
LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 301 West Park Avenue

SUMMARY OF REQUEST: Window changes

APPLICANT/OWNER: Nicholas Peters, applicant

Details of Proposed Request

Existing Conditions

The existing structure is a 1.5-story Bungalow style house constructed in 1931. Other features include a side gable roof, front gable dormer, full-width front porch with brick piers and square wood columns, decorative brick chimney, and exposed rafter details. A secondary chimney on the left elevation was removed above the roof between July 2011 and June 2014. The house is current house is wrapped in vinyl (siding) and aluminum (trim).

Proposal

The project is to install window openings in both gable ends. On the right elevation there is an existing window opening that is currently boarded up. The proposed project will install a new, larger paired window in the same approximate location as the boarded-up window. The proposal also includes installing a paired window in the left gable end. New materials include a wood windows with STDL muntins and wood trim with dimensions to match the original wood trim that exists under the aluminum wrap.

Staff Recommendation

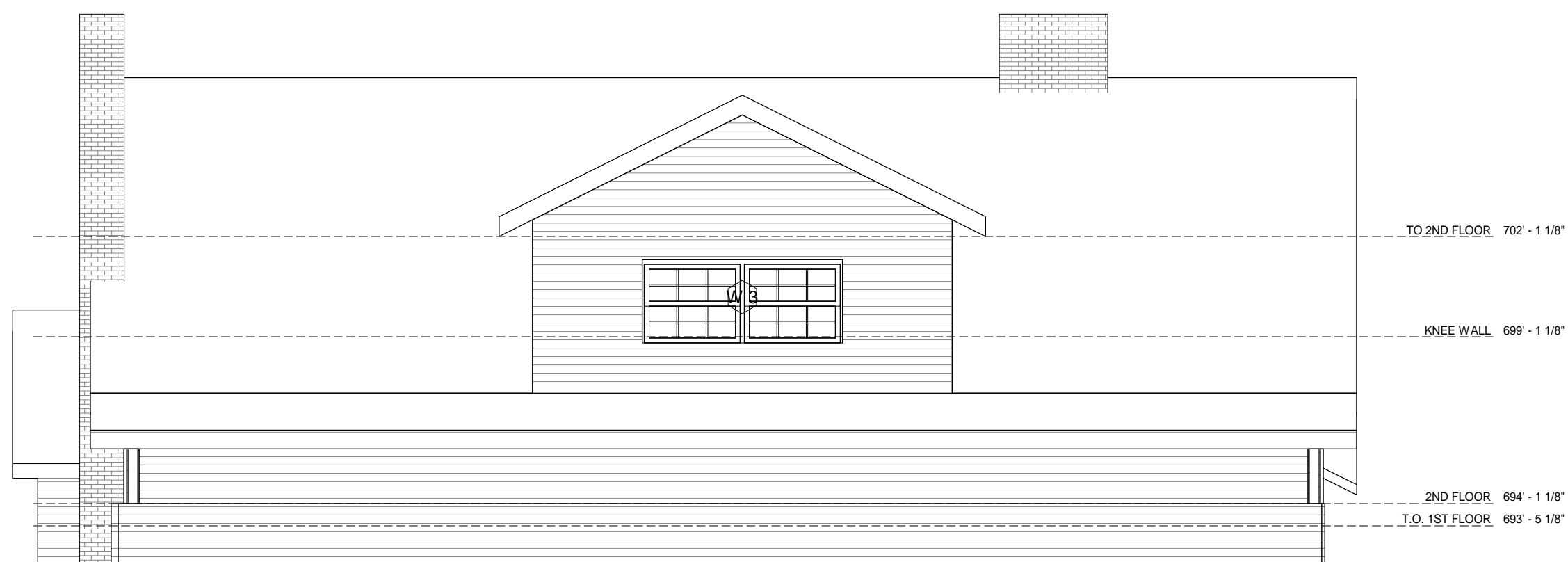
Staff has the following concerns with the proposal:

1. A single window, rather than a paired window, is better suited for the space available in the gable ends.
2. Accurate drawings for the new window openings including trim dimensions, divided light pattern, and window size/location.
3. The proposal is not incongruous with the District and meets the applicable guidelines for Building Materials-Wood, 5.2, and Additions 7.2, #3, and #6, and is consistent with applicable Secretary of the Interior's Standards, # 9 and 10.
4. Minor revisions may be reviewed by staff, including trim dimensions, and window design, and size.

