



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMA-2018-00417

DATE: January 18, 2019

ADDRESS OF PROPERTY: 700 Grandin Road

TAX PARCEL NUMBER: 07102234

HISTORIC DISTRICT: Wesley Heights

APPLICANT/OWNER: Stephen Chuilli, Lagniappe Builders LLC

DETAILS OF APPROVED PROJECT: The project is a new single-family house and detached garage. The front setback will be alignment with the existing adjacent houses. Building height is +/-31'-5" from grade. Materials include Nichiha Savannah Smooth or Hardie Artisan smooth or wood lap siding with window/door trim and corner boards to stand proud of siding, front porch with wood tongue and groove flooring run perpendicular to the front and side thermal walls of the house, and an unpainted brick foundation. Front porch railing will be wood constructed with the pickets centered on the top and bottom horizontal rail with an additional piece of trim along the top handrail. Jeld-Wen wood or aluminum clad windows with Simulated True Divided Light (STDL). All clustered windows will be individual units with a trimmed shared jam. All details and trim (cornice, corner boards, wood columns, roof details, etc.) will be of a single consistent material throughout. A cluster of trees in the middle of the lot will be removed and two new Willow oaks will be planted. The accessory building is approximately 20'-6" in height and secondary to the house in size and scale with materials and details to match the house. The garage door will be trimmed out to appear to be two separate doors. See attached plans.

The project was approved by the HDC December 19, 2018.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org

600 East Fourth Street

Charlotte, NC 28202-2853

PH: (704)-336-2205

FAX: (704)-336-5123



Charlotte
Historic District
Commission

Certificate of Appropriateness

HDCRMA-2018-06417

frustrio
charles michael
DESIGNING A SENSE OF HOME
HOW TO RECREATE THE
FEELINGS OF HOME

700 C
CHAL
LAGNIAR

PROPERTY OF FRUSTERIO



IMPORTANT: NOTES ON HOME APPEARANCE

- o CONSTRUCT ALL WALLS, ROOF BEARINGS, HEADERS AND WINDOW HEIGHTS AS SHOWN FOR PROPER PROPORTION.
- o SCALE ALL STUCCO DETAIL FROM ELEVATION PAGES.
- o REFERENCE ROOF LAYOUT FOR DIFFERENT OVERHANG DEPTHS.
- o NOTICE DIFFERENT KNEE WALL HEIGHTS FOR HOUSE PROPORTIONS.
- o REFERENCE ALL ELEVATION WINDOWS WITH FLOORPLAN WINDOWS SHOWN ON ELEVATION ARE PREFERRED.

FRONT ELEVATION DETAIL
SCALE: 1/4" = 10"

SCALE: 1/4" = 1'

UNITED CONSTRUCTION LICENSE

UPON COMPLETION OF THIS HOME, THE PURCHASER
HEREBY AGREES TO THE FOLLOWING TERMS:

THIS HOME IS TO BE CONVEYED TO THE PURCHASER
UNDER A LIFE ESTATE, NON-RENTAL, NON-RENTED,
NON-EXCLUSIVE AND NON-TRANSFERABLE LICENSE TO
BUILD ONE (1) AND ONLY ONE (1) HOME DIRECTLY IN THIS PLANK,
AND TO BE CONVEYED TO THE PURCHASER UNDER A LIFE ESTATE,
NON-RENTAL, NON-RENTED, NON-EXCLUSIVE AND NON-TRANSFERABLE
LICENSE TO BUILD ONE (1) AND ONLY ONE (1) HOME PLANK IN THIS PLANK,
AND FOR ALL OTHER VERSIONS OF THIS HOME PLANK.
WITHOUT THE EXPRESS WRITTEN CONSENT OF THE
UNITED STATES DEPARTMENT OF THE INTERIOR, THIS HOME IS
PROHIBITED AND PROTECTED BY FEDERAL COPYRIGHT LAWS.
UNLAWFUL REPRODUCTION OF THIS HOME PLANK IS
PROHIBITED AND PROTECTED BY FEDERAL COPYRIGHT LAWS.

