



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCADMRM-2018-00087

DATE: 19 February 2018

ADDRESS OF PROPERTY: 617 Grandin Rd

TAX PARCEL NUMBER: 07102310

HISTORIC DISTRICT: Wesley Heights

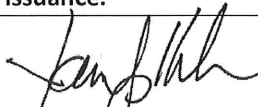
OWNER(S): Joshua Robertson

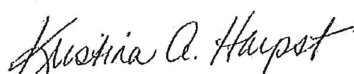
DETAILS OF APPROVED PROJECT: Rear Addition. The project is the extension of an existing wood deck on the rear of the primary structure. The deck extension measures approximately 9'-0" x 9'-1 1/2" and includes a set of wooden stairs approximately 4'-0" in width to access the rear yard. Materials are wood to match existing. The deck and stair handrail will be comprised of pickets centered on the top and bottom rails with an additional piece of horizontal trim on top. No changes will be made to the existing deck. See attached plans.

1. Applicable Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 2.6: Work in Rear Yards, Decks.
2. The applicable Design Guidelines have been met.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

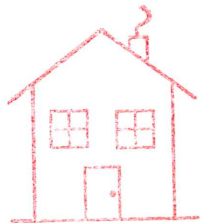
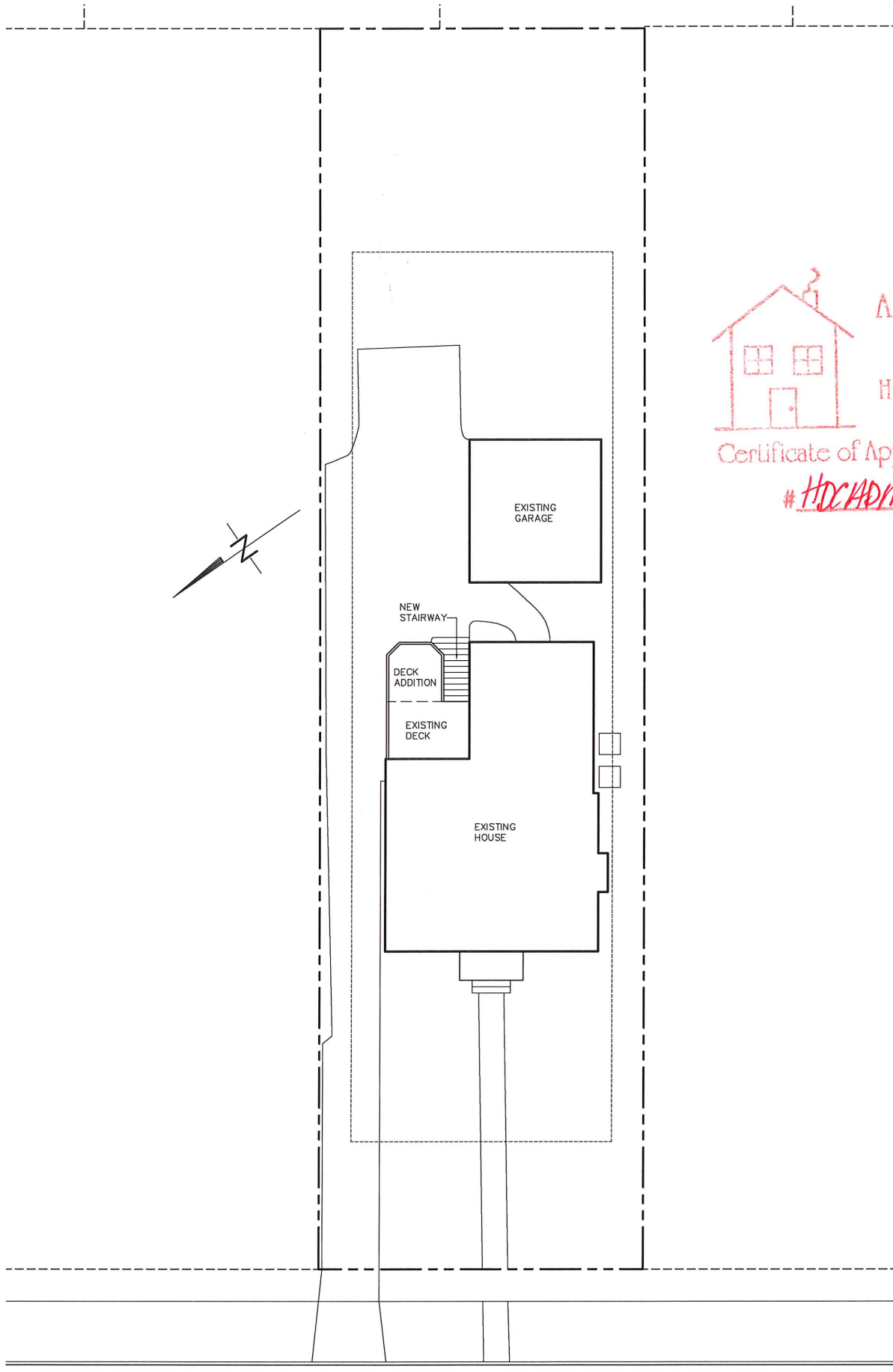
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman


