



**CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS**

CERTIFICATE NUMBER: HDCADMRM 2018-00105 **DATE:** 28 May 2018

ADDRESS OF PROPERTY: 1712 Winthrop Avenue **TAX PARCEL NUMBER:** 123.084.10

HISTORIC DISTRICT: Dilworth

APPLICANT: Architect Janice Finein on behalf of owners Jamie Brown and Jeff Tonidandel

DETAILS OF APPROVED PROJECT: Rear Addition. Existing rear elements will be removed to make way for a new rear addition. See exhibit labeled "Rear Elevation May 20189". New rear two story addition will consist of a cross gable roof with a centered rear facing gable which will step in from the sides. A standing seam metal roof will cover a new side facing stoop. See exhibit labeled "Right Side Elevation May 2018". Materials (including siding, foundation, windows, roofing (except where new introduced), etc. and details (including siding, corner boards, trim bands, window configuration, soffit/fascia treatment, overhand, etc.) will match existing. See exhibits labeled "Rear, Left, Right Elevations May 2018".

Applicable *Charlotte Historic District Design Guidelines* – Additions

1. Locate the addition to the rear.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure.

This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the Charlotte Historic District Design Guidelines.

- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

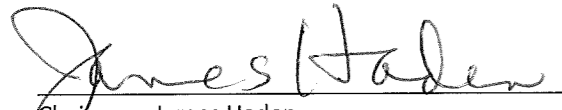
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

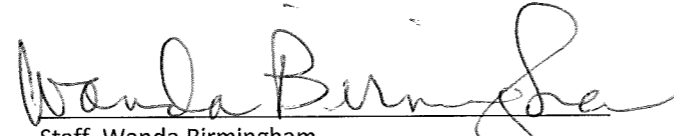
www.charlotteplanning.org

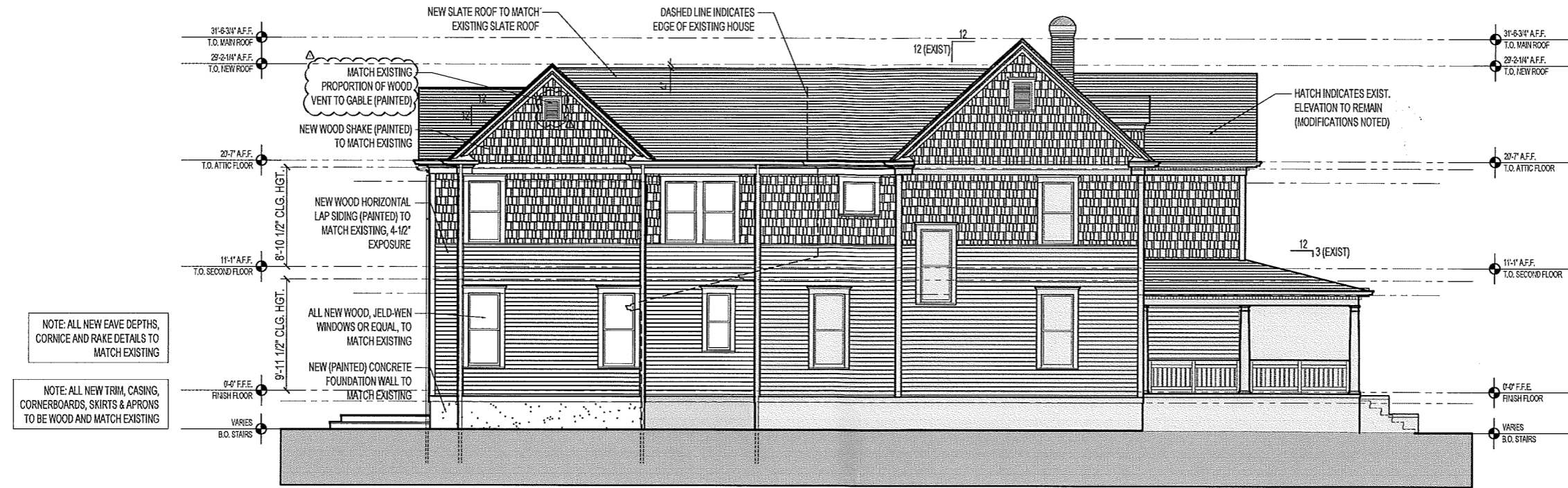
600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123

invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance .


Chairman, James Haden

WB

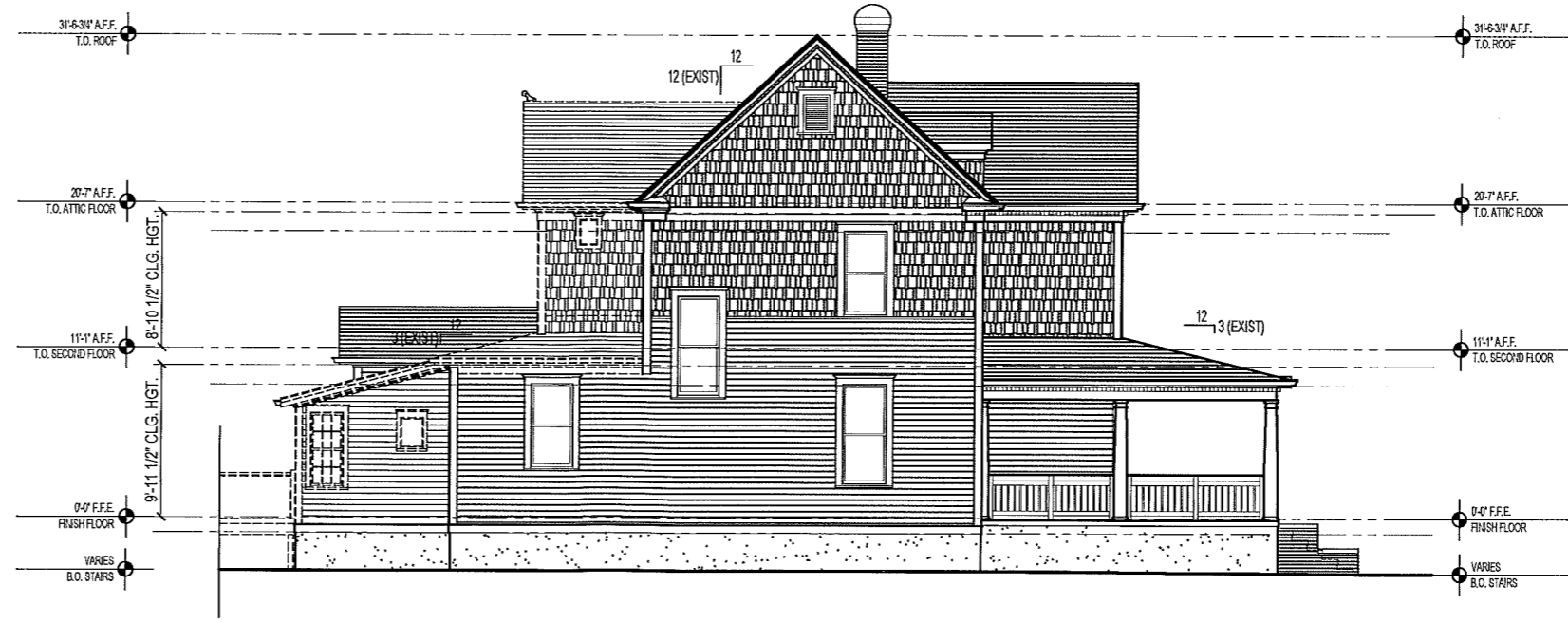

Staff, Wanda Birmingham



NOTE: ALL NEW EAVE DEPTHS, CORNICE AND RAKE DETAILS TO MATCH EXISTING

NOTE: ALL NEW TRIM, CASING, CORNERBOARDS, SKIRTS & APRONS TO BE WOOD AND MATCH EXISTING

02 | PROPOSED LEFT SIDE ELEVATION (NORTH FACING)
scale: 3/32" = 1'-0"



01 | EXISTING / DEMOLITION LEFT SIDE ELEVATION (NORTH FACING)
scale: 3/32" = 1'-0"

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Certificate of Appropriateness