**CONVEYED TO THE PURCHASER
UNDER A LIFE ESTATE,
NON-RENTAL, NON-RENTED,
NON-EXCLUSIVE AND NON-TRANSFERABLE LICENSE**

(C)

** NOTED WINDOW SIZES AS SHOWN ON THIS PLAN MAY VARY WITH DIFFERENT MANUFACTURER'S WINDOW SIZES.

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PROPERTY OF CHARLES M. FRUSTERO
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EXPRESS WRITTEN CONSENT OF FRUSTERO DESIGN, INC.

WINDOW TRIM
DETAIL

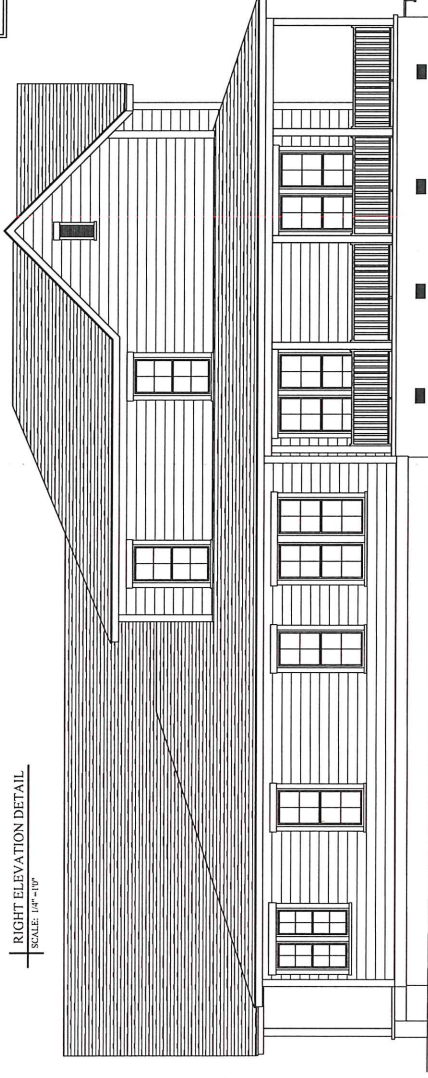
Diagram illustrating the dimensions and components of a window trim detail:

- EXTEND 1/2" TO 1" BEYOND CASING
- 1" TRIM GAP
- 1" CASING
- 17-1/2" x 14" WINDOW
- 1-1/2" TO 2" VAIL
- EXTEND 1/2" TO 1" BEYOND CASING

THEIR PLANS ARE BEING REVEALED. CONGRESSIONAL AND SENATE SPECIFIC COMMITTEES ARE BEING FORMED TO INVESTIGATE THE MATTER. THE FBI IS BEING ORDERED TO CONDUCT AN INVESTIGATION. IT IS BEING ORDERED TO CONDUCT AN INVESTIGATION. IT IS BEING ORDERED TO CONDUCT AN INVESTIGATION.

RIGHT ELEVATION DETAIL

SCALE: 1/4" = 1'-0"



JOB # 2282-2187-0318

LEFT ELEVATION DETAIL

SCALE: 1/4" = 1'0"

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BUILDING PERMIT
****COPYRIGHT WARNING****

