



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS – AMENDED

CERTIFICATE NUMBER: HDCRMA-2018-00254

DATE: 26 October 2018
10 June 2019 – Amended

ADDRESS OF PROPERTY: 712 East Tremont Avenue

TAX PARCEL NUMBER: 12109211

HISTORIC DISTRICT: Dilworth

OWNER(S): Franklin and Tara Hostetter

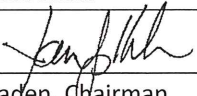
APPLICANT: Jessica Hindman

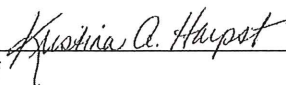
DETAILS OF APPROVED PROJECT: The project is an addition that extends the ridge approximately 3'. The existing right-side gable remains and a new gable is extended from the ridge. The right-side addition includes a shed dormer and open rear porch. The left side gable is increased and includes a small gabled dormer toward the rear. A bay window is added on the left side first floor. New materials and trim details will match existing. New replacement windows are noted on the plans. See attached plans. Amendment June 2019: New window opening facing the street on bump-out on left elevation. The new window will match existing, header height, size, configuration, materials. Existing replacement wood front steps will be changed to brick due.

The project was approved by the HDC July 11, 2018

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

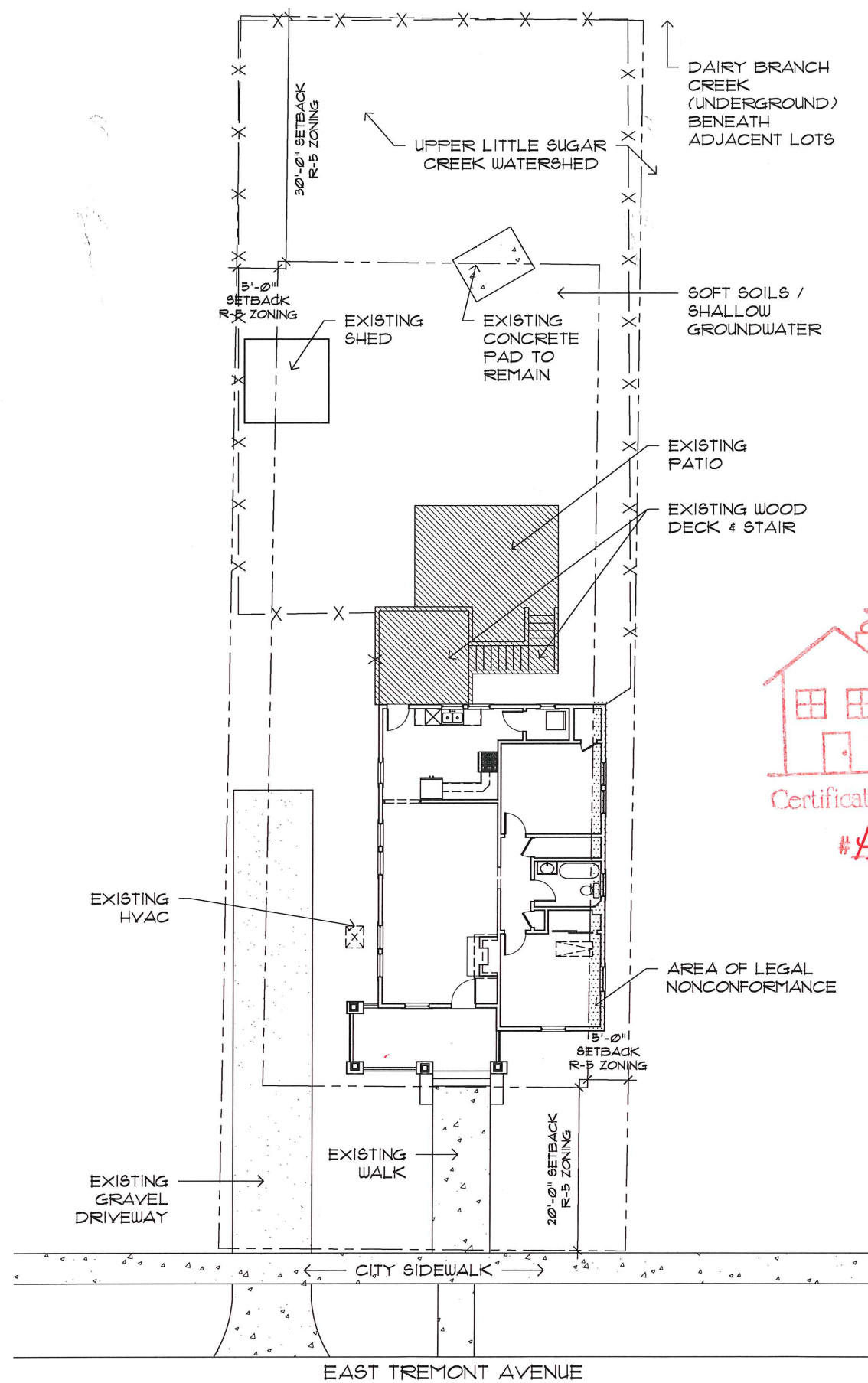

James Haden, Chairman


Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org

600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123



1 EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"

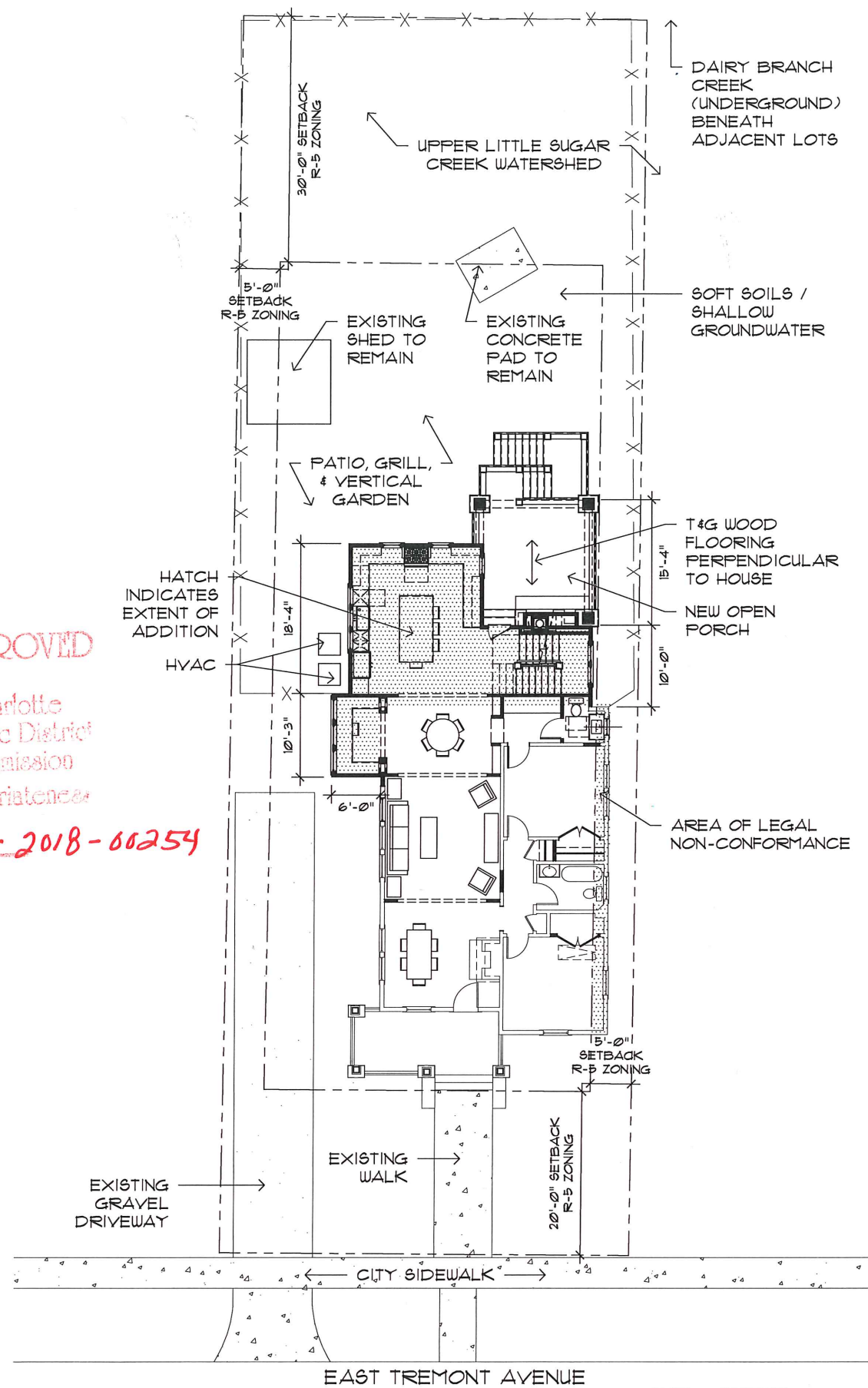


APPROVED

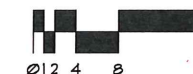
Charlotte
Historic District
Commission

Certificate of Appropriateness

#HPCMA-2018-00254



2 PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"



HOSTETTER
ADDITION /
RENOVATION

12 E. Tremont Ave.
Charlotte, NC 28203

DATES:

Existing
1 March 2018
Schematic
11 April 2018
Progress Drawings
1 May 2018
21 May 2018
HDC Application
4 June 2018
2 July 2018
Final Pricing
-
Revisions
-

