



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMI-2018-00445

DATE: June 10, 2019

ADDRESS OF PROPERTY: 1908 Dilworth Road East

TAX PARCEL NUMBER: 12111610

HISTORIC DISTRICT: Dilworth

OWNER(S): Stuart and Diane Thompson

APPLICANT: Allen Brooks,  
ALB Architecture

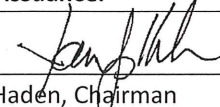
**DETAILS OF APPROVED PROJECT:** The proposal is an addition and changes to a non-original front dormer that was added in the early 1990s. The addition would raise the ridge +/- 2'-9 1/2" by extending the side gables and adding new front and rear dormers. Materials include wood shake siding to match existing and wood or aluminum clad windows. New roof and window trim details will match the house. There are no impacts to mature trees. See attached plans.

The project was approved by the HDC November 14, 2018.

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

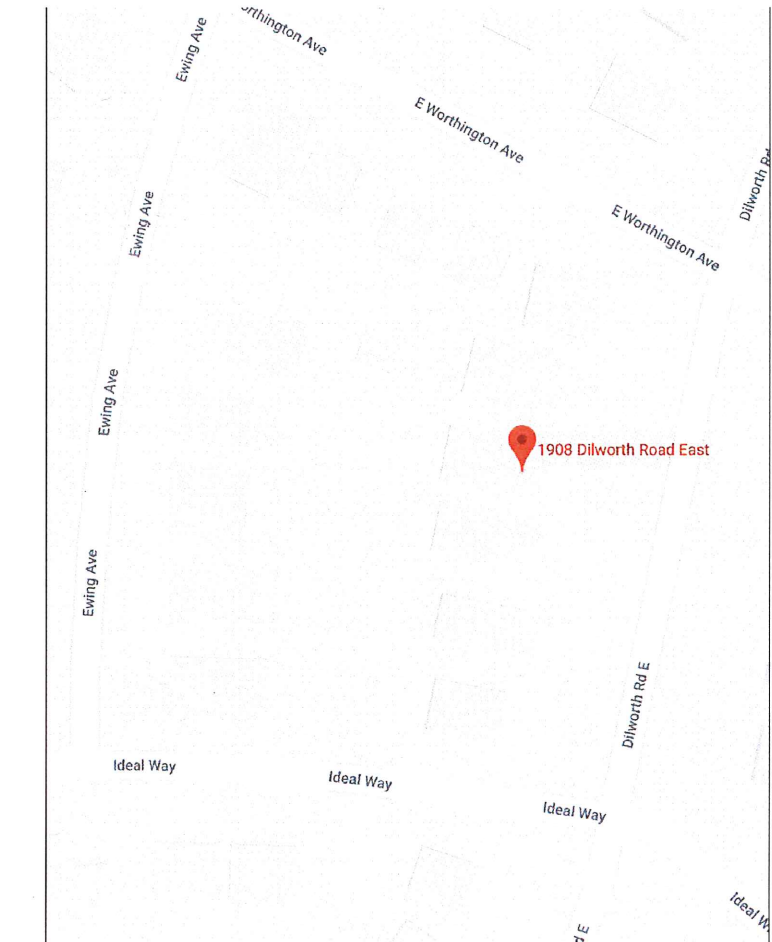
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

  
James Haden, Chairman

  
Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org  
600 East Fourth Street  
Charlotte, NC 28202-2853  
PH: (704)-336-2205  
FAX: (704)-336-5123



VICINITY MAP

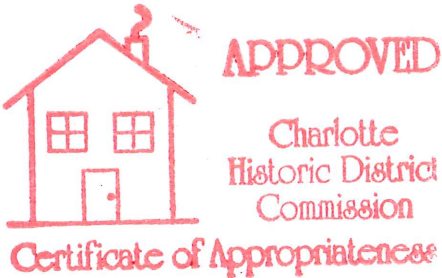


ZONING INFORMATION

JURISDICTION	CITY OF CHARLOTTE
ZONED	R5
BUILDING LIMITS	
FRONT SETBACK	20'-0"
SIDE YARD	5'-0"
REAR YARD	30'-0"
MAXIMUM IMPERVIOUS	65

SQUARE FOOTAGE CALCULATIONS

	HEATED SPACE	UNHEATED SPACE
EXISTING FIRST FLOOR	1982	
EXISTING FRONT PORCH		284
EXISTING REAR PORCH		106
PROPOSED SECOND FLOOR	999	
TOTAL	2981	390
TOTAL UNDER ROOF		3371



