
LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 301 West Park Avenue

SUMMARY OF REQUEST: Window changes

APPLICANT/OWNER: Nicholas Peters, applicant

Details of Proposed Request

Existing Conditions

The existing structure is a 1.5-story Bungalow style house constructed in 1931. Other features include a side gable roof, front gable dormer, full-width front porch with brick piers and square wood columns, decorative brick chimney, and exposed rafter details. A secondary chimney on the left elevation was removed above the roof between July 2011 and June 2014. The house is current house is wrapped in vinyl (siding) and aluminum (trim).

Proposal

The project is to install window openings in both gable ends. On the right elevation there is an existing window opening that is currently boarded up. The proposed project will install a new, larger paired window in the same approximate location as the boarded-up window. The proposal also includes installing a paired window in the left gable end. New materials include a wood windows with STDL muntins and wood trim with dimensions to match the original wood trim that exists under the aluminum wrap.

Staff Recommendation

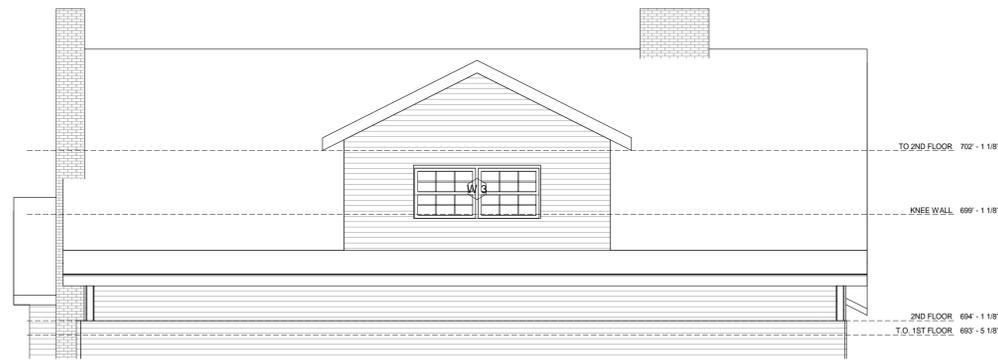
Staff has the following concerns with the proposal:

1. A single window, rather than a paired window, is better suited for the space available in the gable ends.
2. Accurate drawings for the new window openings including trim dimensions, divided light pattern, and window size/location.
3. The proposal is not incongruous with the District and meets the applicable guidelines for Building Materials-Wood, 5.2, and Additions 7.2, #3, and #6, and is consistent with applicable Secretary of the Interior's Standards, # 9 and 10.
4. Minor revisions may be reviewed by staff, including trim dimensions, and window design, and size.