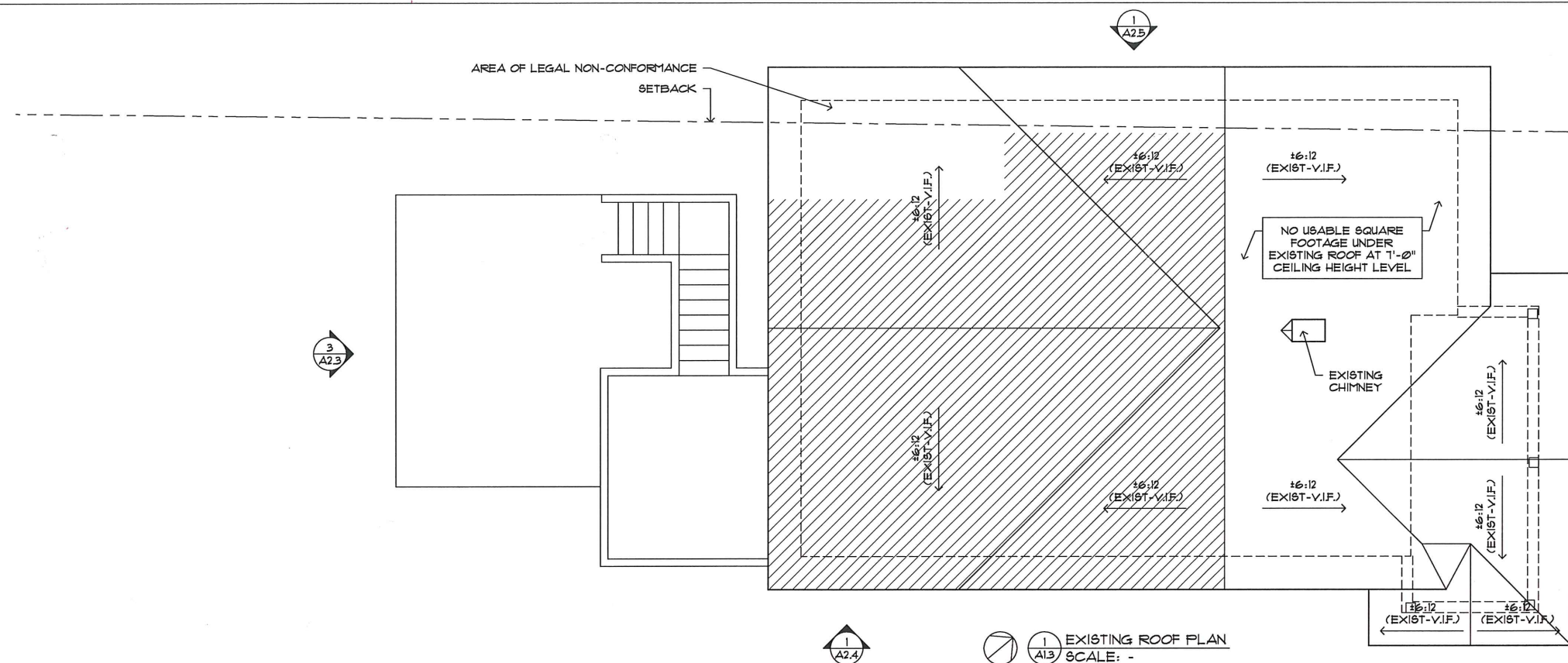
COPYRIGHT STUDIO H 2011
ALL RIGHTS RESERVED