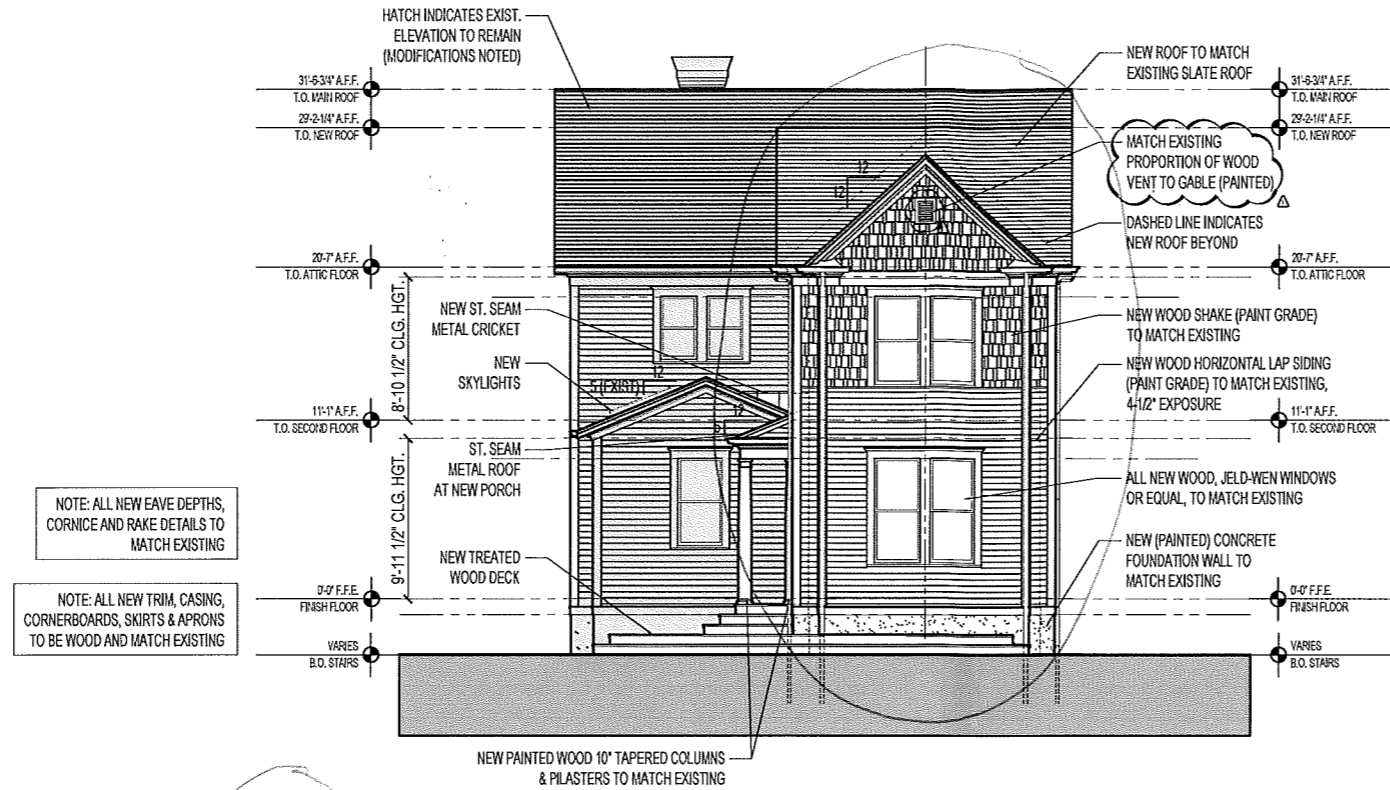
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2018-00105