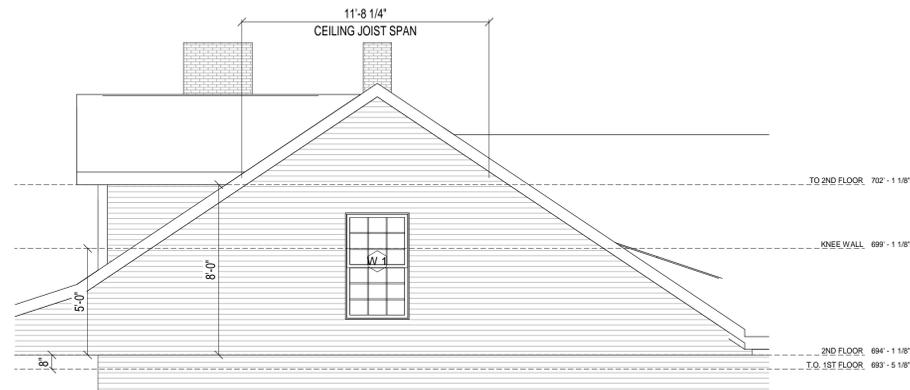




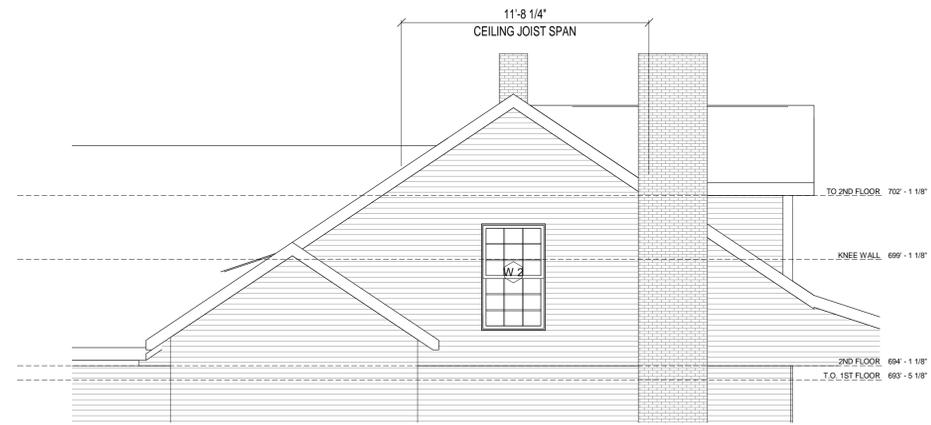
SHEET LIST - CONSTRUCTION	
SHEET NUMBER	SHEET NAME
A-1	ELEVATION
A-2	FLOOR PLAN



④ FRONT ELEV
1/4" = 1'-0"



② RIGHT ELEV
1/4" = 1'-0"



③ LEFT ELEV
1/4" = 1'-0"



① REAR ELEV
1/4" = 1'-0"



301 W PARK AVE.
CHARLOTTE NC

DAN WILLIAMS
923 FORBES RD. INDIAN LANS,
SC 29707
386.864.0295

PRODUCTION PLANS

Sheet Name
ELEVATION

Date 10/23/2018 7:24:10 AM
Drawn by DW
Design by DW
Project number 82-18

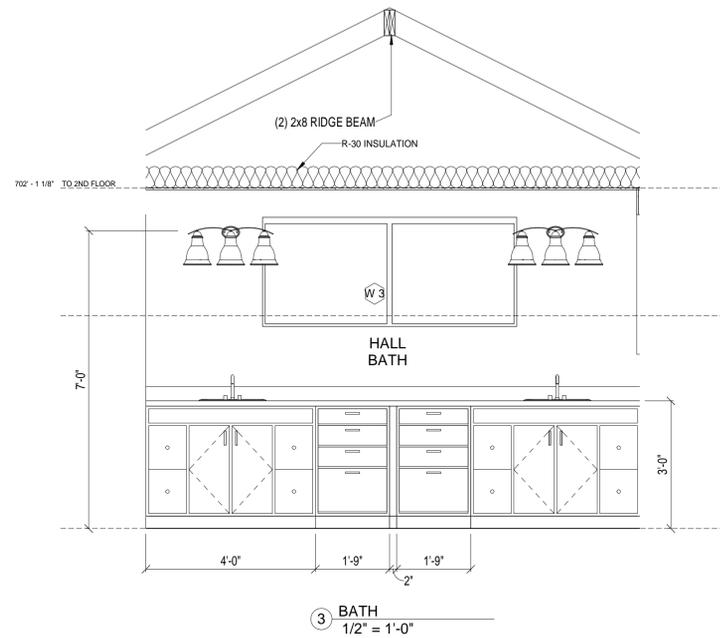
SHEET
A-1

Window being used at 301 W Park. Wood interior and exterior. 6 over 6.