BY WISDOM A HOUSE IS BUILT, AND THROUGH UNDERSTANDING IT IS ESTABLISHED. PROVERBS 24 : 3

2282-2187-0318

DESIGN DATE: 08:11 AM
PLOTTING TIME: 08:11 AM
DECEMBER 27, 2018



Trustario

LAGANAPPE BUILDERS LLC
700 GRANDIN ROAD
CHARLOTTE, NC

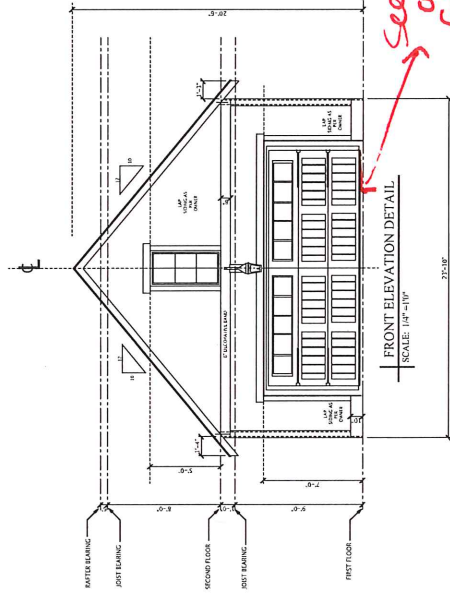
AMERICAN INSTITUTE OF BUILDING DESIGN	VI	PROFESSIONAL MEMBER	VD
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AND ENFORCED BY COPYRIGHT ATTORNEYS SIROTE & PERMUTT P.C. BIRMINGHAM, ALABAMA

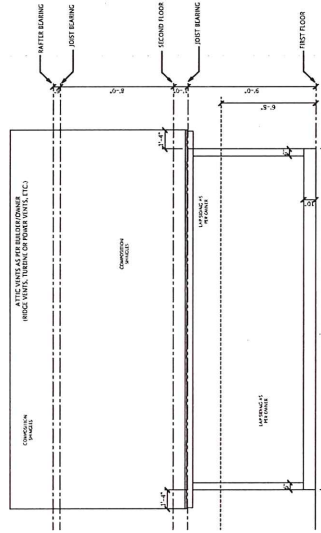


Certificate of Appropriateness

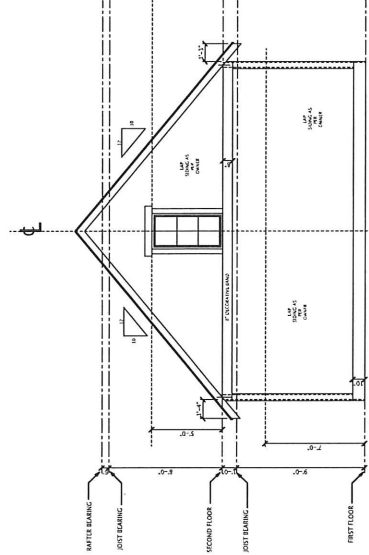
4DCRMA-2018-00417



FRONT ELEVATION DETAIL

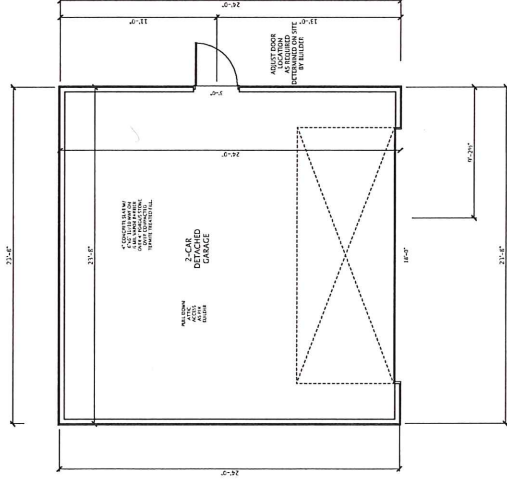
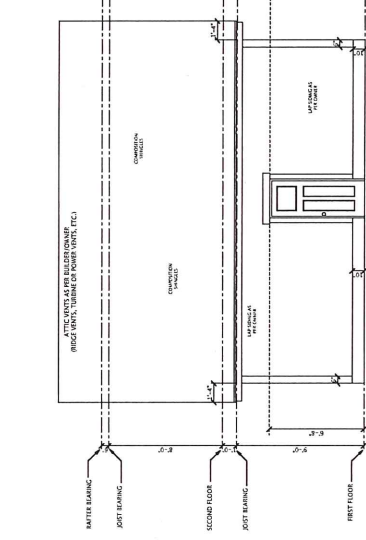