Staff

GENERAL NOTES

1. ROOF LIVE LOAD 20 PSF
FLOOR LIVE LOAD 40 PSF
ROOF DEAD LOAD 15 PSF
WIND LOAD 0' - 30' (90 MPH) 17 PSF
2. ALL CONCRETE SHALL DEVELOP 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. USE 5.5 SACKS PER CUBIC YARD MINIMUM CEMENT CONTENT.
3. REINFORCING STEEL TO BE INTERMEDIATE GRADE 60 DEFORMED BARS (ASTM-A615). PROVIDE MINIMUM 3" COVER IN FOOTINGS.
4. ALL REINFORCING STEEL LAPS SHALL BE A MINIMUM OF 30 BAR DIAMETERS (15 INCHES MINIMUM) UNLESS NOTED OTHERWISE ON THE DRAWINGS.
5. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-82 AND A-185 WITH SIZES AS INDICATED ON THE DRAWINGS.
6. BAR SUPPORTS, DESIGN, DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 315-74 AND ACI 318-83.
7. ALL FOUNDATIONS SHALL BEAR IN RESIDUAL SOILS OR STRUCTURAL FILL UTILIZING A DESIGN BEARING PRESSURE OF 2000 POUNDS PER SQUARE FOOT. FOUNDATIONS SHALL BE CARRIED TO A LOWER ELEVATION THAN SHOWN ON THE DRAWINGS IF REQUIRED TO OBTAIN FIRM BEARING.
8. HOLLOW CONCRETE MASONRY UNITS SHALL CONFORM TO THE STANDARD SPECIFICATION FOR HOLLOW CONCRETE MASONRY UNITS ASTM C-90. THE COMPRESSIVE STRENGTH OF THE UNITS SHALL BE A MINIMUM OF 2000 PSI WITH AN ASSUMED COMPRESSIVE STRENGTH OF MASONRY fm OF 1350 PSI MINIMUM. THESE STRENGTH VALUES SHALL BE ON A NET CONCRETE MASONRY AREA FOR ALL HOLLOW UNITS.
9. USE TYPE S MORTAR WITH A MINIMUM AVERAGE 28-DAY COMPRESSIVE STRENGTH OF 1800 PSI. TYPE S MORTAR SHALL CONFORM TO ASTM C270.
10. HOLLOW CONCRETE MASONRY UNITS SHALL BE LAID WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS AND WEBS.
11. FILL CELLS OF ALL CONCRETE MASONRY UNITS SOLID WITH GROUT WHERE INDICATED ON THE DRAWINGS AND BELOW GRADE.
12. ALL FRAMING LUMBER TO BE SOUTHERN PINE #2 OR BETTER.
13. ALL WOOD LINTELS SHALL BE 2 - 2x10 UNLESS NOTED OTHERWISE.
14. LATERAL STABILITY - SEE WALL PANEL BRACING NOTES ON SHEET A301 AND STRAP TIE-DOWN DETAIL 3/A301.
15. CAREFULLY LAYOUT, CUT, FIT, AND ERECT ALL FRAMING LUMBER, SHEATHING, BRIDGING, BLOCKING AND OTHER ITEMS OF WORK NECESSARY TO COMPLETELY ERECT THE FRAMING AS INDICATED. ALL WORK SHALL BE PROPERLY AND CAREFULLY EXECUTED IN SUCH A MANNER AS TO INSURE THE GREATEST STABILITY AND MINIMIZE THE EFFECT OF SHRINKAGE. ALL MEMBERS SHALL BE PROPERLY BRACED, PLUMBED AND LEVELED. A SUFFICIENT NUMBER OF NAILS, SPIKES, AND BOLTS SHALL BE USED TO INSURE THE RIGIDITY OF ALL PARTS OF THE WORK.
16. PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED FOR THE LOADS INDICATED IN THESE GENERAL NOTES, ITEM 1.
17. MANUFACTURED FLOOR JOISTS SHALL BE INSTALLED AS PER ALL OF MANUFACTURERS RECOMMENDATIONS AND REQUIREMENTS FOR MAXIMUM PERFORMANCE.
18. ANCHOR BOLTS SHALL BE 1/2" # HOT-DIPPED GALVANIZED STEEL WITH MINIMUM 7" EMBEDMENT AND LOCATED 32" o.c. AND WITHIN 12" OF ALL CORNERS. SIMPSON MAB 23 STAP ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS AT THE SAME SPACING AND INSTALLED IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S INSTALLATION REQUIREMENTS.
19. TRUSS DESIGN, FABRICATION DRAWINGS AND ERECTION DRAWINGS BY TRUSS MANUFACTURER. TRUSS MANUFACTURER WILL PROVIDE SEALED ENGINEERING SHOP DRAWINGS FOR ALL TRUSSES AND TRUSS GIRDERS.
20. ALL WOOD I-BEAM JOISTS SHALL BE AS MANUFACTURED BY GEORGIA-PACIFIC OR APPROVED EQUAL AND BE INSTALLED AS PER ALL MANUFACTURERS RECOMMENDATIONS.
21. ALL HOLE SIZE AND PLACEMENT FOR MECHANICAL DUCT WORK, PLUMBING, AND ELECTRICAL WIRES AND CONDUIT IN WOOD I-BEAM JOISTS SHALL BE AS PER MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS AS DESCRIBED IN THE LATEST GEORGIA-PACIFIC DESIGN AND INSTALLATION MANUAL.



