



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS – AMENDED

CERTIFICATE NUMBER: HDCADMRM-2018-00115

DATE: 9 March 2018

12 March 2018 – AMENDED

3 December 2018 - AMENDED

ADDRESS OF PROPERTY: 620 East Worthington Avenue

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER: 12108513

OWNER/APPLICANT: Tamara Titus and Lane Jacobs

DETAILS OF APPROVED PROJECT: Accessory Building. The project is a new garage located in the rear yard. Any small trees than 10" in diameter may be removed. The new building will meet all required setbacks. The building footprint is 26' x 26' and the height, as measured from grade to ridge, is 18'-4 ½". The new garage will have a brick foundation with wood lap siding or Hardie Artisan lap siding in dimensions to match the house. All trim details, including corner boards, will be wood with the exception of any rot-prone areas, which may be Hardie Artisan trim. The gutters and downspouts will be factory clad and will not be run down the front elevation of the garage. All windows will be double-hung wood with Simulated True Divided Lights (STDL) molded muntins in a 6/1 pattern to match the primary structure. This approval does not imply approval of Ply-Gem manufactured windows as these do not meet HDC requirements. The garage doors will be wood with STDL windows in a pattern that coordinates with the house. The project also includes changes to an existing deck. The lower level of the deck will be removed and replaced with set of wooden access stairs and landing, approximately 4' in width. The new deck rail will be wood with pickets centered on the top and bottom horizontal rail with an additional piece of trim on the top rail. Permeable pavers will be installed in the rear yard to extend an existing drive. Amendment Dec 2018: Change of garage door to wood carriage door (to be painted) with 4/4 Simulated True Divided Lights (STDL) molded muntins. See attached exhibits "New Garage Door – December 2018"


1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 2.6: Work in Rear Yards.
2. The applicable Policy & Design Guidelines for Materials (page 6.15), Landscaping and Yards (8.4), Trees (8.5), and Accessory Buildings (page 8.9) have been met.


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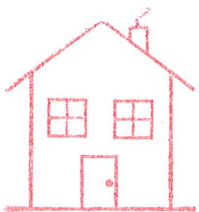
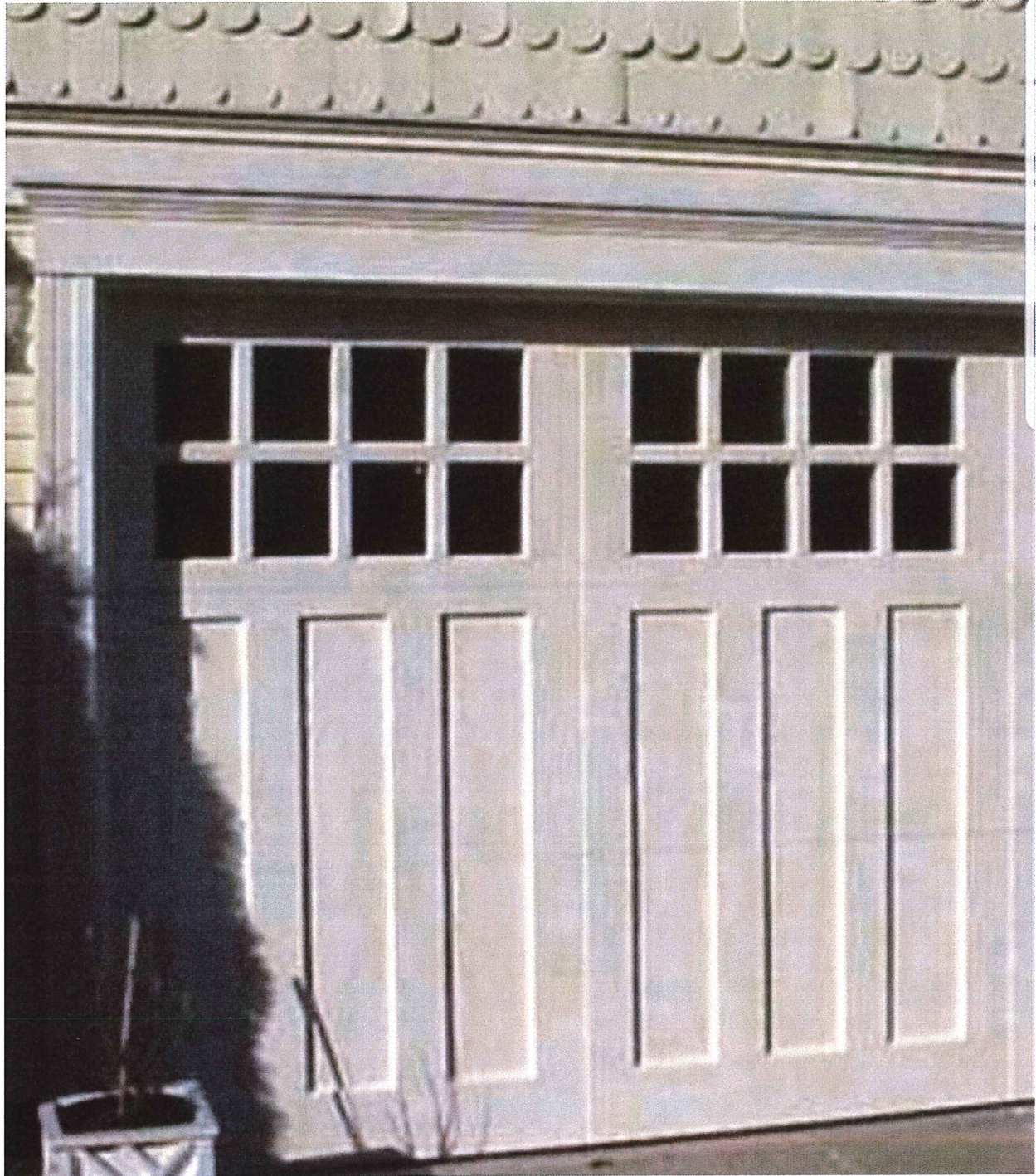
3/9/2018

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman


Staff



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

HDCADM12M - 2018-00115 - Amendment Dec 2018

NEW GARAGE DOOR - DECEMBER 2018