LEFT ELEVATION DETAIL

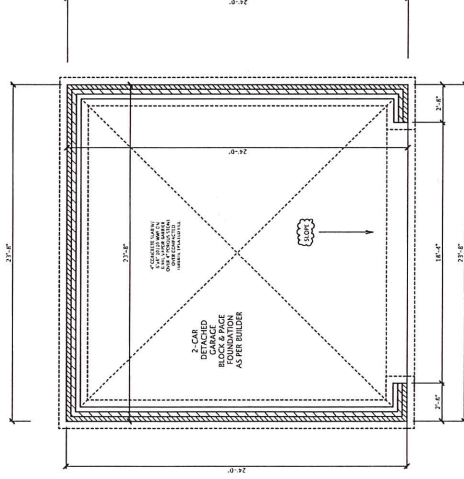


REAR ELEVATION DETAIL

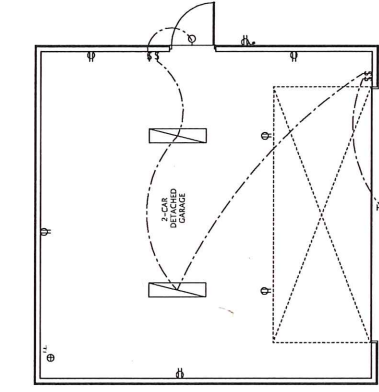
PLAN FOR BUILD AT
700 GRANDIN ROAD
CHARLOTTE, NC
LAGNIAPPE BUILDERS LLC

DETACHED GARAGE DETAIL CONSTRUCTION SHEET
REVISED: 11/10/1992

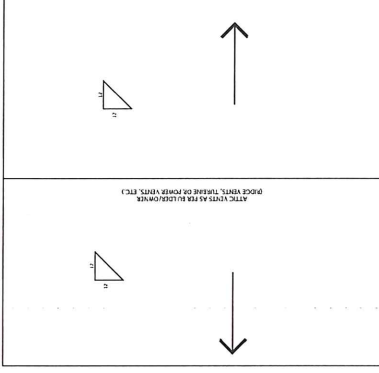
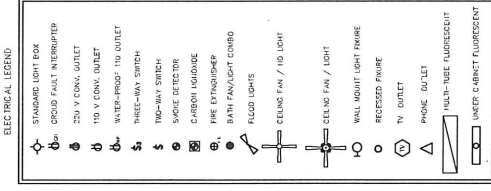
RIGHT ELEVATION DETAIL



DETACHED GARAGE FOUNDATION DETAIL CONSTRUCTION SHEET



FIRST FLOOR ELECTRICAL SHEET

DETACHED GARAGE ROOF DETAIL CONSTRUCTION SHEET
SCALE: 1/4" = 1'-0"

ELECTRICAL DISCLAIMER

THE ELECTRICAL PLAN IS A GENERAL LAYOUT. THE HOME OWNER RESERVES THE RIGHT TO MAKE ADDITIONS AND/OR CHANGES TO THE PLAN. IT IS THE RESPONSIBILITY OF BOTH ELECTRICAL CONTRACTOR & BUILDER TO MAKE NECESSARY CHANGES TO MEET ELECTRICAL CODE REQUIREMENTS.

IMPORTANT: NOTES ON HOME APPEARANCE

- o CONSTRUCT ALL WALLS, ROOF BEARINGS, HEADERS AND WINDOW HEIGHTS AS SHOWN FOR PROPER PROPORTION.
- o SCALE ALL STUCCO DETAIL FROM ELEVATION PAGES.
- o REFERENCE ROOF LAYOUT FOR DIFFERENT OVERHANG DEPTHS.
- o NOTICE DIFFERENT KNEE WALL HEIGHTS FOR HOUSE PROPORTIONS.
- o REFERENCE ALL ELEVATION WINDOWS WITH FLOORPLAN. WINDOWS SHOWN ON ELEVATION ARE PREFERRED.