studio
home
design

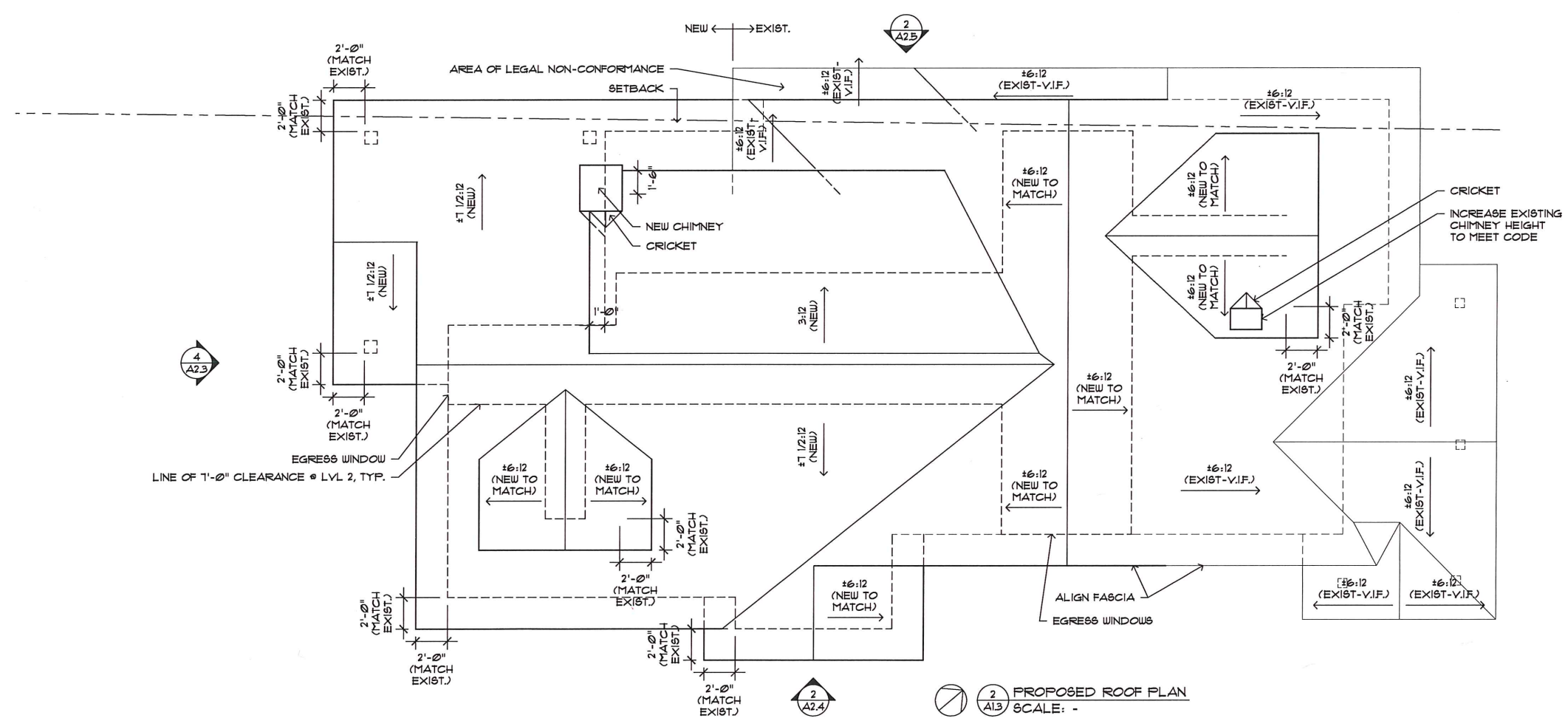
jessica hindman
720 e tremont ave
charlotte, nc 28203
704-995-3605
studioh-design.com

EXISTING &
PROPOSED
SITE PLANS

A0.3



EXISTING ROOF PLAN
SCALE: -



PROPOSED ROOF PLAN
SCALE: -



- FLOOR PLAN NOTES:
- EXISTING DRAWINGS ARE FOR REFERENCE ONLY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
 - ALL UNDESIGNATED DIMENSIONED WALLS TO BE 3 1/2" WOOD STUD.
 - ALL UNDESIGNATED DOORS TO BE CENTERED OR TO BE LOCATED 6" OFF SIDEWALL.
 - BOUND ATTENUATION BATTIS SURROUNDING ALL BATHROOMS, LAUNDRY, KITCHEN INCL. INTERIOR PTNS.
 - INSULATION AT NEW FLOORS, WALLS, CEILINGS, AND ROOF PER CODE.
 - SEE ELECTRICAL DIAGRAM FOR ELECTRICAL LAYOUT.
 - PLUMBING ROUGH TO BE COORDINATED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
 - COORDINATE HOSE BIBS LOCATIONS WITH HOMEOWNER.
 - APPLIANCE ROUGH TO BE COORDINATED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
 - NEW ROOF SLOPES INTENDED TO MATCH EXISTING.
 - ROOF SLOPES - NEW FASCIA INTENDED TO ALIGN WITH EXISTING FASCIA - VERIFY IN FIELD.
 - ALL NEW GUTTERS & DOWNSPOUTS COORDINATE IN FIELD AND VERIFY WITH ARCHITECT / HOMEOWNER.
 - GRADE TO SLOPE & DRAIN AWAY FROM HOUSE.
 - SEE STRUCTURAL DRAWINGS FOR ALL FOUNDATION, FRAMING, AND DETAIL INFORMATION. ARCHITECT NOT RESPONSIBLE FOR STRUCTURAL DESIGN.