1712 WINTHROP Ave. -HDC Submittal- Charlotte, NC

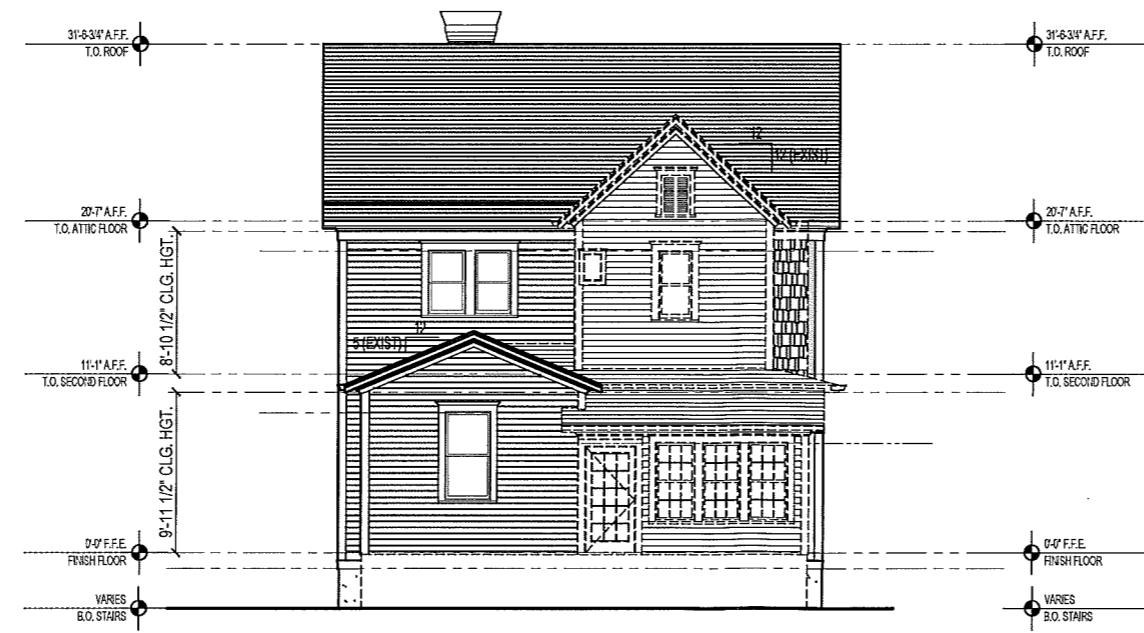
Charlotte, North Carolina
02.21.18, REV 1:02.28.18
p | Arch Proj # 1744