** NOTED WINDOW SIZES AS SHOWN ON THIS PLAN MAY VARY WITH DIFFERENT MANUFACTURER'S WINDOW SIZES.

JOB # 2282-2187-0318

DETACHED GARAGE FOUNDATION DETAIL CONSTRUCTION SHEET

QUESTIONS CONCERNING THIS PLAN CALL 205-533-9993 ————— DESIGNER OF THE BIRMINGHAM SOUTHERN LIVING IDEA HOUSE

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BUILDING PERMIT
COPYRIGHT WARNING

2282-2187-0318

DESIGN DATE:	DECEMBER 05, 2018
PLOTTING TIME:	09:43 AM

Trustio

USDOM HOME DOCUMENTS FOR:
LACNAFFEE BUILDERS LLC
700 GRANDIN ROAD
CHARLOTTE, NC

AMERICAN INSTITUTE OF BUILDING DESIGN	A I
	B D
PROFESSIONAL MEMBER	

AND ENFORCED BY COPYRIGHT ATTORNEYS SIROTE & PERMUTT P.C., BIRMINGHAM, ALABAMA -

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 FRUSTERIO DESIGN, INC. RESERVES THE RIGHT TO REUSE, ADVERTISE, ALIAS, AND
 SELL ALL OR PART OF ANY OF ITS OWN DESIGN.

IMPORTANT INFORMATION:
PLEASE READ CAREFULLY
***** BEFORE STARTING CONSTRUCTION *****

THESE TWO TYPES OF CONTRACTS ARE NOT NEARLY AS COMMON AS THE OTHERS. THE FIRST TYPE OF CONTRACT IS A CONTRACT WITH A WARRANTY BY THE CONTRACTOR THAT THE WORK WILL BE COMPLETED WITHIN A SPECIFIC PERIOD OF TIME. WHERE THERE IS NO WARRANTY, THE CONTRACTOR IS NOT RESPONSIBLE FOR THE TIME OF COMPLETION OF THE PROJECT. THE SECOND TYPE OF CONTRACT IS A CONTRACT WITH A WARRANTY BY THE CONTRACTOR THAT THE WORK WILL BE COMPLETED WITHIN A SPECIFIC PERIOD OF TIME. WHERE THERE IS NO WARRANTY, THE CONTRACTOR IS NOT RESPONSIBLE FOR THE TIME OF COMPLETION OF THE PROJECT.

STAFF REQUIREMENTS

THIRTEEN STAFF ARE REQUIRED FOR INSTALLATION OF A 2000 TONNAGE WELDER. THE STAFF SHOULD BE TRAINED IN THE FOLLOWING AREAS:

- 1000 TONNAGE WELDER
- 2000 TONNAGE WELDER
- 3000 TONNAGE WELDER
- 4000 TONNAGE WELDER
- 5000 TONNAGE WELDER
- 6000 TONNAGE WELDER
- 7000 TONNAGE WELDER
- 8000 TONNAGE WELDER
- 9000 TONNAGE WELDER
- 10000 TONNAGE WELDER
- 11000 TONNAGE WELDER
- 12000 TONNAGE WELDER
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- 93000 TONNAGE WELDER
- 94000 TONNAGE WELDER
- 95000 TONNAGE WELDER
- 96000 TONNAGE WELDER
- 97000 TONNAGE WELDER
- 98000 TONNAGE WELDER
- 99000 TONNAGE WELDER
- 100000 TONNAGE WELDER

[illegible]

Charlotte
Historic District
Commission

Certificate of Appropriateness

HDCMA-2018-00417

FRONT ELEVATION DETAIL

LEFT ELEVATION DETAIL

PLAN FOR BUILD AT
700 GRANDIN ROAD
CHARLOTTE, NC
LAGNIAPPE BUILDERS LLC

REAR ELEVATION DETAIL

IMPORTANT INFORMATION:

LIMITED CONSTRUCTION LICENSE

UPON COMPLETION OF THIS HOME, THE PLAN PURCHASER AGREES TO THE FOLLOWING TERMS:

THIS PLAN AND NON-TRANSFERABLE LIMITED CONSTRUCTION LICENSE IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

THESE TERMS ARE SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES AND REGULATIONS GOVERNING THE PRACTICE OF ARCHITECTURE AND PROTECTED BY FEDERAL COPYRIGHT LAWS.