# HDCRMI - 2018 - 00445

INDEX OF DRAWINGS

A-0	COVER SHEET
A-1.0	EXISTING CONDITIONS
A-2.0	CONTEXT & ADJACENT STRUCTURES
A-3.0	EXISTING & PROPOSED SITE PLAN
A-4.0	EXISTING AND PROPOSED FRONT ELEVATION
A-4.1	EXISTING AND PROPOSED RIGHT ELEVATION
A-4.2	EXISTING PROPOSED REAR ELEVATION
A-4.3	EXISTING AND PROPOSED LEFT ELEVATION
A-5.0	STREETSCAPE ELEVATIONS
A-6.0	FRONT ELEVATION - OCT & NOV
A-6.1	RIGHT ELEVATION - OCT & NOV
A-6.2	REAR ELEVATION - OCT & NOV
A-6.3	LEFT ELEVATION - OCT & NOV
A-8.0	TYPICAL WALL DETAILS
A-9.0	EXISTING FOUNDATION / BASEMENT PLAN(NO CHANGES)
A-9.1	EXISTING AND PROPOSED FIRST FLOOR PLAN
A-9.2	EXISTING AND PROPOSED SECOND FLOOR PLAN
A-9.3	EXISTING AND PROPOSED ROOF PLAN
A-10.0	REFERENCES

- NOTE:
- THIS PACKAGE HAS BEEN ASSEMBLED FOR APPROVAL BY THE CHARLOTTE HISTORIC DISTRICT COMMISSION. THIS PACKAGE SHALL NOT BE USED FOR OBTAINING BUILDING PERMITS OF ANY KIND. USE OR MODIFICATION OF DOCUMENTS BY THE CLIENT, CONTRACTOR WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
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AREA CALCULATIONS

TOTAL EXISTING HEATED AREA	1982
TOTAL PROPOSED HEATED AREA	999

PROPOSED UNHEATED

TOTAL	0
TOTAL	0

REAR YARD PERMEABILITY CALCULATIONS (MAX 50 PER HDC)

EXSITING REAR YARD AREA	3435
HOUSE ADDITION	0
EXISTING CONCRETE PAD	508
EXSITING REAR PORCH	106
EXISTING SHED	48
EXISTING PERMEABLE PAVERS	90
EXISTING GARAGE	431
TOTAL	1183

OPEN SPACE CALCULATIONS (65 MIN. REQUIRED)

TOTAL AREA OF SITE	10785
FOOTPRINT OF HOUSE	2375
EXISTING GARAGE	431
EXISTING SHED	48
TOTAL AREA	2854
PERCENTAGE OF OPENSACE	73.54



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Charlotte, NC 28204  
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brooks.alb@icloud.com  
lauer.alb@icloud.com

HDC MEETING DATE:  
14 NOV 2018  
HDC DOCKET #:  
HDC 2018-445

This architectural package will expire on December 31, 2018 @ 11:59 PM if building permit is not acquired prior to expiration date.  
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Designed Exclusively For the:  
**THOMPSON RESIDENCE**  
1908 Dilworth Road East, Charlotte, NC 28203

PROJECT #: 18015  
ISSUED: 05 NOV 2018  
REVISIONS:

COVER SHEET  
**A-0**

OF: NINETEEN



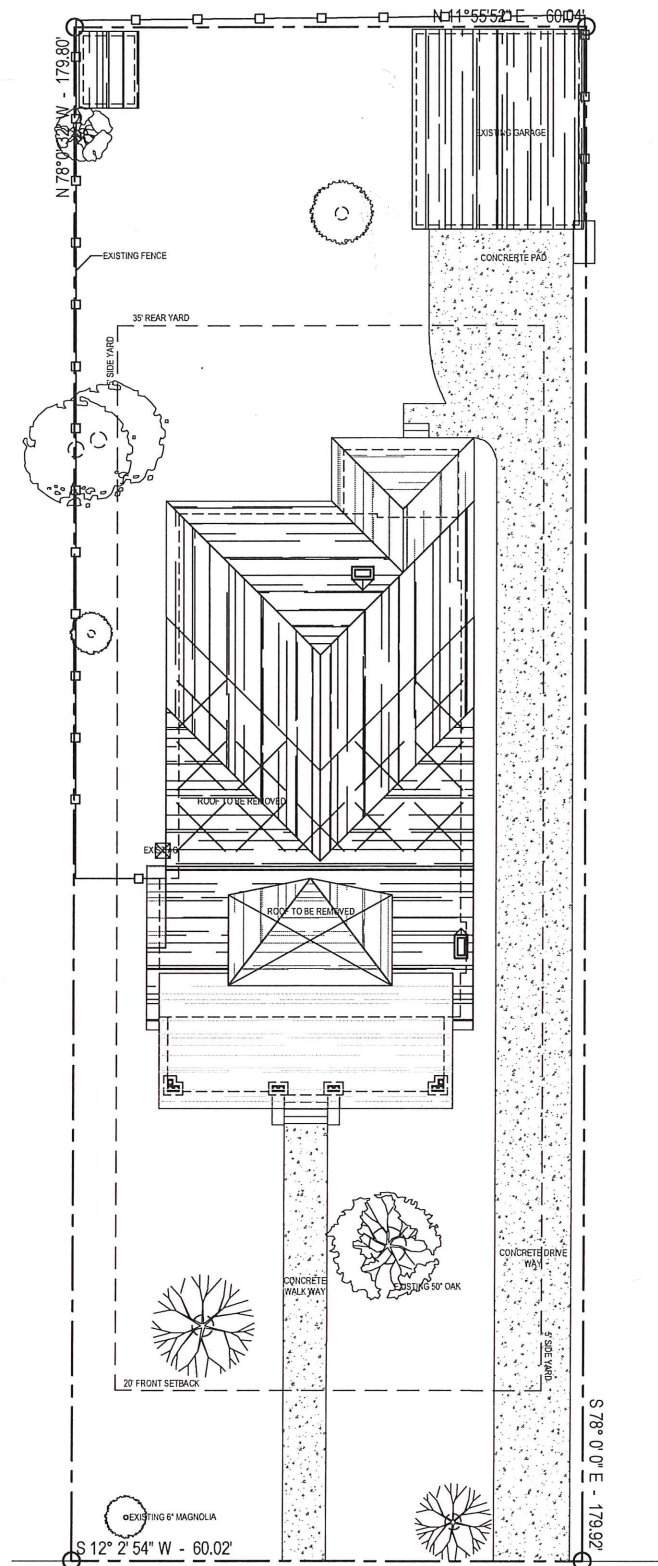


APPROVED

Charlotte  
Historic District  
Commission

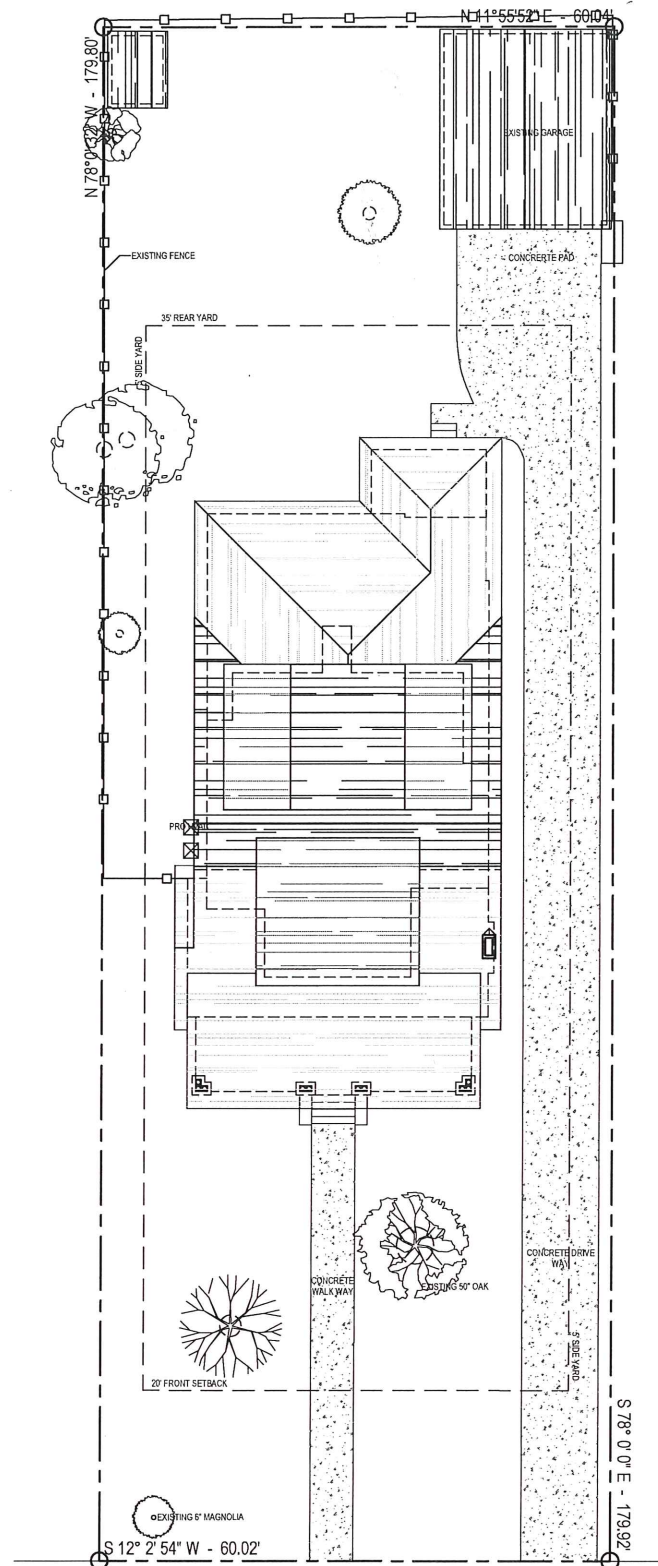
Certificate of Appropriateness

#HDCRMI-2018-00445



DILWORTH RD EAST

② EXISTING SITE PLAN  
1" = 10'-0"



