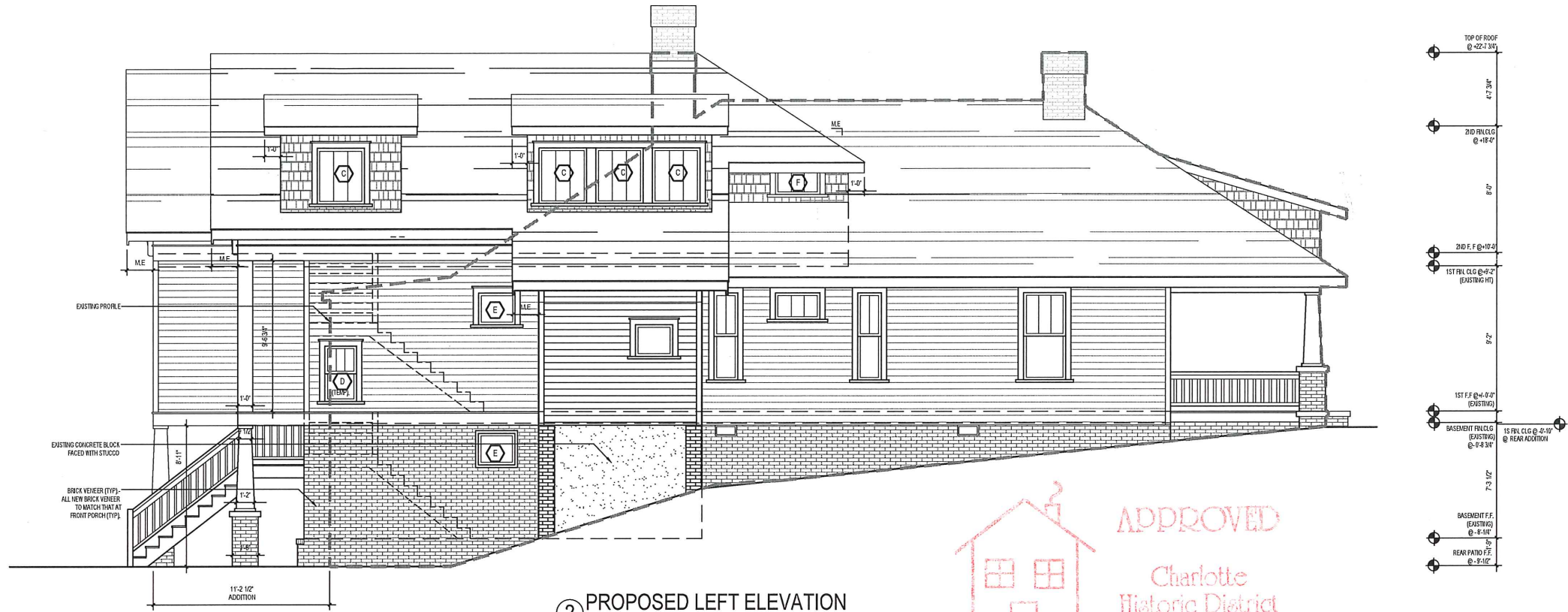


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Historic Dilworth Renovation For the:
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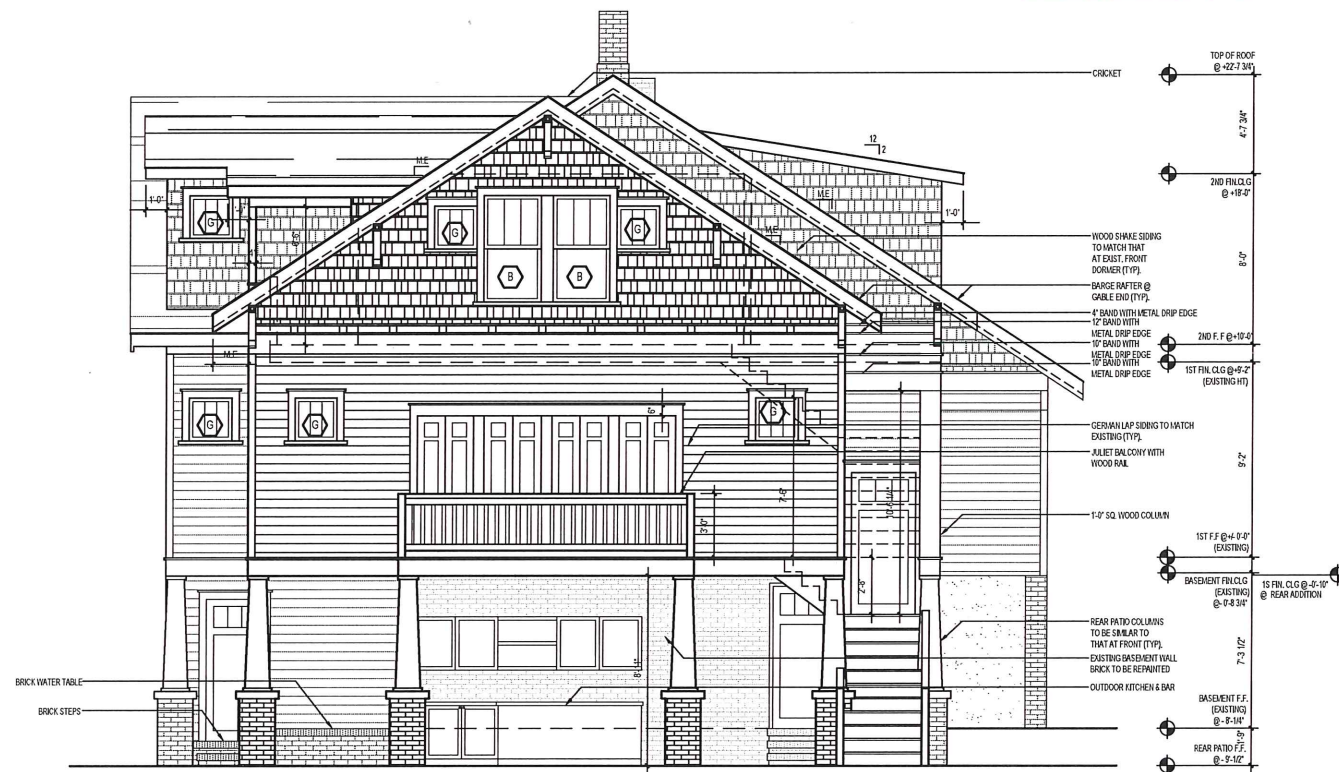
PROJECT #: 18071
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REVISIONS:

PROPOSED FRONT
ELEVATION
A-5.0
OF: SIXTEEN



2 PROPOSED LEFT ELEVATION
1/4" = 1'-0"

APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
#HDCRMA-2018-00146



1 PROPOSED REAR ELEVATION
1/4" = 1'-0"

| WINDOW SCHEDULE | | | | |
|-----------------|----------------|---|-------------------|--|
| ID | SIZE | HEADER HEIGHT | TYPE | |
| A | 2'-0" X 5'-0" | MATCH EXISTING | DOUBLE HUNG | |
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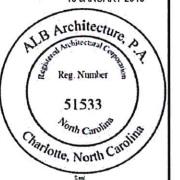
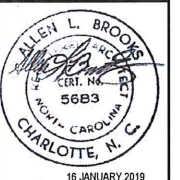
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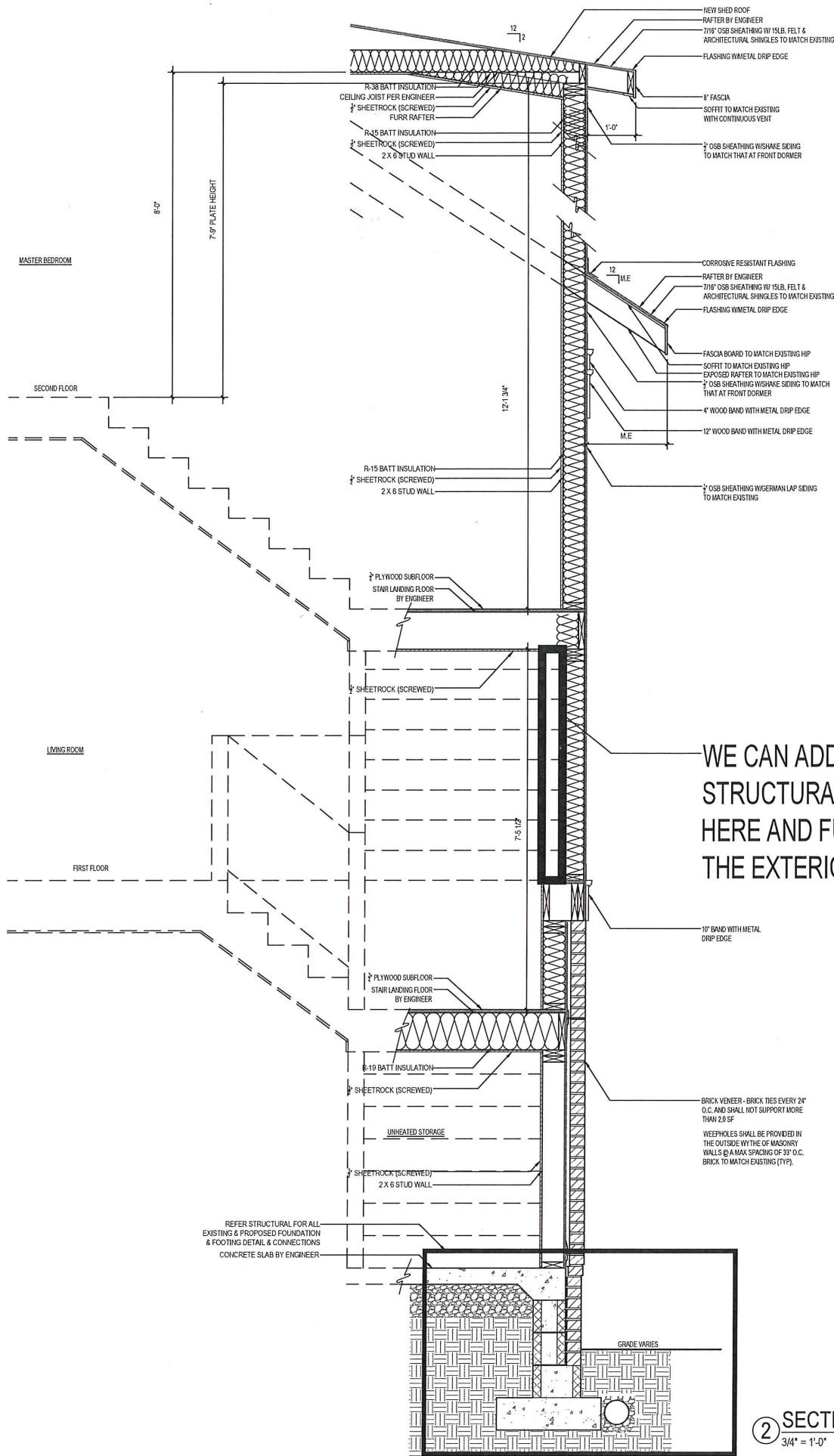