UNAUTHORIZED USERS WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

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IMPORTANT: NOTES ON HOME APPEARANCE

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- o NOTICE DIFFERENT KNEE WALL HEIGHTS FOR HOUSE PROPORTIONS.
- o REFERENCE ALL ELEVATION WINDOWS WITH FLOORPLAN. WINDOWS SHOWN ON FLOORPLAN.

.. NOTED WINDOW SIZES AS SHOWN ON " THIS PLAN MAY VARY WITH DIFFERENT MANUFACTURER'S WINDOW SIZES.

charles michael
frusterio
DESIGNING FINE HOMES AND RENOVATIONS

AI	BD
AMERICAN INSTITUTE OF BUILDING DESIGN	
PROFESSIONAL MEMBER	

Trustio

DATE: _____
TIME: _____
AM

DATE: _____
TIME: _____
AM

2282-2187-0318

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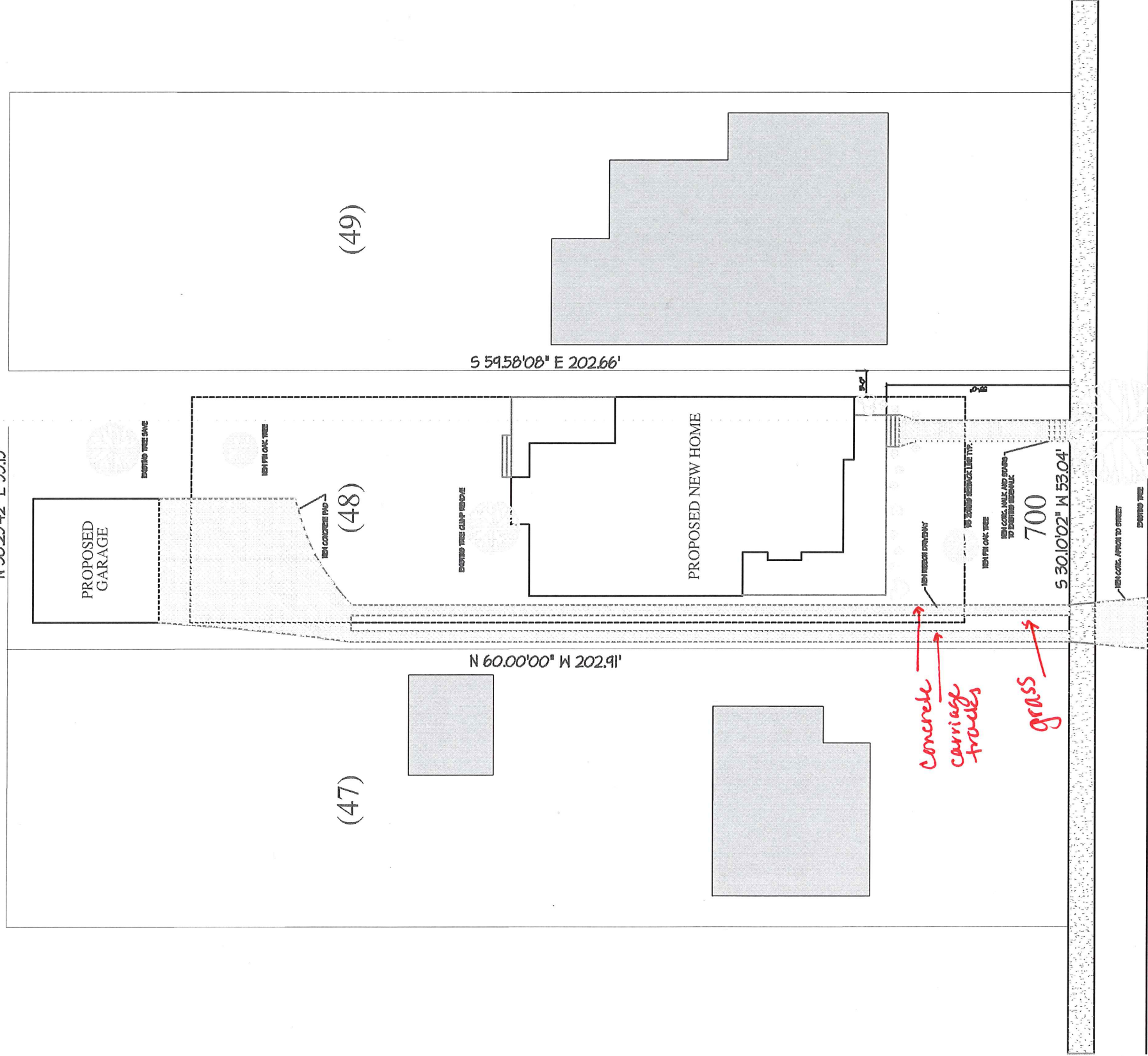
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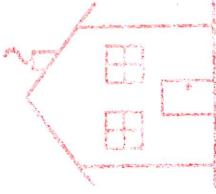
· DESIGNER OF THE BIRMINGHAM SOUTHERN LIVING IDEA HOUSE