**Sash: Wood
Frame: Wood
Sill: Wood**



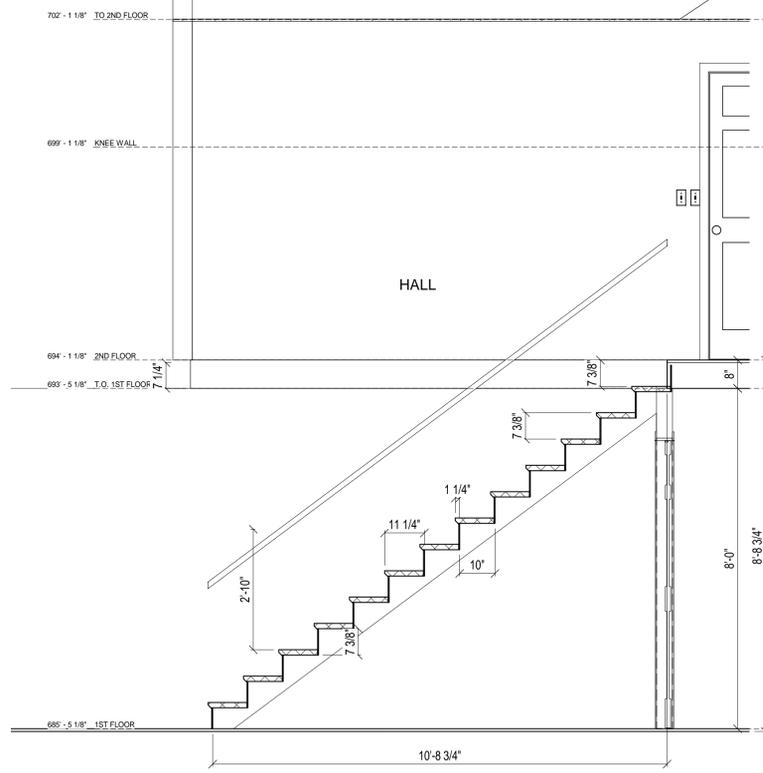
**Muntins
Exterior Wood
6 over 6**



3 BATH
1/2" = 1'-0"

ELECTRICAL LEGEND

- ⊖ SINGLE SWITCH
- ⊖ 3-WAY SWITCH
- ⊖ OUTLET (110V)
- ⊖ SMOKE/ CARBON DETECTOR
- ⊖ CEILING LIGHT
- ⊖ EXHAUST FAN W/ LIGHT



6 STAIR SECTION
1/2" = 1'-0"

Door Schedule				
Level	Mark	Family and Type	Width	Height
2ND FLOOR	D1	Int Single Swing: 2'-8"	2'-8"	6'-8"
2ND FLOOR	D2	Int Single Swing: 2'-8"	2'-8"	6'-8"
2ND FLOOR	D3	Int Single Swing: 2'-8"	2'-8"	6'-8"
2ND FLOOR	D4	Int Single Swing: 2'-6"	2'-6"	6'-8"
2ND FLOOR	D5	Int Double Swing: Door_Interior Double Swing 2668	2'-6"	6'-8"
2ND FLOOR	D6	Int Double Swing: Door_Interior Double Swing 2668	2'-6"	6'-8"
2ND FLOOR	D7	Int Single Swing: 2'-8"5'-0"	2'-8"	5'-0"
1ST FLOOR	D8	Int Single Swing: 2'-6"	2'-6"	6'-8"

Window Schedule				
Level	Mark	Type	Egress	Tempered Glass
2ND FLOOR	W 1	3050 SH	Yes	No
2ND FLOOR	W 2	3050 SH	Yes	No
2ND FLOOR	W 3	3026 TWIN	No	Yes