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

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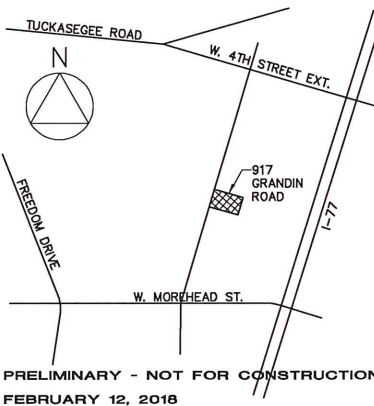
LIST OF DRAWNGS:

- A100 SITE PLAN & GENERAL NOTES
A101 FIRST FLOOR PLAN - DECK ADD.
A201 FRONT & RIGHT SIDE ELEVATIONS
A202 REAR & LEFT SIDE ELEVATIONS

BUILDING DATA:

EXISTING DECK	=	122.4 SF
DECK ADDITION	=	78.4 SF
TOTAL DECK	=	200.8 SF
NEW STAIRWAY	=	44.8 SF

VICINITY MAP



James Blair
ARCHITECT

1807 REDCOAT DRIVE
CHARLOTTE, NC 28211

704-451-6122
JLB.31945@GMAIL.COM

PROPOSED DECK ADDITION
617 GRANDIN ROAD
617 GRANDIN ROAD
CHARLOTTE, NORTH CAROLINA

SHEET TITLE:

SITE PLAN

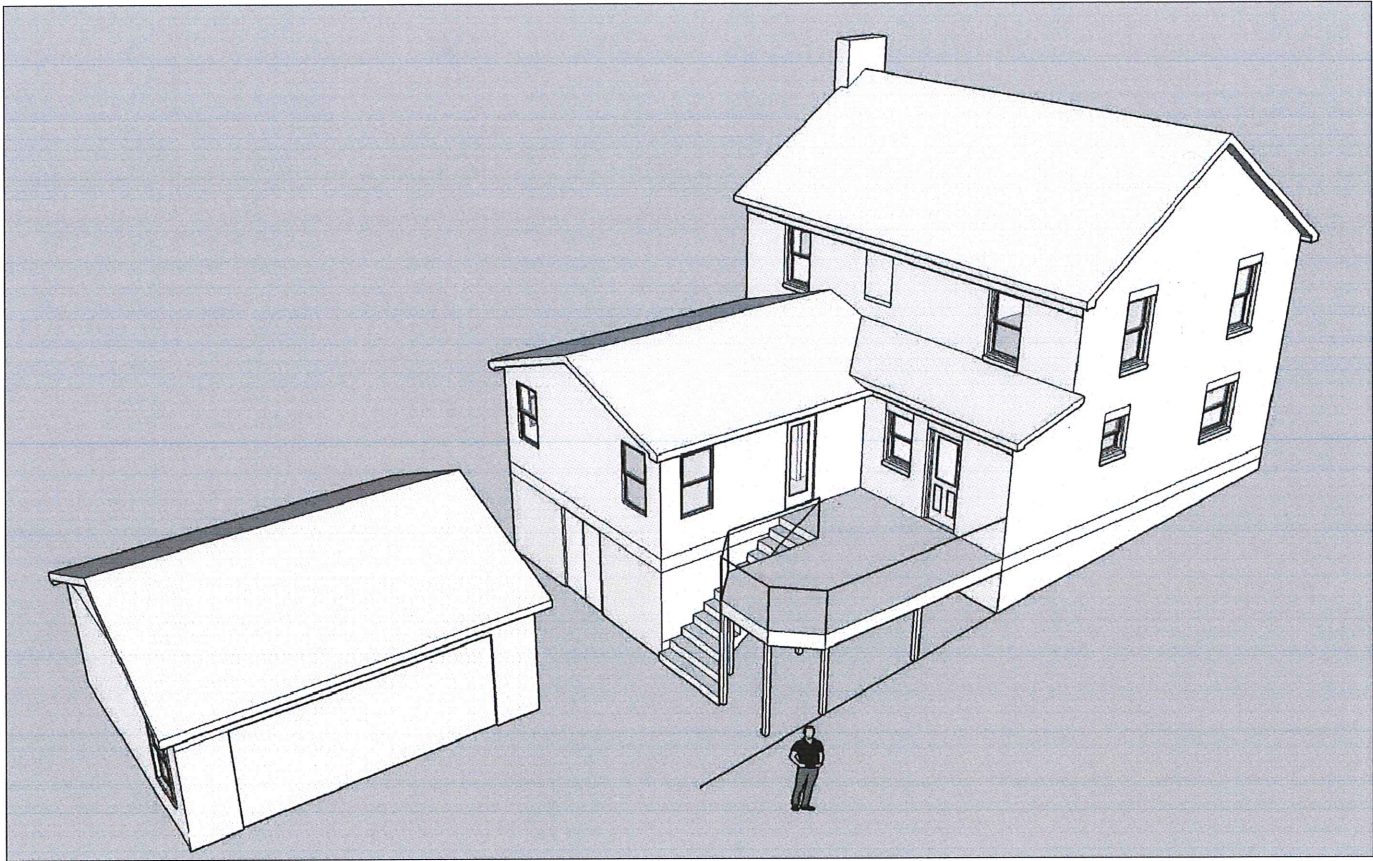
JOB NUMBER: 17---
DATE: FEBRUARY, 2018

REVISIONS:

A100

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1 SITE PLAN
A100 1" = 10'-0"