— QUESTIONS CONCERNING THIS PLAN CALL 205-533-9993

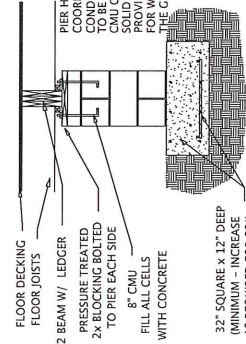
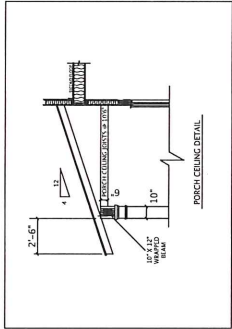
JOB # 2282-2187-0318



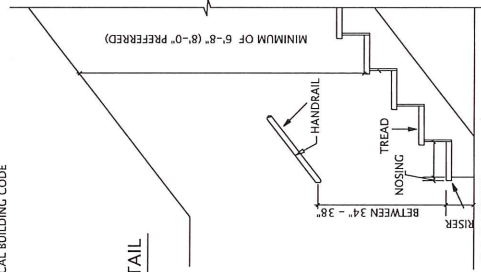
GRANDIN RD.



ИДРМА-2018-00417



FIELD VERIFY SOIL BEARING CAPACITIES AND
ADJUST FOOTING SIZE PER LOCAL BUILDING CODE



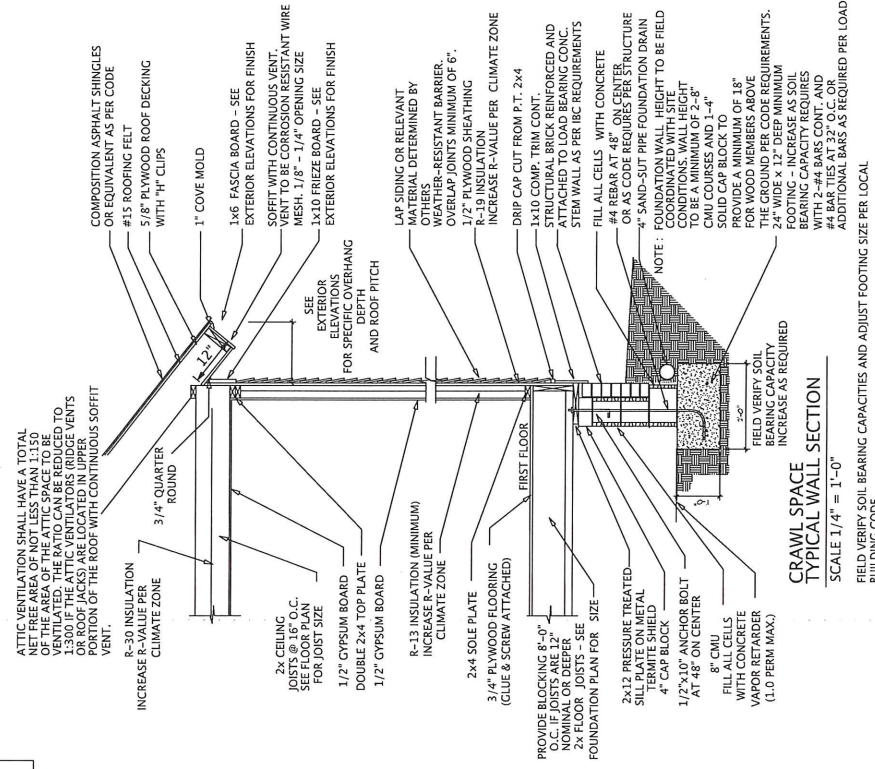
SCALE 3/4" = 1'-0"

STAIR NOTES:

THE MAXIMUM HEIGHT OF ANY RIBS SHALL BE 7/32". MAXIMUM VARIATION BETWEEN TWO ADJOINING RIBS SHALL BE 3/16" AND NOT MORE THAN 3/8" BETWEEN THE SMALLEST OR LARGEST RIB. THE MINIMUM DEPTH OF THE LEADING EDGE OF THE RIB IS 1/16". MAXIMUM RADIUS OF THE LEADING EDGE OF THE RIB IS 9/16". WINDER THREADS SHALL BE MINIMUM DEPTH OF 1/8" MEASURED 1/2" FROM THE NARROWER SIDE AND MINIMUM THREAD DEPTH OF 6" AT ANY POINT. MAXIMUM VARIATION BETWEEN TWO ADJOINING THREADS SHALL BE 3/16". AND NOT MORE THAN 3/8" BETWEEN THE SMALLEST OR LARGEST THREAD. HANDRAILS SHALL BE INSTALLED A MINIMUM OF 33" AND MAXIMUM OF 38" ABOVE THE LEADING EDGE OF A TREAD.