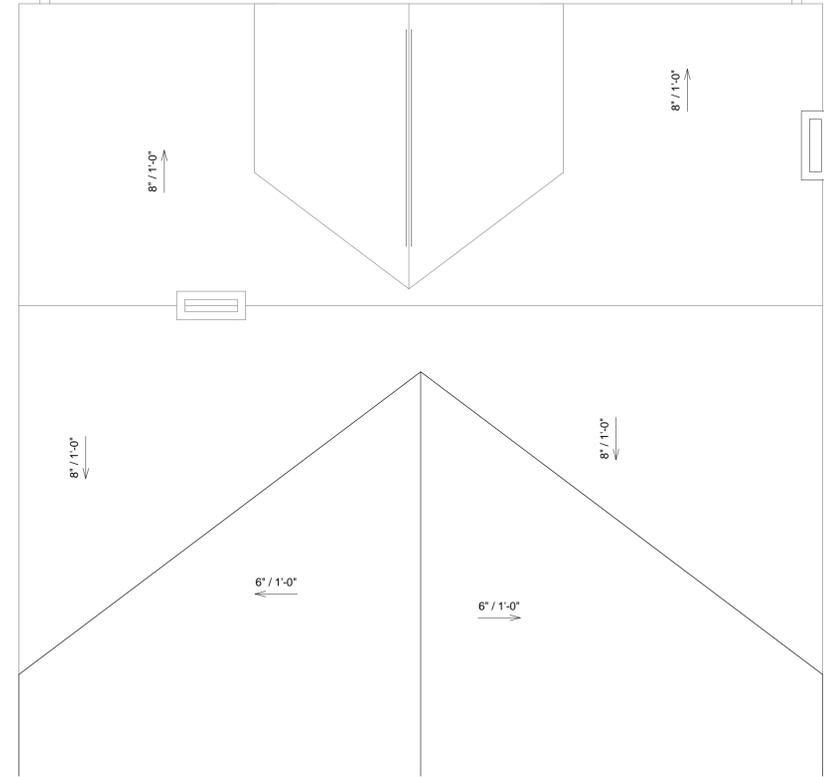
N1102.2.3 PROVIDE VERTICAL DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES WITH WEATHERSTRIPPING AND A MINIMUM R-5 INSULATED DOOR

Floor Framing:
Sister the existing 2x5 ceiling joists with 2x8s, add a new 2x8 in the center of the existing ceiling joists to create an 8" OC spacing of new 2x8 ceiling joists with every other new joist placed next to an existing joist.

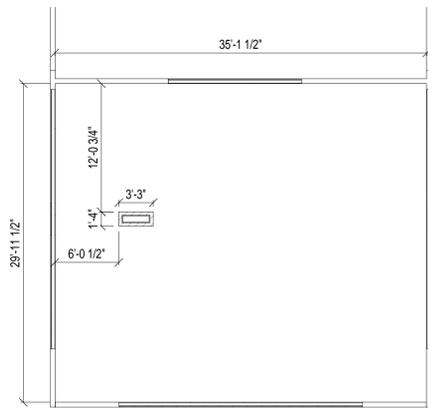
Rafter Framing - Main Area:
Sister the existing 2x5 rafters with 2x6s, add a new 2x6 in the center of each of the existing rafters to create a 12" OC spacing of new 2x6 rafters with every other new rafter placed next to an existing rafter. Place 2x8 ridge board blocking between existing rafters for attaching the new rafters and place collar ties every 24" OC at the 8'-1/2" above finished floor height.

Rafter Framing - Dormer Area:
Sister the existing 2x4 rafters with 2x6s cut down to match the size of the existing rafters (= 4"), add a new cut down 2x6 in the center of each of the existing rafters to create a 12" OC spacing of new cut down 2x6 rafters with every other new rafter placed next to an existing rafter. Insert a double 2x8 ridge beam into the peak of the existing rafters. Support the ridge beam on the gable end with a double stud leading to a 2x10 header of the dormer end window. Install a 4x4 or triple stud post under the intersection of the ridge beam at the dormer peak and the main roof, and place a triple joist under this post.

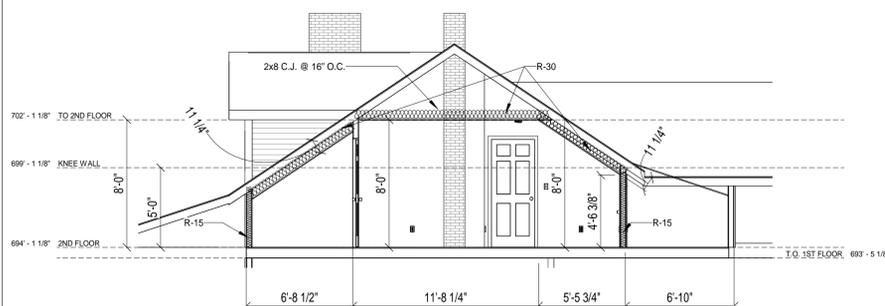
With the above recommended modifications complete the structure meets or exceeds the requirements of the 2012 NCSBC.