DILWORTH RD EAST

① PROPOSED SITE PLAN  
1" = 10'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{1}{8}$ ".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. WATER PROOF MEMBRANE TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12. FLASHING & COUNTER FLASHING AS REQUIRED, MARINE GRADE PLYWOOD TO BE USED FOR ENTIRE ROOF SURFACE.
17. ALL EAVES TO MATCH THE EXISTING HOUSE UNO.
18. ALL NEW FASCIAS MATCH EXISTING HOUSE AND ALIGNED.
19. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
20. CONTINUOUS EAVE VENT U.N.O.
21. NEW SHED EAVES TO BE CLOSED WITH SLOPE AS SHOWN AND WITH SHINGLE MOULD TO MATCH EXISTING.
22. BRICK EXTENSION OF CHIMNEY TO MATCH EXISTING BRICK.
23. WOOD SHINGLES ON SECOND FLOOR TO MATCH EXISTING.
24. WOOD CLAD WINDOWS STD APPROVED UNITS AS SHOWN.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{4}$  INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

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NOTE:

CONCRETE		KEY:		WALL TO BE REMOVED
GRAVEL				ITEM TO BE REMOVED
RETAINING WALL				
PAVER SYSTEM				

LEGEND:

BOUNDARY LINE	
OVERHEAD UTILITIES	
FENCE (TYPE NOTED)	
UTILITY POLE	
RW: RIGHT OF WAY	
EP: EDGE OF PAVEMENT	
CL: CENTERLINE	



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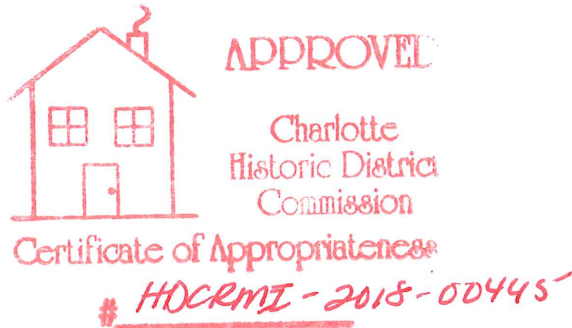
PROJECT #: 18015  
ISSUED: 05 NOV 2018  
REVISIONS:

SITE PLAN

A-3.0

OF: NINETEEN





2 EXISTING FRONT ELEVATION  
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-0"	6'-8"	DOUBLE HUNG
B	2'-0" X 3'-0"	6'-8"	DOUBLE HUNG
C	1'-4" X 1'-4"	8'-4" (REAR) 6'-2" (LEFT AND RIGHT)	CASEMENT
D	1'-5" X 2'-6"	6'-2"	DOUBLE HUNG

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAYD TRIM AT WINDOWS.
  2. SEE ELEVATIONS FOR MOUNTING PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
  4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  5. WINDOW SIZING:
    - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
    - 5.2. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR INFO. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MOUNTING PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - 5.3. N.E. = MATCH EXISTING.
  6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

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KEY:  
WALL TO BE REMOVED ~~XXXXXX~~  
ITEM TO BE REMOVED X



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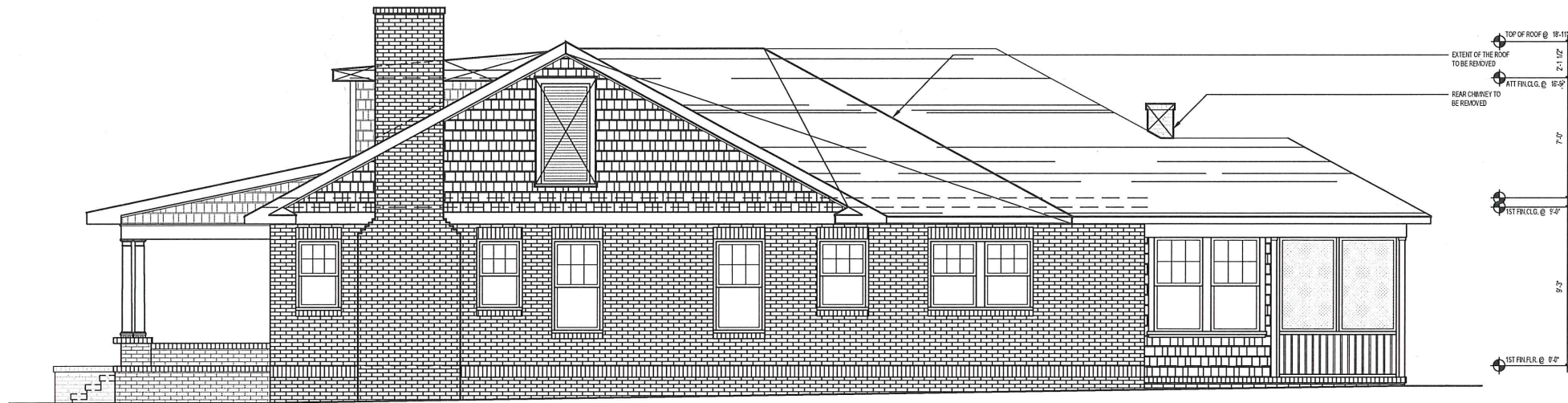
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A-4.0