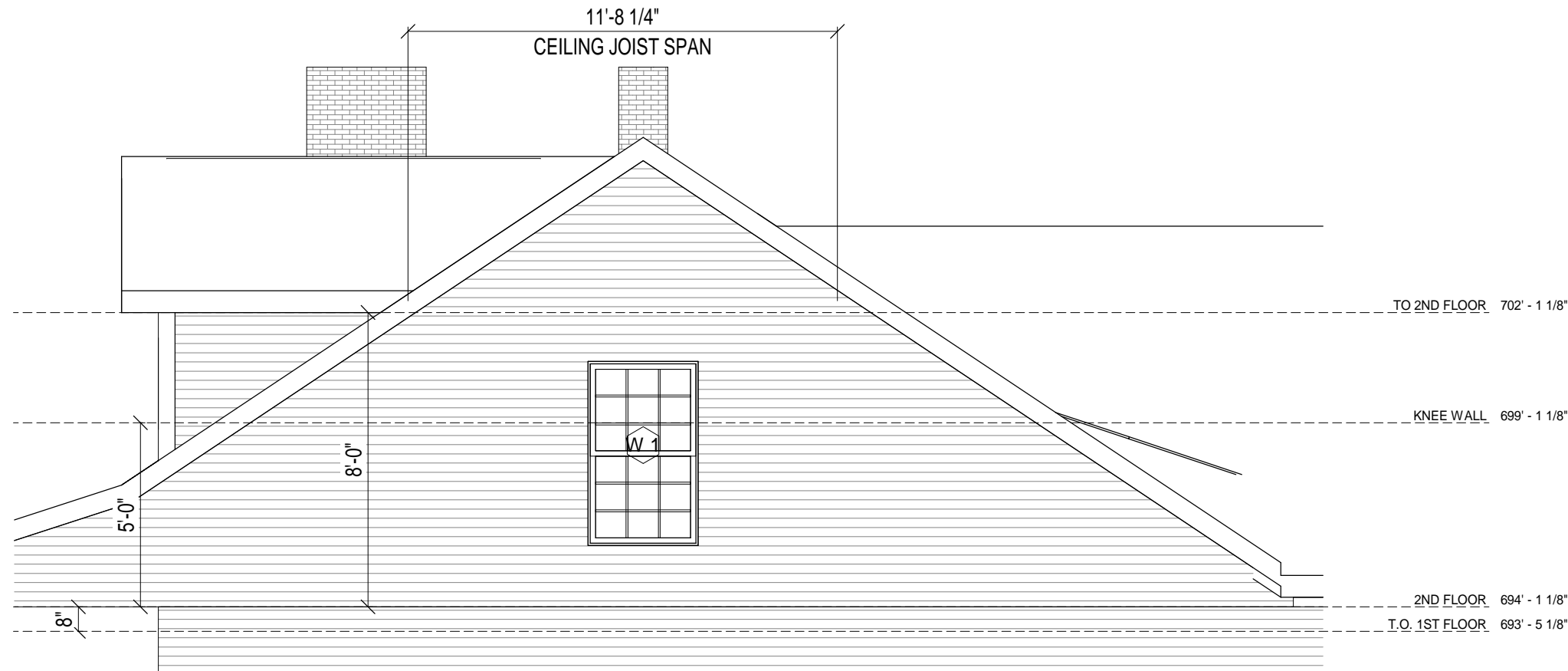




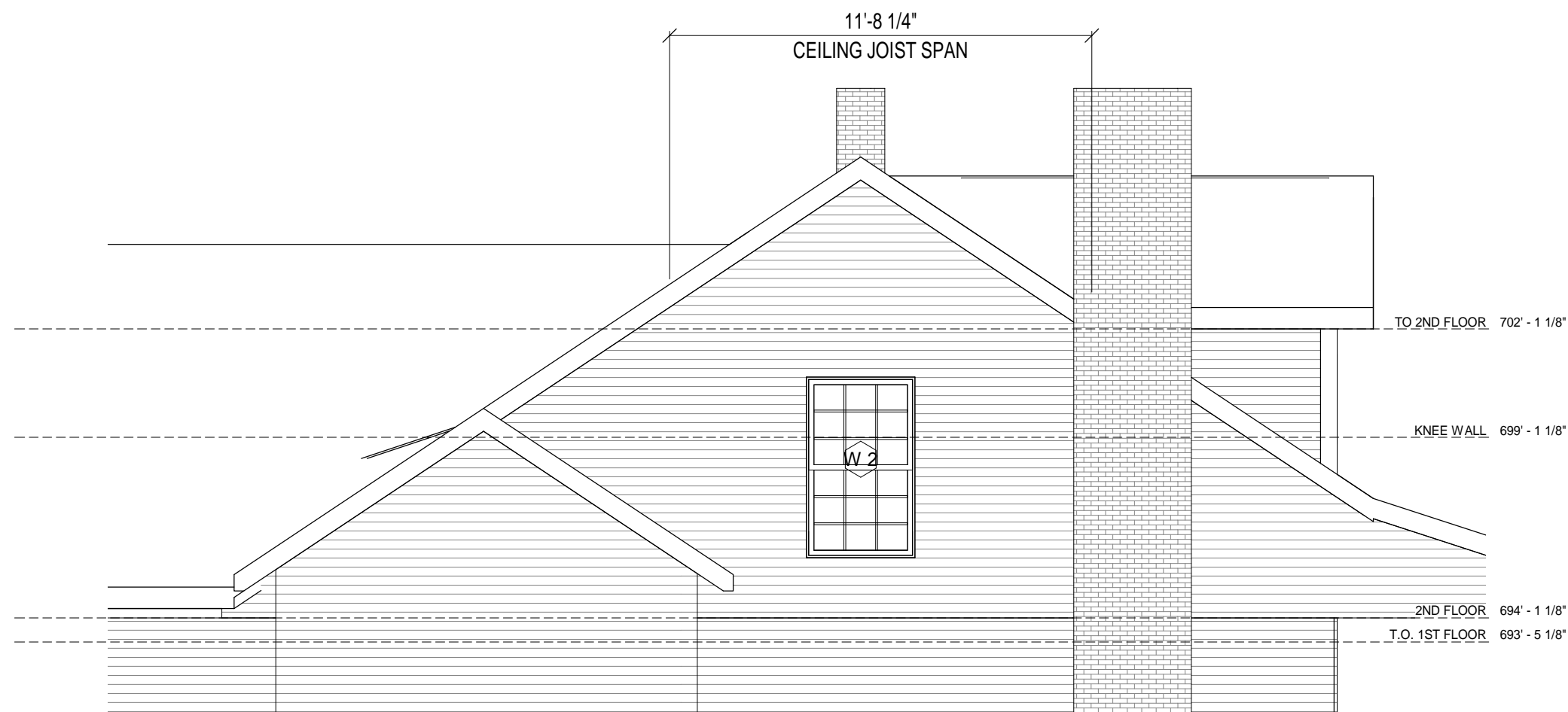
SHEET LIST - CONSTRUCTION	
SHEET NUMBER	SHEET NAME
A-1	ELEVATION
A-2	FLOOR PLAN



④ FRONT ELEV
1/4" = 1'-0"



② RIGHT ELEV
1/4" = 1'-0"



③ LEFT ELEV
1/4" = 1'-0"



① REAR ELEV
1/4" = 1'-0"