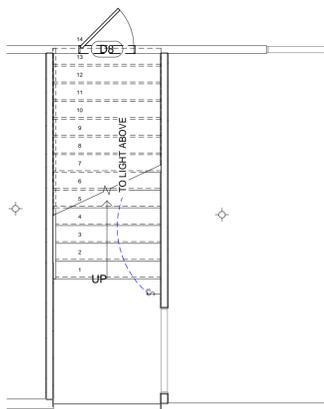
5 EXISTING ROOF
1/4" = 1'-0"



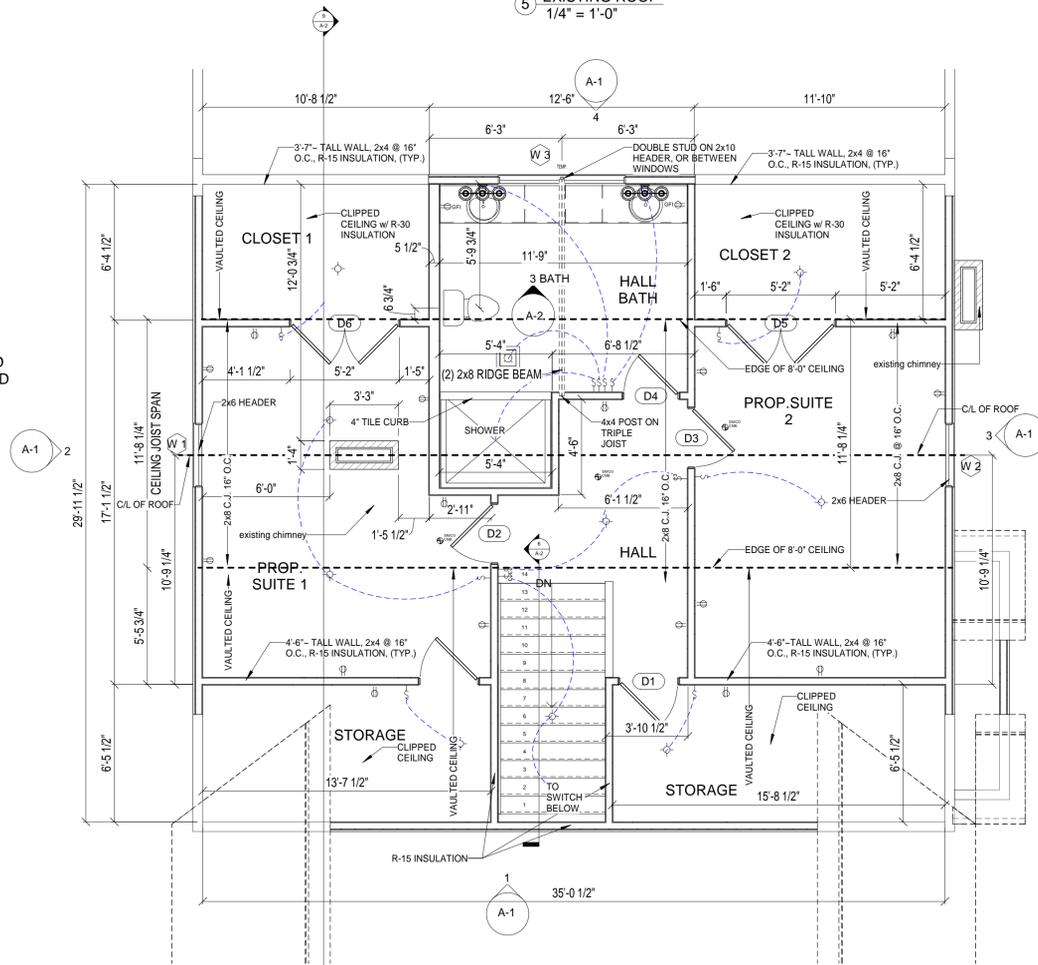
4 2ND FLOOR EXISTING
1/8" = 1'-0"



9 CROSS SECTION A-A
3/16" = 1'-0"



1 1ST FLOOR
1/4" = 1'-0"



2 2ND FLOOR NEW
1/4" = 1'-0"



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A-2