HANDRAIL SHALL HAVE A DIAMETER BETWEEN 1-1/4" AND 2". NON-CIRCULAR HANDRAILS SHALL HAVE A PERIMETER BETWEEN 4" AND 6-1/4" WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2-1/4".

VERIFY AND REFER TO THE INTERNATIONAL RESIDENTIAL CODE (IRC),
ENERGY CODES AND LOCAL CODES FOR SPECIFIC CODE
REQUIREMENTS AND ANY UPDATES / REVISIONS



SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"

FIELD VERIFY SOIL BEARING CAPACITIES AND ADJUST FOOTING SIZE PER LOCAL BUILDING CODE.

VERIFY ALL BUILDING COMPONENT WITH LOCAL BUILDING CODES, SEISMIC DESIGN CATEGORY, AND ENERGY CODES.

CRAWL SPACE SECTION / DETAILS

VERIFY AND REFER TO THE INTERNATIONAL RESIDENTIAL CODE (IRC),
ENERGY CODES AND LOCAL CODES FOR SPECIFIC CODE
REQUIREMENTS AND ANY UPDATES / REVISIONS

VERIFY AND REFER TO THE INTERNATIONAL RESIDENTIAL CODE (IRC),
ENERGY CODES AND LOCAL CODES FOR SPECIFIC CODE
REQUIREMENTS AND ANY UPDATES / REVISIONS

FLOOR DECKING
FLOOR JOISTS

10"

12"

4"

2'-5"

10" x 12" RAMP

POOR CEILING DETAIL