301 W PARK AVE.
CHARLOTTE NC

DAN WILLIAMS
923 FORBES RD. INDIAN LANS,
SC 29707
386.864.0295

PRODUCTION PLANS

Sheet Name
ELEVATION

Date 10/23/2018 7:24:10 AM
Drawn by DW
Design by DW
Project number 82-18

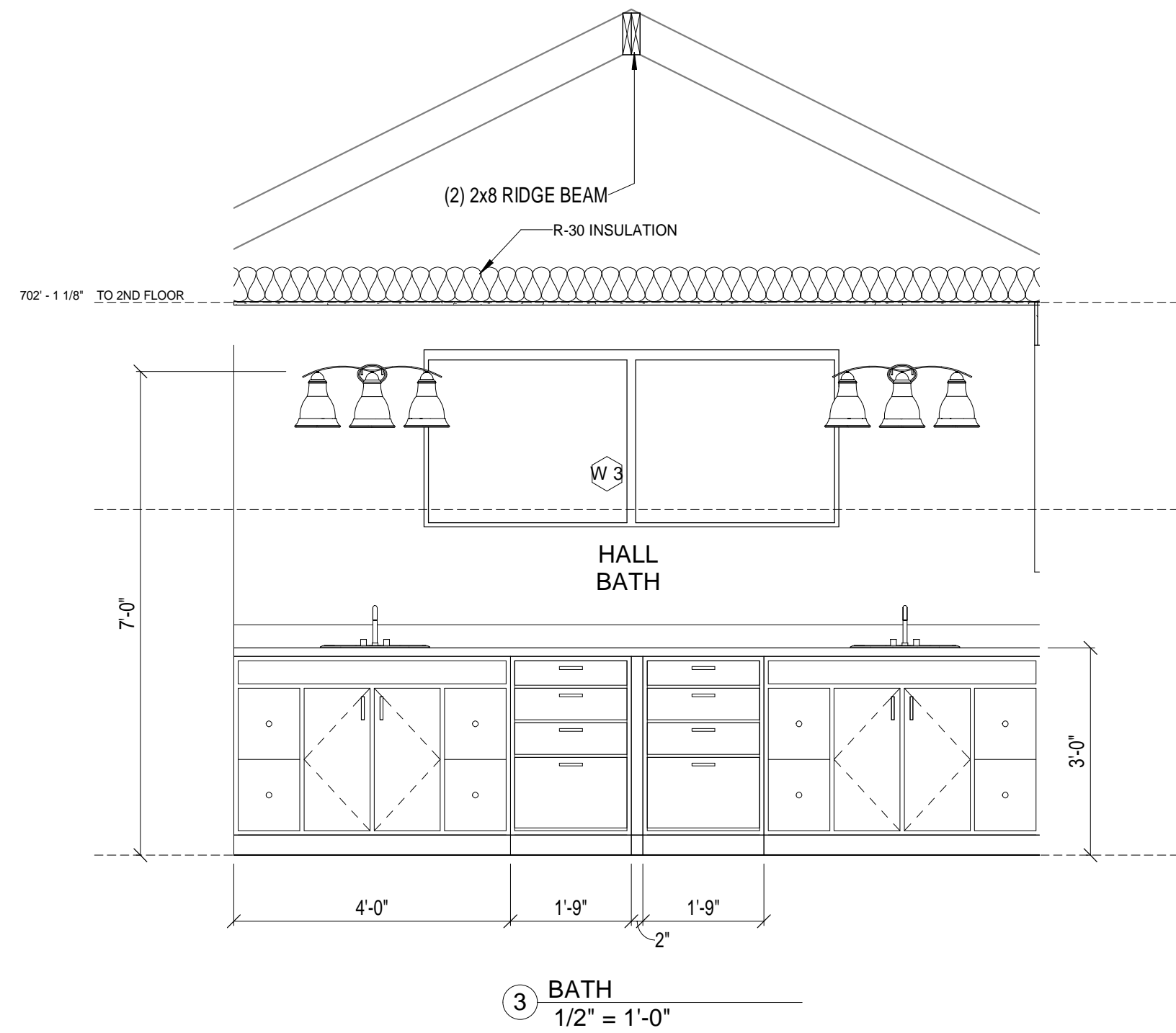
SHEET
A-1

Window being used at 301 W Park. Wood interior and exterior. 6 over 6.