OF: NINETEEN

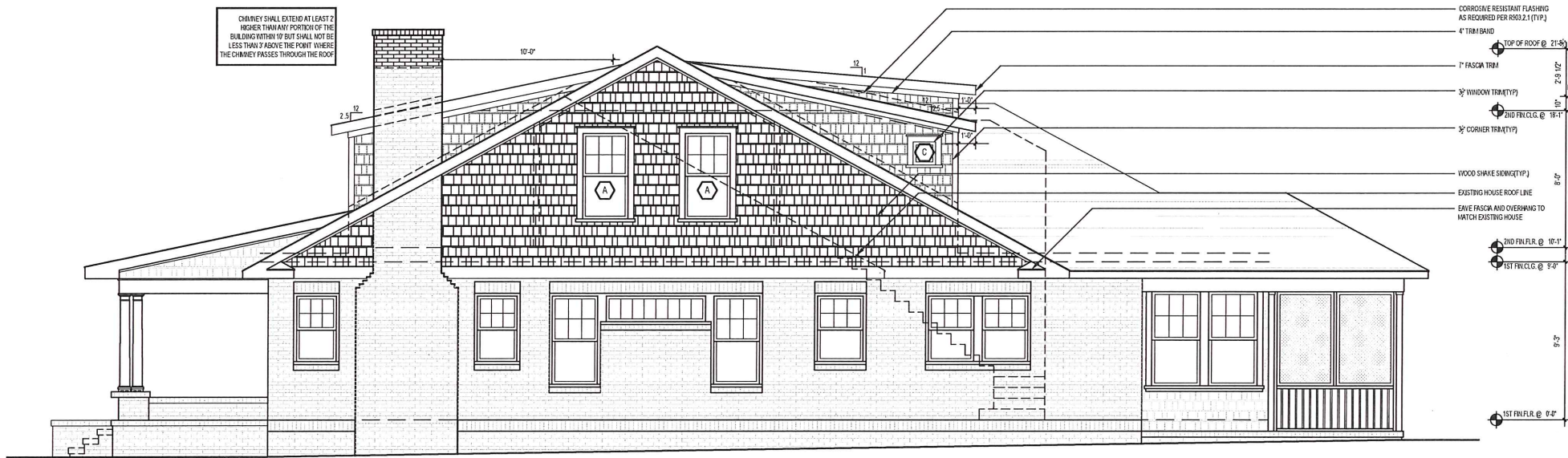




② EXISTING RIGHT ELEVATION  
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
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C	1'-4" X 1'-4"	8'-4" (REAR) 6'-2" (LEFT AND RIGHT)	CASEMENT
D	1'-8" X 2'-6"	6'-2"	DOUBLE HUNG

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIUMPH WINDOWS.
  2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
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4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
  - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

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3. THIS PAGE SHALL EXPIRE ON DECEMBER 31, 2018 @ 11:59 PM IF BUILDING PERMIT HAS NOT BEEN ACQUIRED PRIOR TO EXPIRATION DATE

KEY:  
WALL TO BE REMOVED ~~XXXXXX~~

ITEM TO BE REMOVED X



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HDC MEETING DATE:  
14 NOV, 2018

HDC DOCKET #:  
HDC 2018445

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Designed Exclusively For the:

THOMPSON RESIDENCE  
1908 Dilworth Road East, Charlotte, NC 28203

PROJECT #: 18015  
ISSUED: 05 NOV 2018  
REVISIONS:

EXISTING AD PROPOSED  
RIGHT ELEVATIONS

A-4.1

OF: NINETEEN



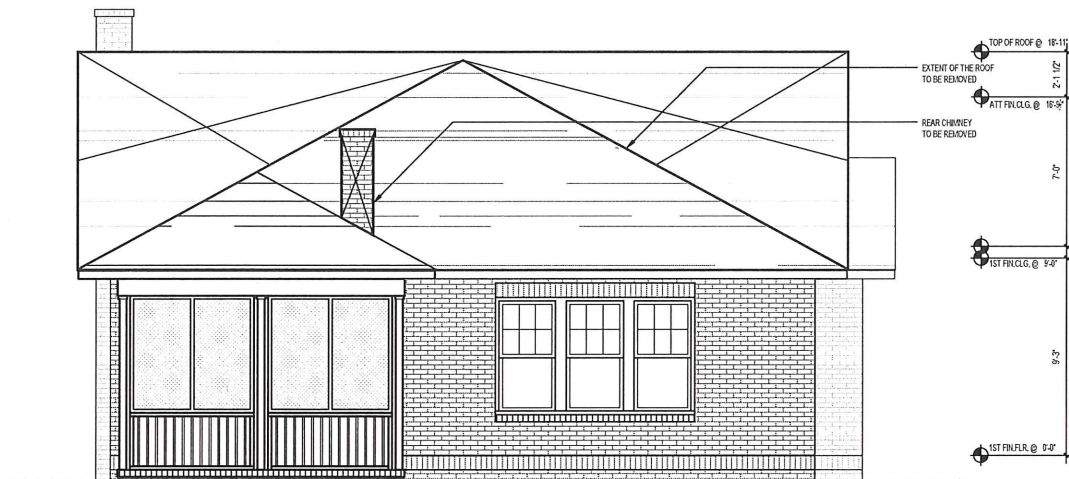


APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

HDCRMI-2018-00445



② EXISTING REAR ELEVATION  
1/8" = 1'-0"