Left Side Elevation May 2018



02 PROPOSED REAR ELEVATION (NORTH FACING)
scale: 3/32" = 1'-0"



01 EXISTING / DEMOLITION REAR ELEVATION (NORTH FACING)
scale: 3/32" = 1'-0"

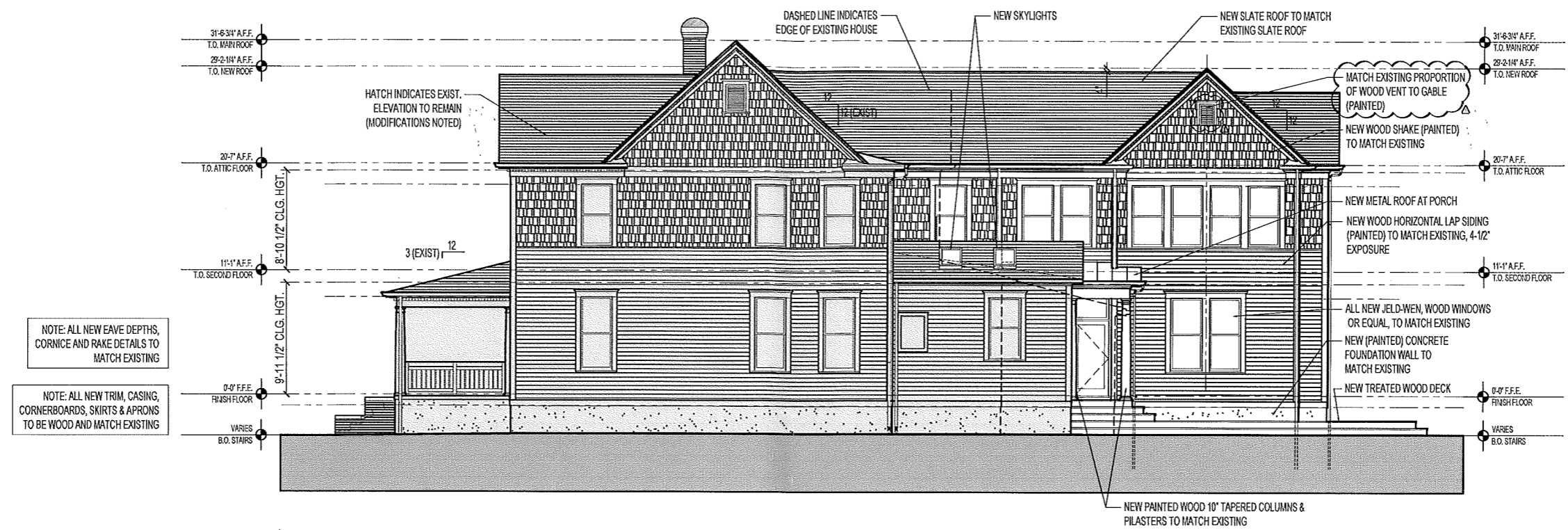
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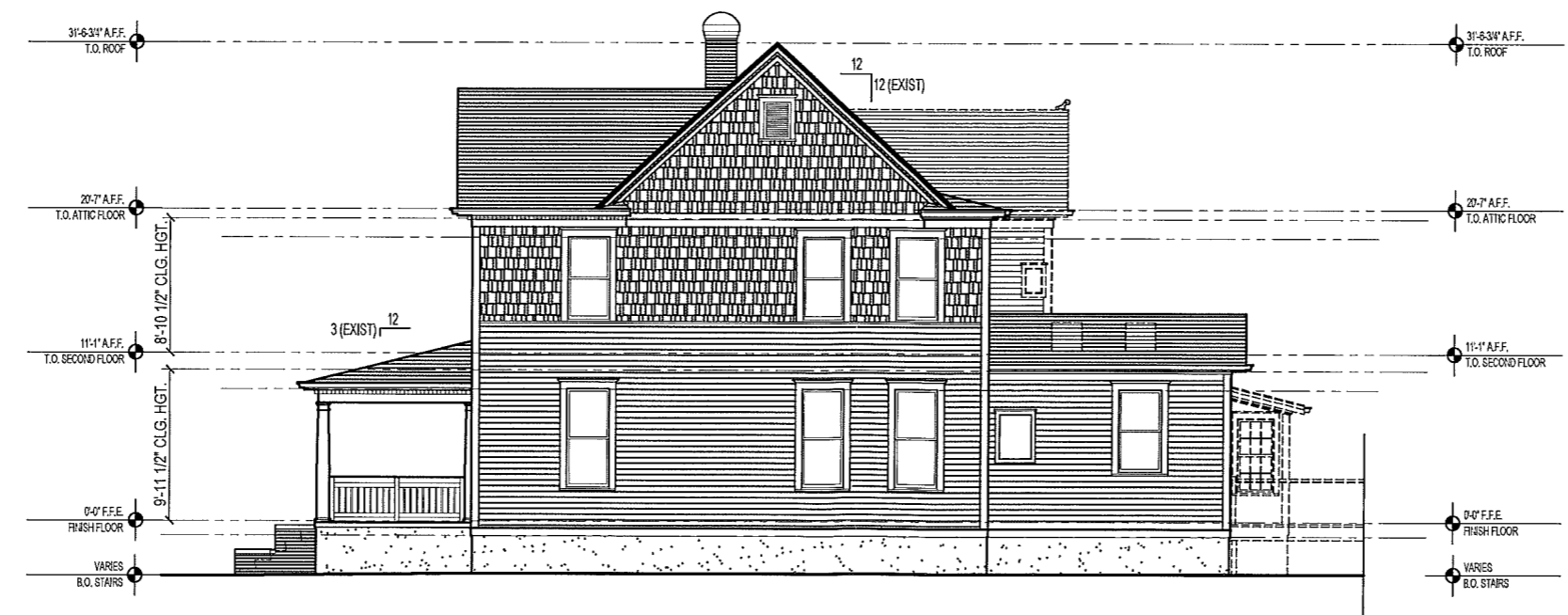
Charlotte, North Carolina
02.21.18, REV 1:02.28.18
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Rear Elevation May 2018



02 PROPOSED RIGHT SIDE ELEVATION (NORTH FACING)
scale: 3/32" = 1'-0"



01 EXISTING / DEMOLITION RIGHT SIDE ELEVATION (NORTH FACING)
scale: 3/32" = 1'-0"

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Right Side Elevation May 2018