**Sash: Wood
Frame: Wood
Sill: Wood**



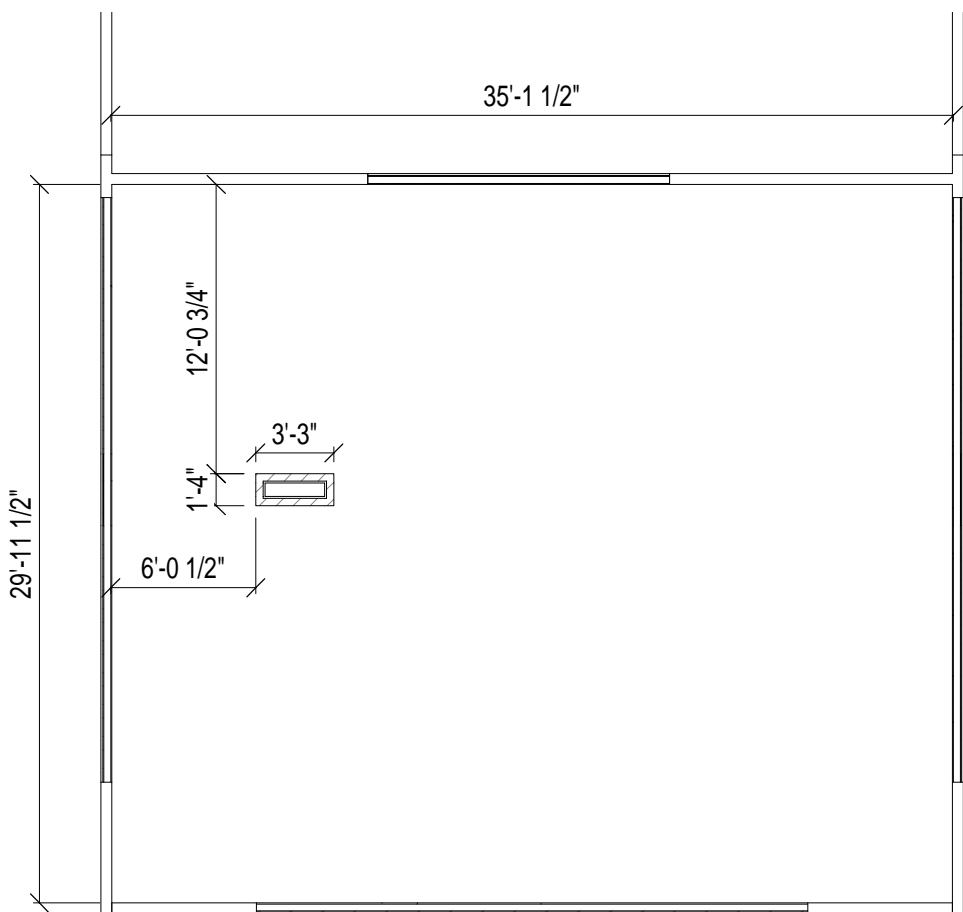
**Muntins
Exterior Wood
6 over 6**



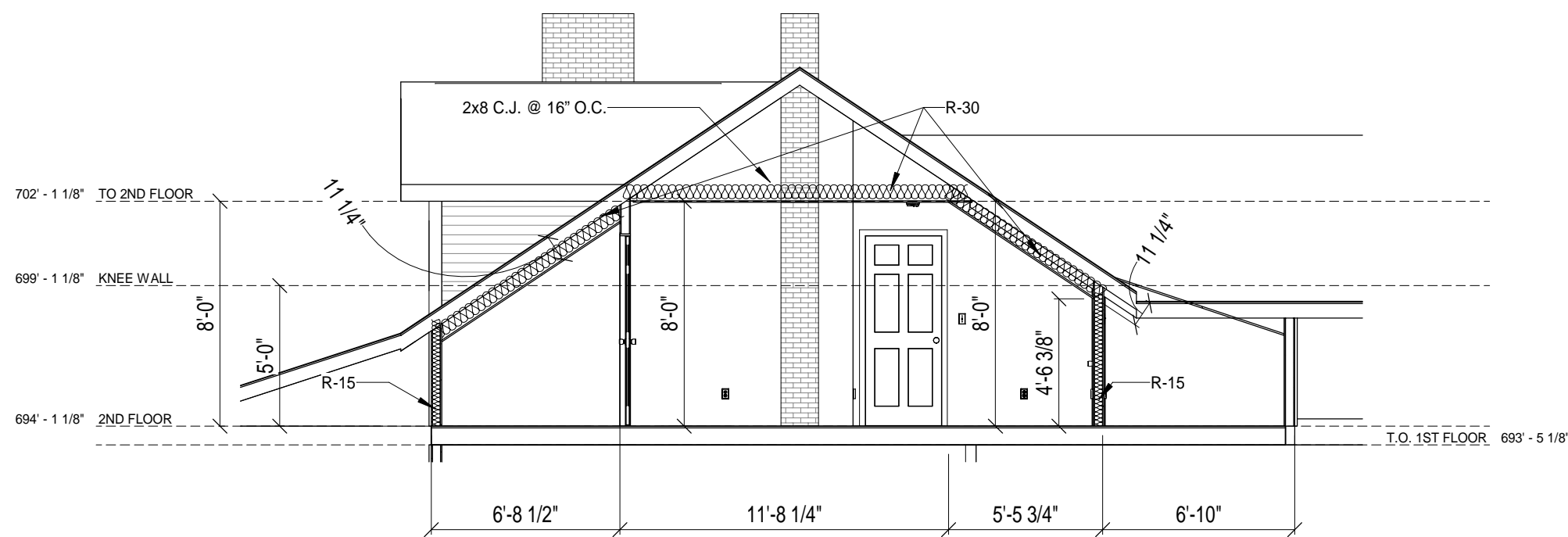
③ BATH
1/2" = 1'-0"