① PROPOSED REAR ELEVATION  
1/8" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-0"	5'-8"	DOUBLE HUNG
B	2'-0" X 3'-0"	5'-8"	DOUBLE HUNG
C	1'-4" X 1'-4"	8'-4" (REAR) 6'-2" (LEFT AND RIGHT)	CASEMENT
D	1'-4" X 2'-6"	6'-2"	DOUBLE HUNG

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  2. SEE ELEVATIONS FOR MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
  4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  5. WINDOW SIZING:
    - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
    - 5.2. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - 5.3. M.E. = MATCH EXISTING
  6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 35" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. WATER PROOF MEMBRANE TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12. FLASHING & COUNTER FLASHING AS REQUIRED, MARINE GRADE PLYWOOD TO BE USED FOR ENTIRE ROOF SURFACE.
17. ALL EAVES TO MATCH THE EXISTING HOUSE UNO.
18. ALL NEW FASCIAS MATCH EXISTING HOUSE AND ALIGNED.
19. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
20. CONTINUOUS EAVE VENT U.N.O.
21. NEW SHED EAVES TO BE CLOSED WITH SLOPE AS SHOWN AND WITH SHINGLE MOULD TO MATCH EXISTING.
22. BRICK EXTENSION OF CHIMNEY TO MATCH EXISTING BRICK.
23. WOOD SHINGLES ON SECOND FLOOR TO MATCH EXISTING.
24. WOOD CLAD WINDOWS STD APPROVED UNITS AS SHOWN.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
  - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
  - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
  - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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KEY:

WALL TO BE REMOVED ~~XXXXXX~~

ITEM TO BE REMOVED X



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HDC MEETING DATE:  
14 NOV, 2018

HDC DOCKET #:  
HDC 2018-445

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Designed Exclusively For the:

THOMPSON RESIDENCE

1908 Dilworth Road East, Charlotte, NC 28203

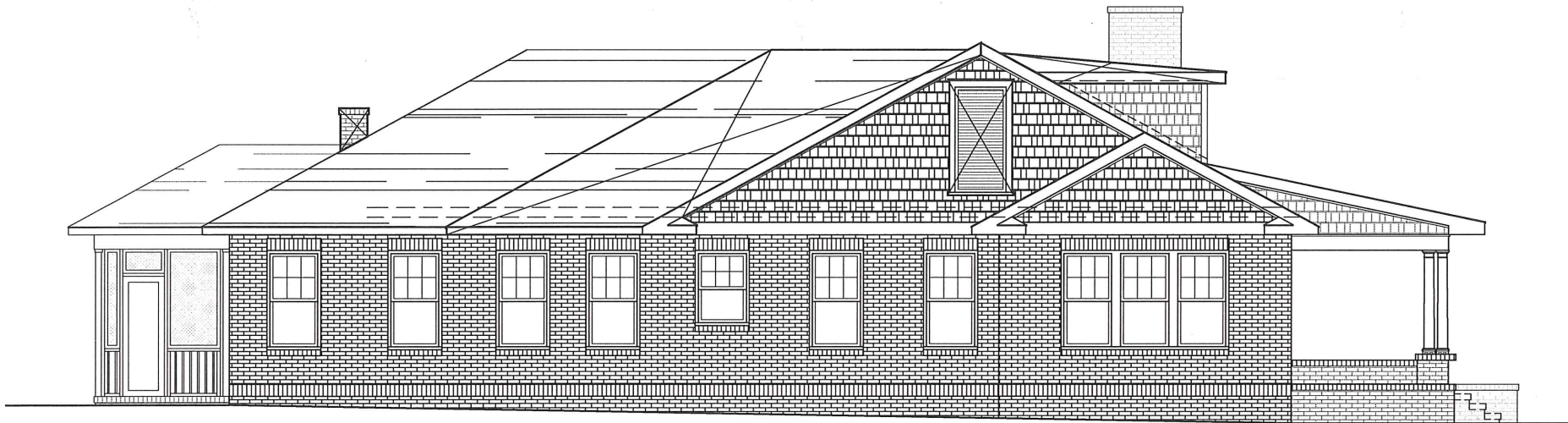
PROJECT #: 18015  
ISSUED: 05 NOV 2018  
REVISIONS:

REAR ELEVATION

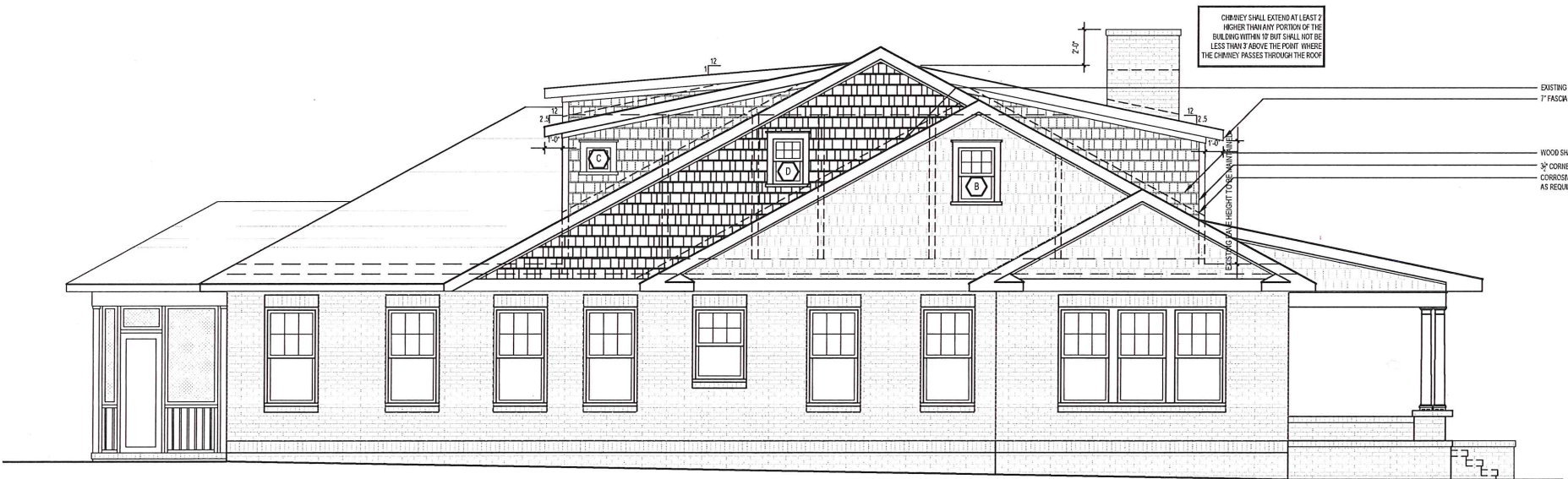
A-4.2

OF: NINETEEN





2 EXISTING LEFT ELEVATION  
1/8" = 1'-0"



1 PROPOSED LEFT ELEVATION  
1/8" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-0"	6'-8"	DOUBLE HUNG
B	2'-0" X 3'-0"	6'-8"	DOUBLE HUNG
C	1'-4" X 1'-4"	8'-4" (REAR) 6'-2" (LEFT AND RIGHT)	CASEMENT
D	1'-8" X 2'-8"	6'-2"	DOUBLE HUNG

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIUMPH WINDOWS.
  2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  3. ALL WINDOWS WITH 5 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
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    - 5.3. M.E. - MATCH EXISTING.
  6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

- TOP OF ROOF @ 18'-11"
- ATT FIN CLG @ 16'-9"
- 2'-1 1/2"
- 7'-0"
- 1ST FIN CLG @ 9'-0"
- 9'-3"
- 1ST FIN FLR @ 0'-0"



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KEY:  
WALL TO BE REMOVED ~~XXXXXX~~  
ITEM TO BE REMOVED X



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lauer.alb@icloud.com

HDC MEETING DATE:  
14 NOV, 2018  
HDC DOCKET #:  
HDC 2018-445

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ALB-2018

Designed Exclusively For the:  
**THOMPSON RESIDENCE**  
1908 Dilworth Road East, Charlotte, NC 28203

PROJECT # 18015  
ISSUED: 05 NOV 2018  
REVISIONS:

EXISTING AND PROPOSED  
LEFT ELEVATIONS  
**A-4.3**  
OF: NINETEEN



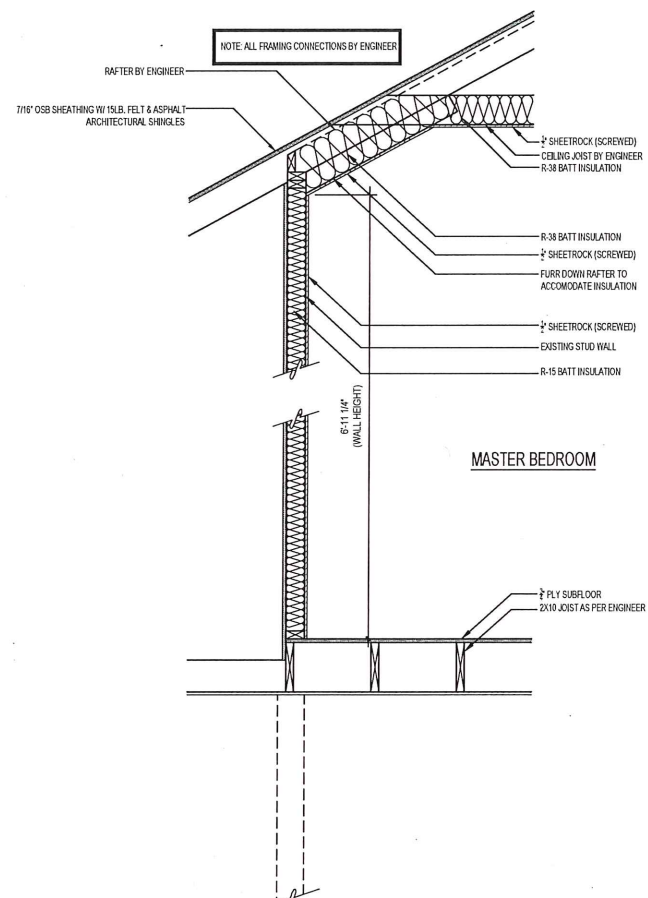


APPROVED

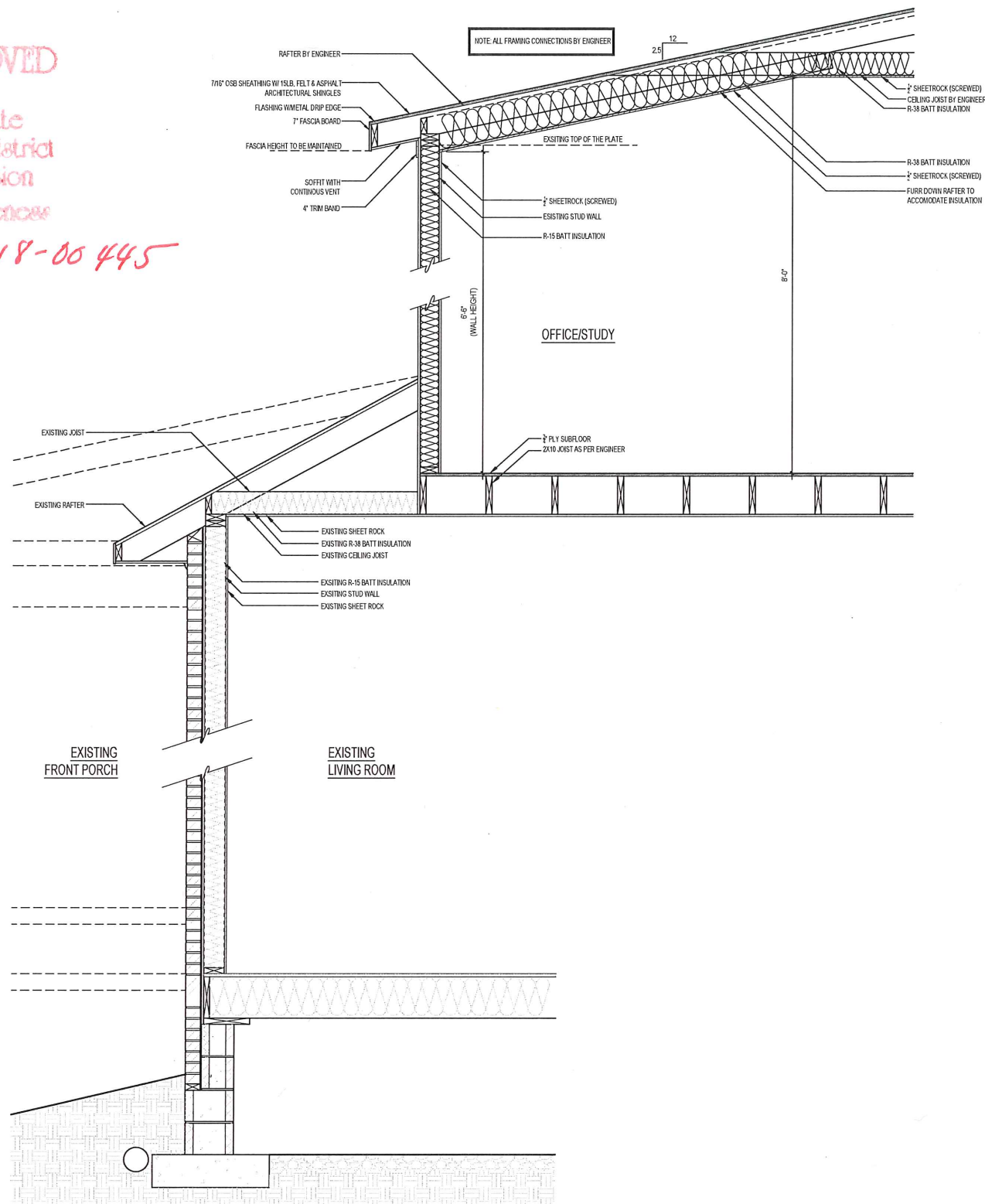
Charlotte  
Historic District  
Commission

Certificate of Appropriateness

HDCRMT-2018-00445



② SECTION @ MASTER BEDROOM  
3/4" = 1'-0"



① SECTION @ OFFICE/STUDY  
3/4" = 1'-0"

ALB  
architecture

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PROJECT #: 18015  
ISSUED: 05 NOV 2018  
REVISIONS:

ARCHITECTURAL DETAILS

A-8.0

OF: NINETEEN