LEGEND
1R 1B ROD 4 SHELF CONFIGURATION (DEFAULT SIZE 12")



HOSTETTER
ADDITION /
RENOVATION
12 E. Tremont Ave.
Charlotte, NC 28203

DATES:
Existing
1 March 2018
Schematic
11 April 2018
Progress Drawings
1 May 2018
21 May 2018
HDC Application
4 June 2018
2 July 2018
Final Pricing
-
Revisions
-

studio
home
design
jessica hindman
720 e tremont ave
charlotte, nc 28203
704-995-3605
studioh-design.com

ROOF PLANS

A1.3



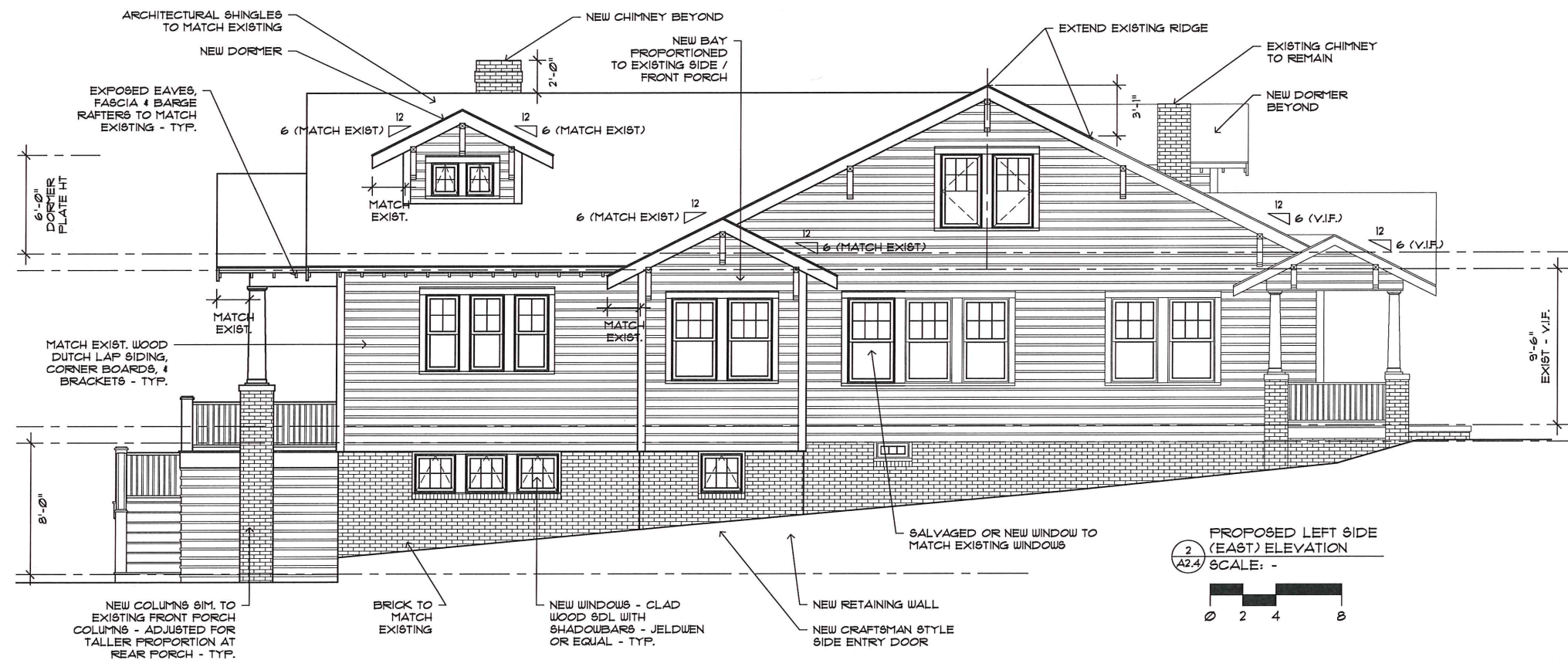
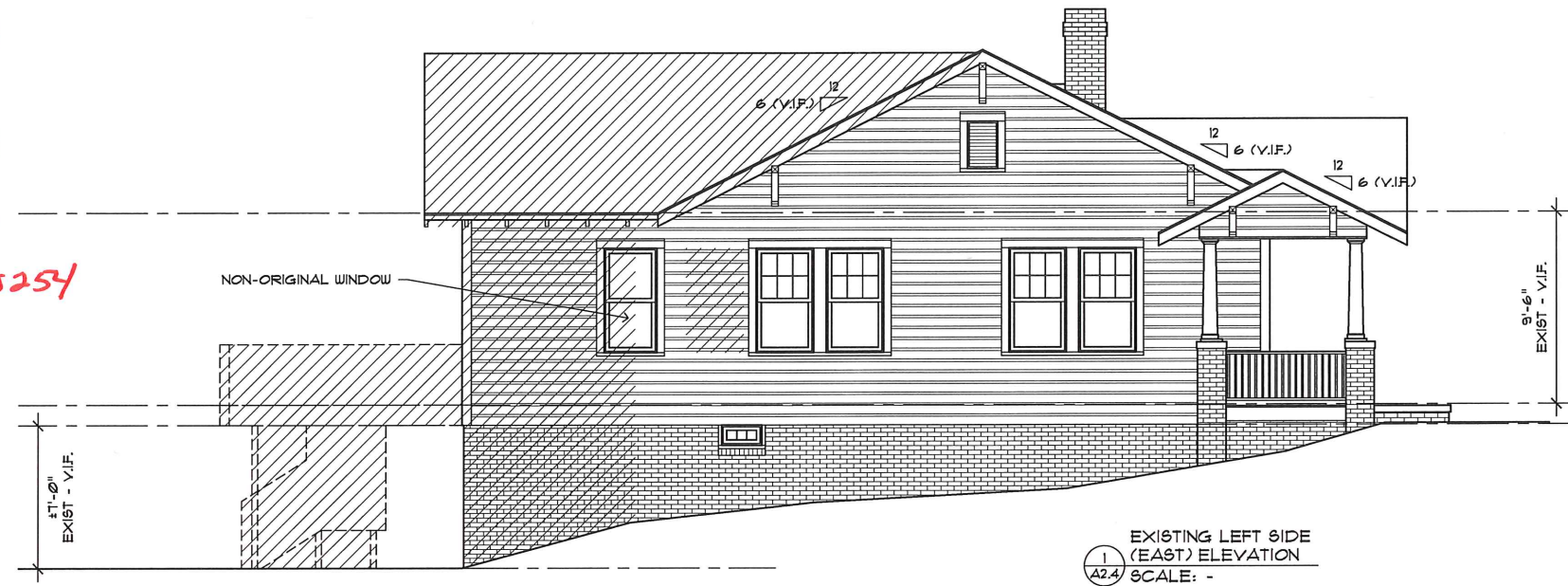
Charlotte
Historic District
Commission