ELECTRICAL LEGEND

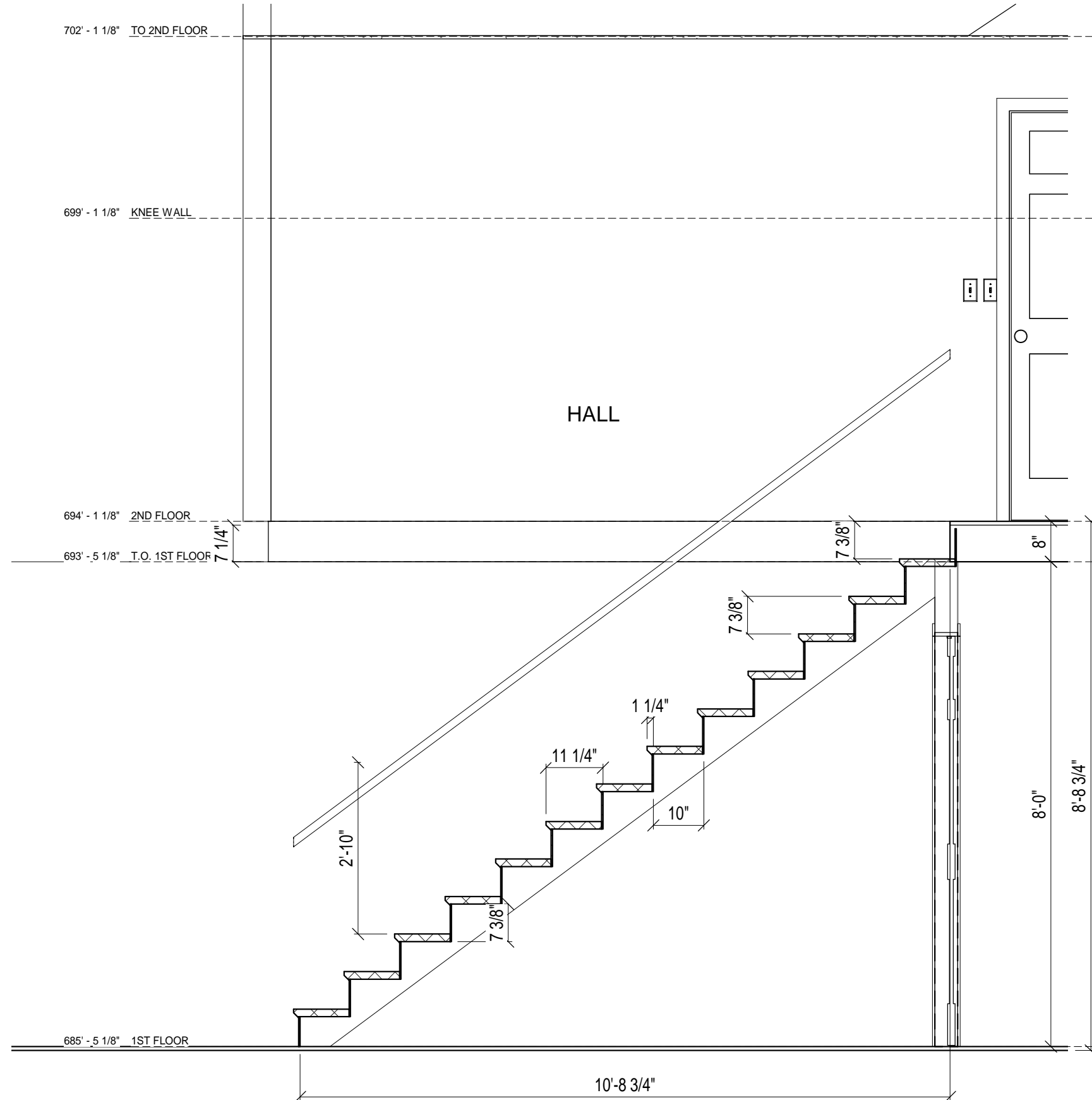
- SINGLE SWITCH
- 3-WAY SWITCH
- OUTLET (110V)
- SMOKE/ CARBON DETECTOR
- CEILING LIGHT
- EXHAUST FAN W/ LIGHT