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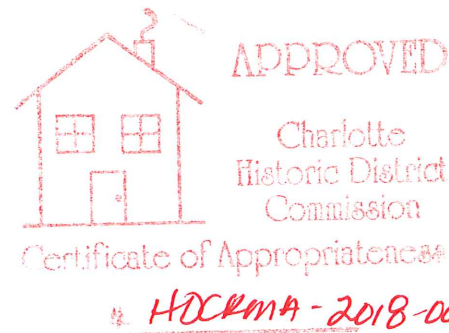
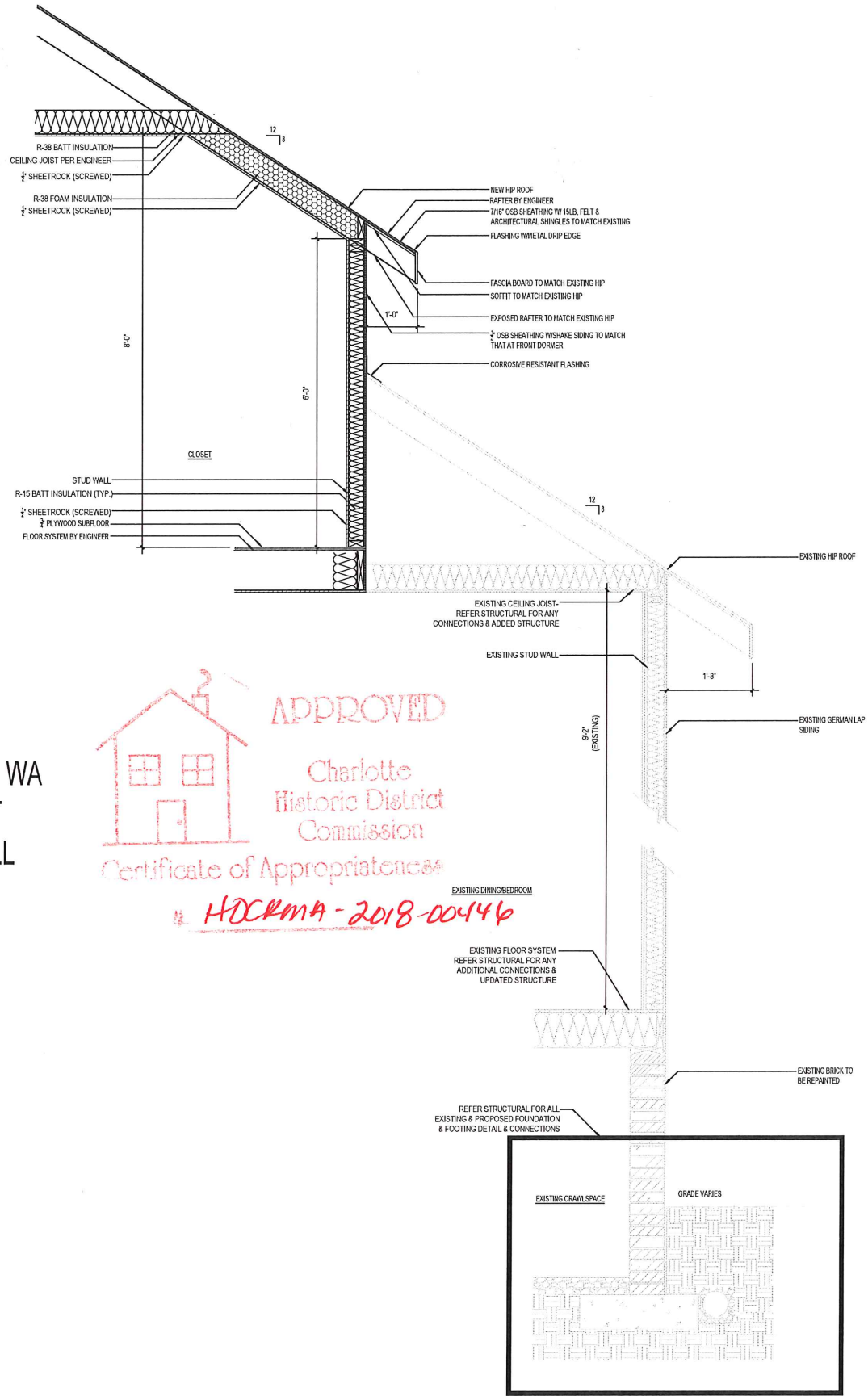
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PROJECT # 18071
ISSUED: 16 JANUARY 2019
REVISIONS:

PROPOSED RIGHT ELEVATION
A-5.1
OF: SIXTEEN



WE CAN ADD A
STRUCTURAL STUD WA
HERE AND FUR OUT
THE EXTERIOR WALL



② SECTION THROUGH STAIRCASE
3/4" = 1'-0"

① SECTION THROUGH ADDED HIP DORMER
3/4" = 1'-0"

GENERAL NOTES:

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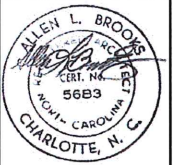
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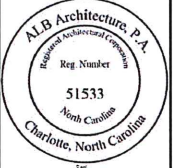


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16 JANUARY 2019



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Historic Dilworth Renovation For the:

BLUMENTHAL RESIDENCE

620 E. Tremont Avenue, Charlotte, NC 28203

PROJECT #: 18071
ISSUED: 16 JANUARY 2019
REVISIONS:

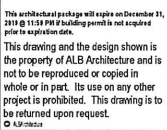
PROPOSED REAR
ELEVATION

A-5.2

OF: SIXTEEN



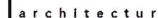
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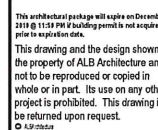
Historic Dilworth Renovation For the:
BLUMENTHAL RESIDENCE
620 E. Tremont Avenue, Charlotte, NC 28203

PROPOSED LEFT ELEVATION

OF: SIXTEEN



E-mail:
brooks.alb@icloud.com
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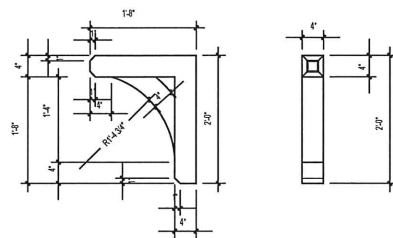


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| PROJECT #: | 18071 |
| ISSUED: | 16 JANUARY 20 |
| REVISIONS: | |