HDCRMA-2018-00254



A step function graph on the interval $[0, 8]$. The function is 1 on $[0, 2]$, 0 on $(2, 4]$, and 1 on $(4, 8]$.

A2.3



DATES:

Existing
1 March 2018
Schematics
11 April 2018
Progress Drawings
1 May 2018
21 May 2018
HDC Application
4 June 2018
2 July 2018
Final Pricing
-
Revisions
-

COPYRIGHT STUDIO H 2017
ALL RIGHTS RESERVED

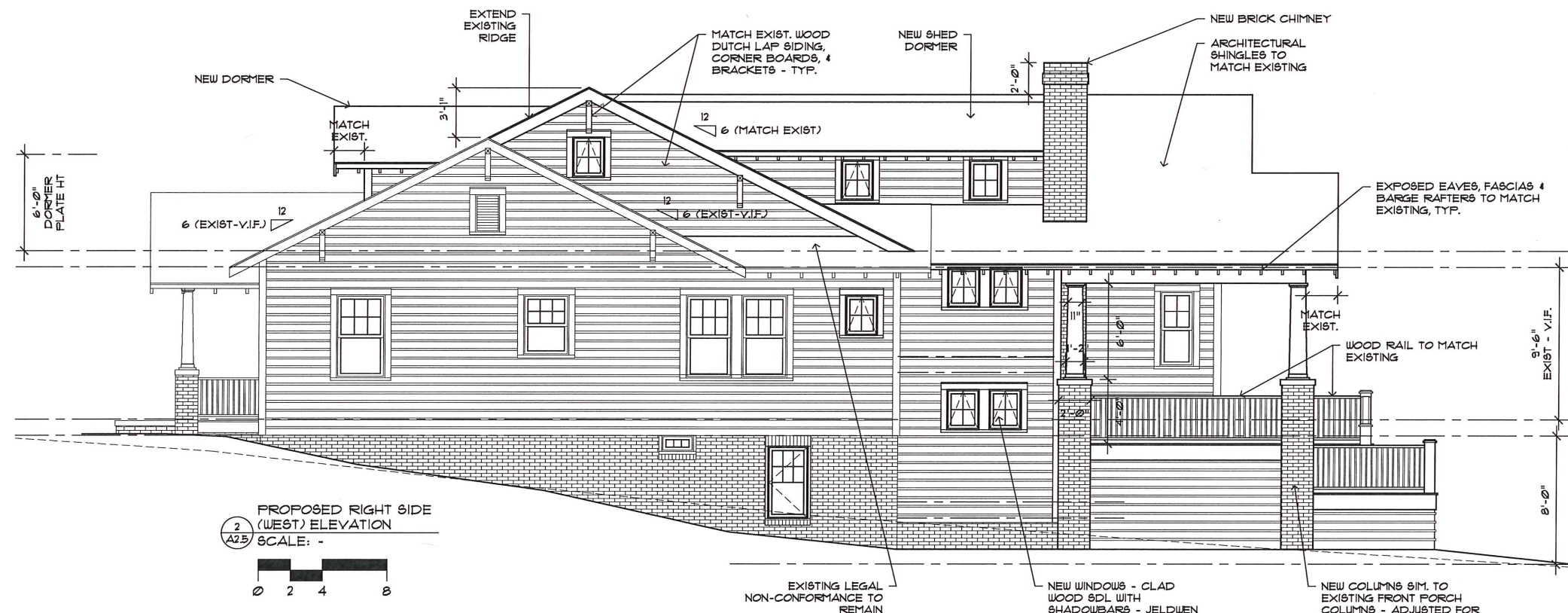
studio
home
design

jessica hindman
720 e tremont ave
charlotte, nc 28203
704-995-3605
studioh-design.com