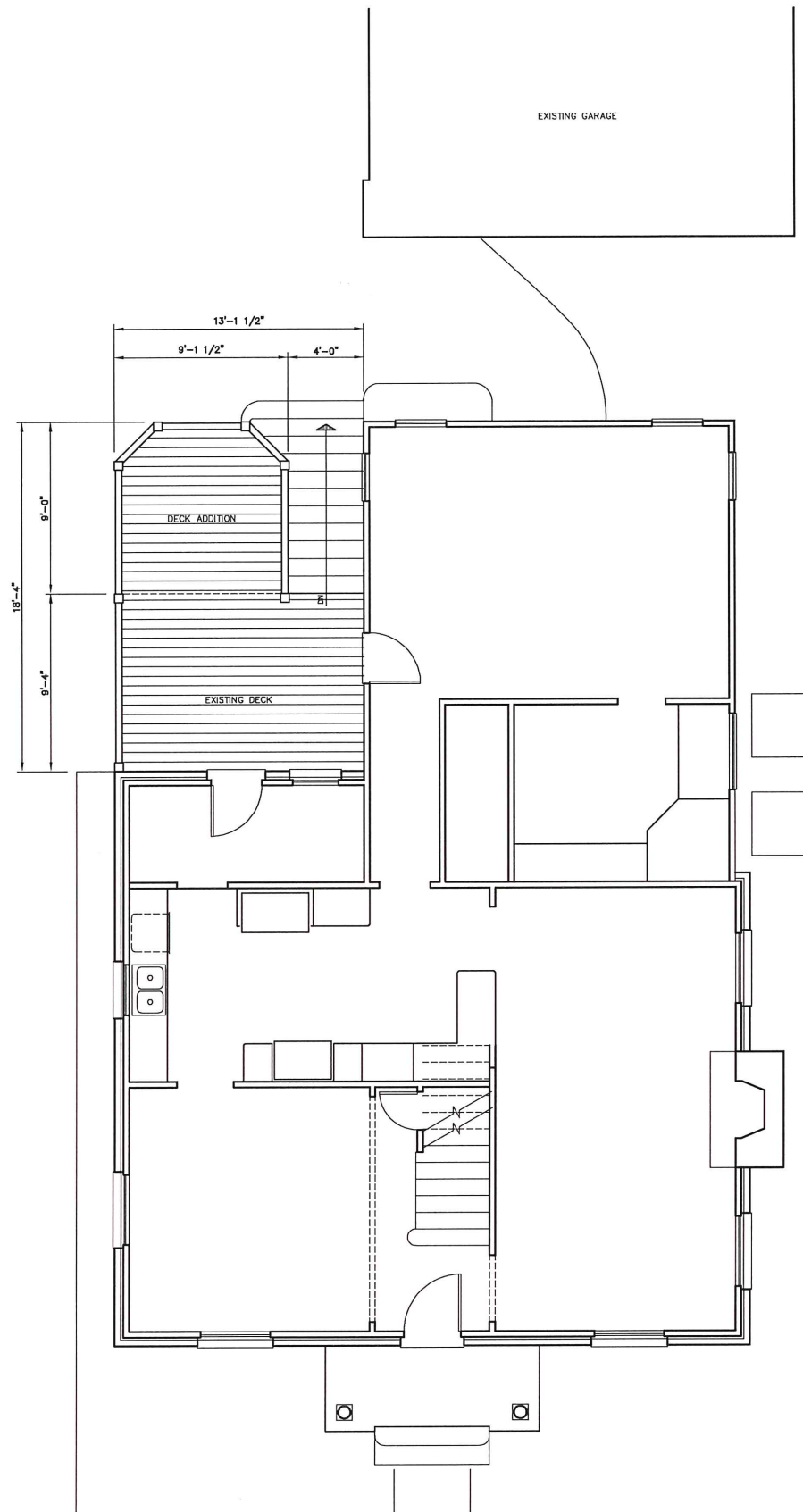


2 PERSPECTIVE MODEL VIEW
A101 NO SCALE



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1 FIRST FLOOR PLAN - DECK ADDITION
A101 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION
FEBRUARY 12, 2018

James Blair
ARCHITECT

1807 REDCOAT DRIVE
CHARLOTTE, NC 28211
704-451-6122
JLB.3.1945@GMAIL.COM

PROPOSED DECK ADDITION
617 GRANDIN ROAD
CHARLOTTE, NORTH CAROLINA
617 GRANDIN ROAD

SHEET TITLE:
**SITE PLAN &
FIRST FLOOR PLAN**

JOB NUMBER: 17--
DATE: FEBRUARY, 2018

REVISIONS:

A101

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James Blair
ARCHITECT

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PROPOSED DECK ADDITION
617 GRANDIN ROAD
617 GRANDIN ROAD

CHARLOTTE, NORTH CAROLINA

SHEET TITLE:

ELEVATIONS

JOB NUMBER: 17---

DATE: FEBRUARY, 2018

REVISIONS:

A202

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