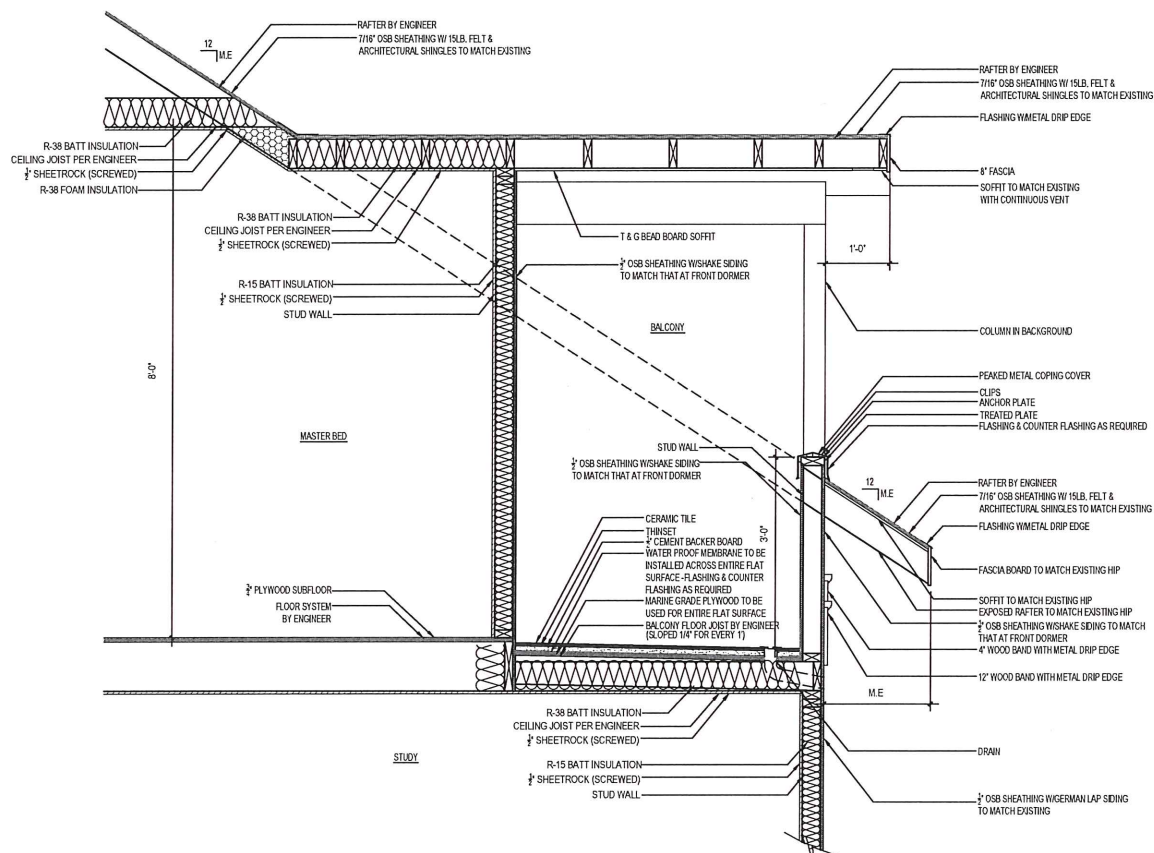
SECTIONS & DETAILS

OF: SIXTEE

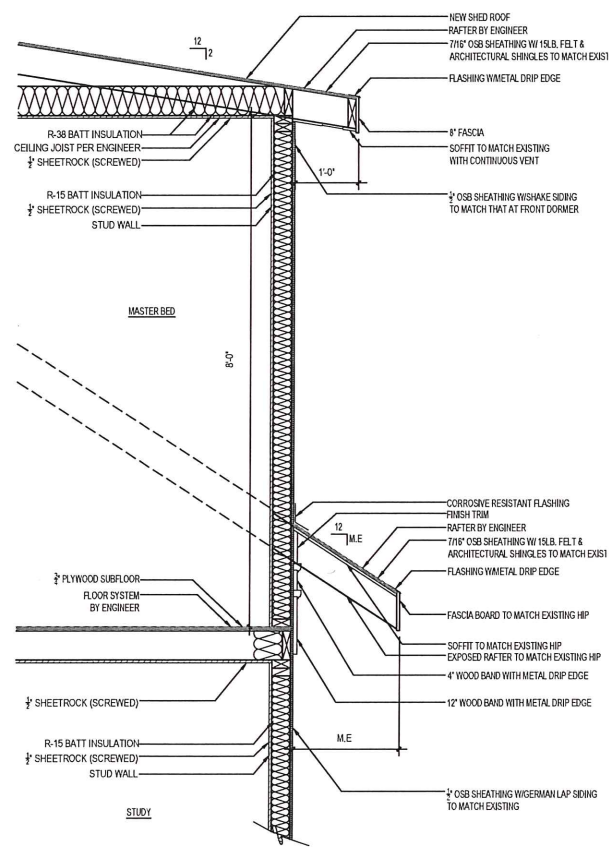




③ WOOD BRACKET DETAIL
3/4" = 1'-0"



② SECTION THROUGH SECOND FLOOR BALCONY
3/4" = 1'-0"



① SECTION THOUGH MASTER BED
3/4" = 1'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF STUD TO ALIGN WITH FACE OF BRICK U.N.O.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & BRICK U.N.O.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO MATCH EXISTING U.N.O.
17. ALL FASCIAS TO BE 8".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.5.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.5.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
5. R311.7.8.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.1.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS.
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.1.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

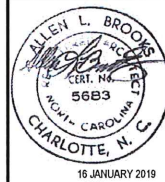
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