EXISTING &
PROPOSED
ELEVATIONS

DATES:

Existing
1 March 2018
Schematic
11 April 2018
Progress Drawings
1 May 2018
21 May 2018
HDC Application
4 June 2018
2 July 2018
Final Pricing
-
Revisions
-



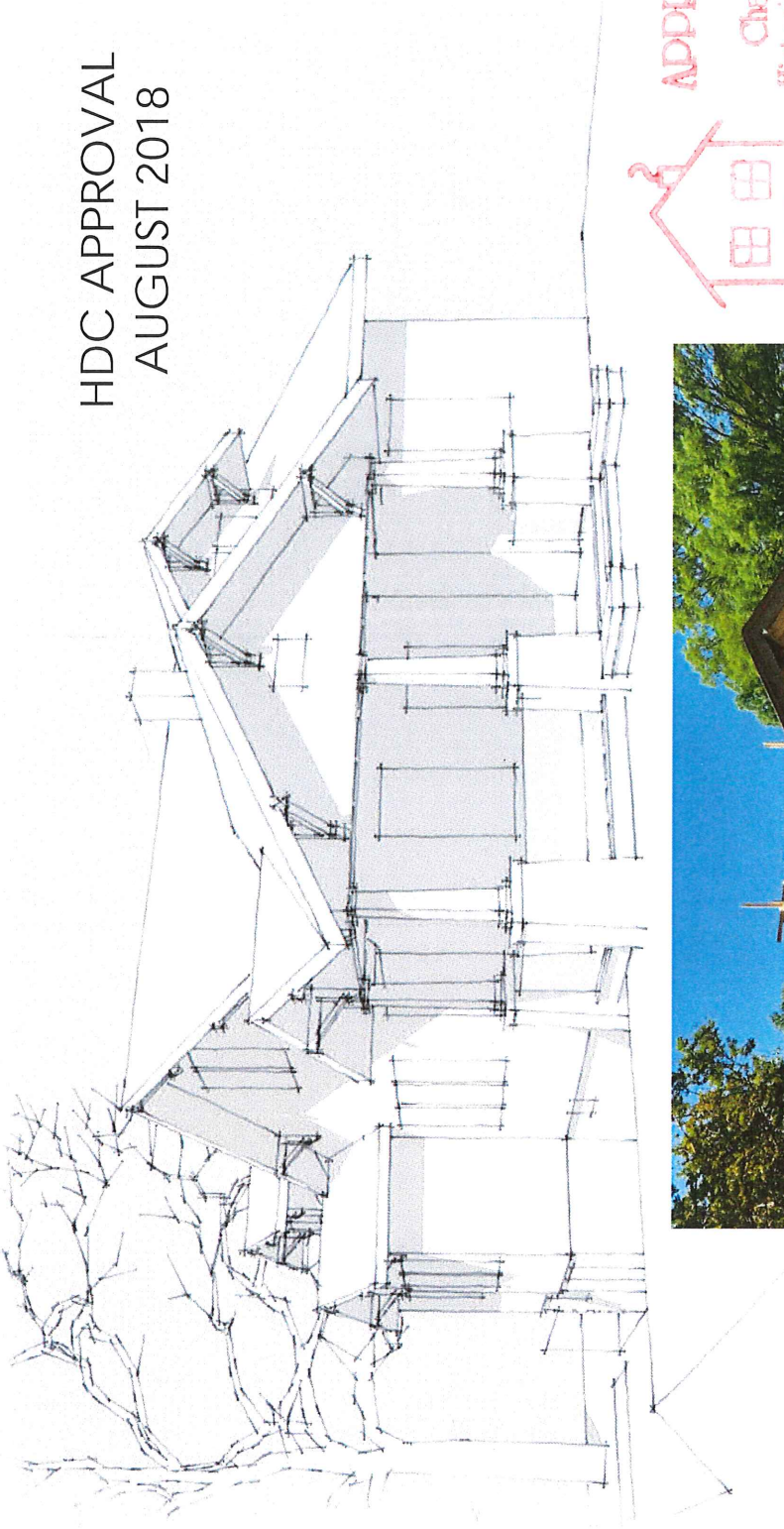
COPYRIGHT STUDIO H 2011
ALL RIGHTS RESERVED

studio
home
design

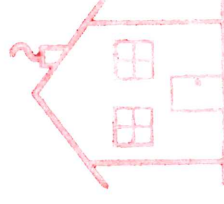
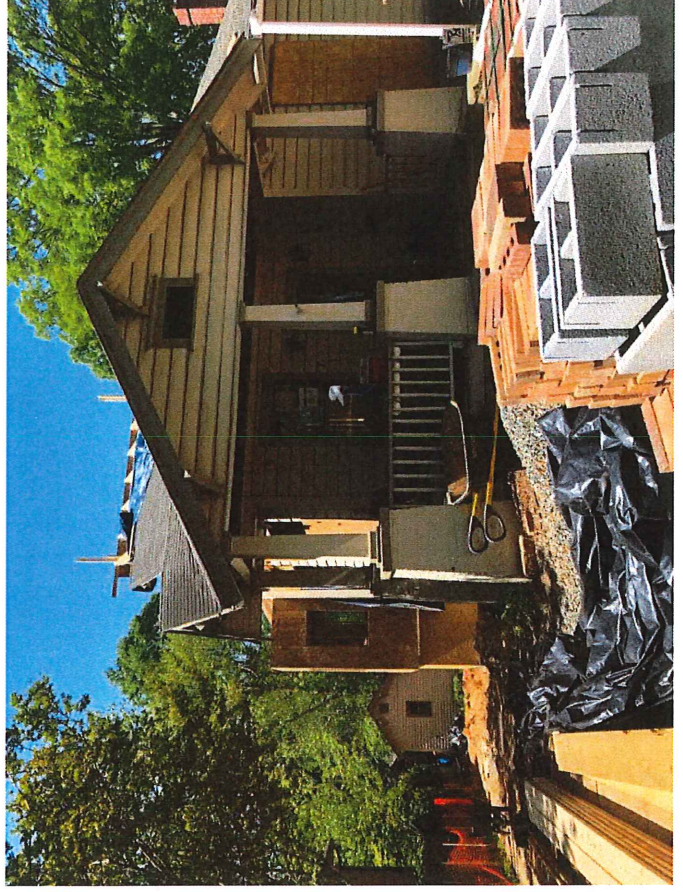
jessica hindman
720 e tremont ave
charlotte, nc 28203
704-995-3605
studioh-design.com

EXISTING &
PROPOSED
ELEVATIONS

HDC APPROVAL
AUGUST 2018



PROPOSED
CHANGE:
add one window
on bay, facing
street – custom size
to match existing
adjacent windows,
centered on wall



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

HDCRMA-2018-

00254

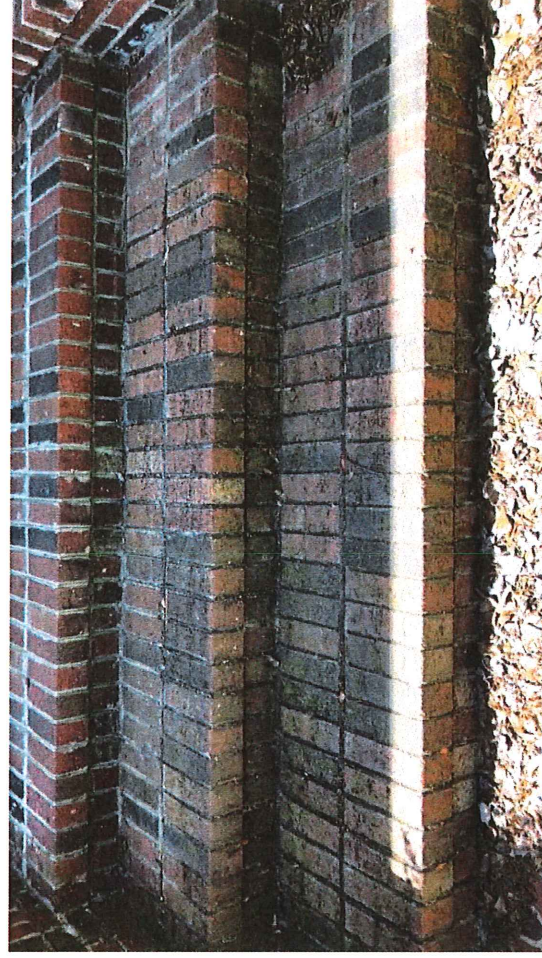
Hostetter
712 E. Tremont Ave
May 8, 2019

FRONT STEP
(1 RISER, 2 TREADS)
EXISTING CONDITION:
the front yards of this
and adjacent
properties on both
sides flood *into* the
front stairs – as a
result this wood step
is replaced annually
due to rot



Existing Steps

PROPOSED CHANGE:
replace with
standard rowlock
brick as shown in
photo to the right to
protect foundation
from drainage
conditions



Example Steps