④ 2ND FLOOR EXISTING
1/8" = 1'-0"



⑨ CROSS SECTION A-A
3/16" = 1'-0"

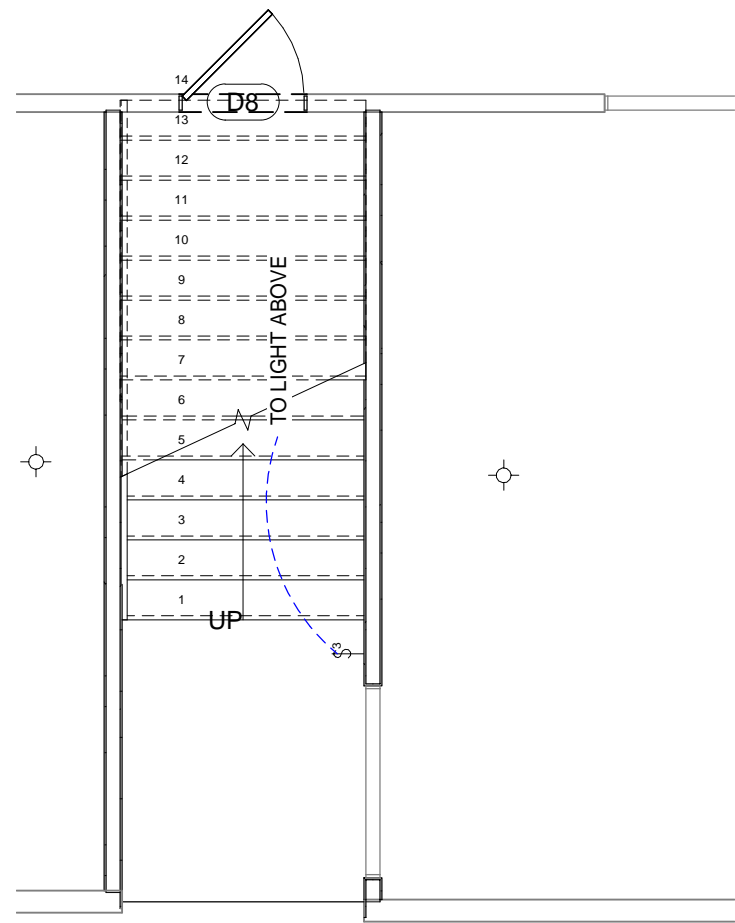


⑥ STAIR SECTION
1/2" = 1'-0"

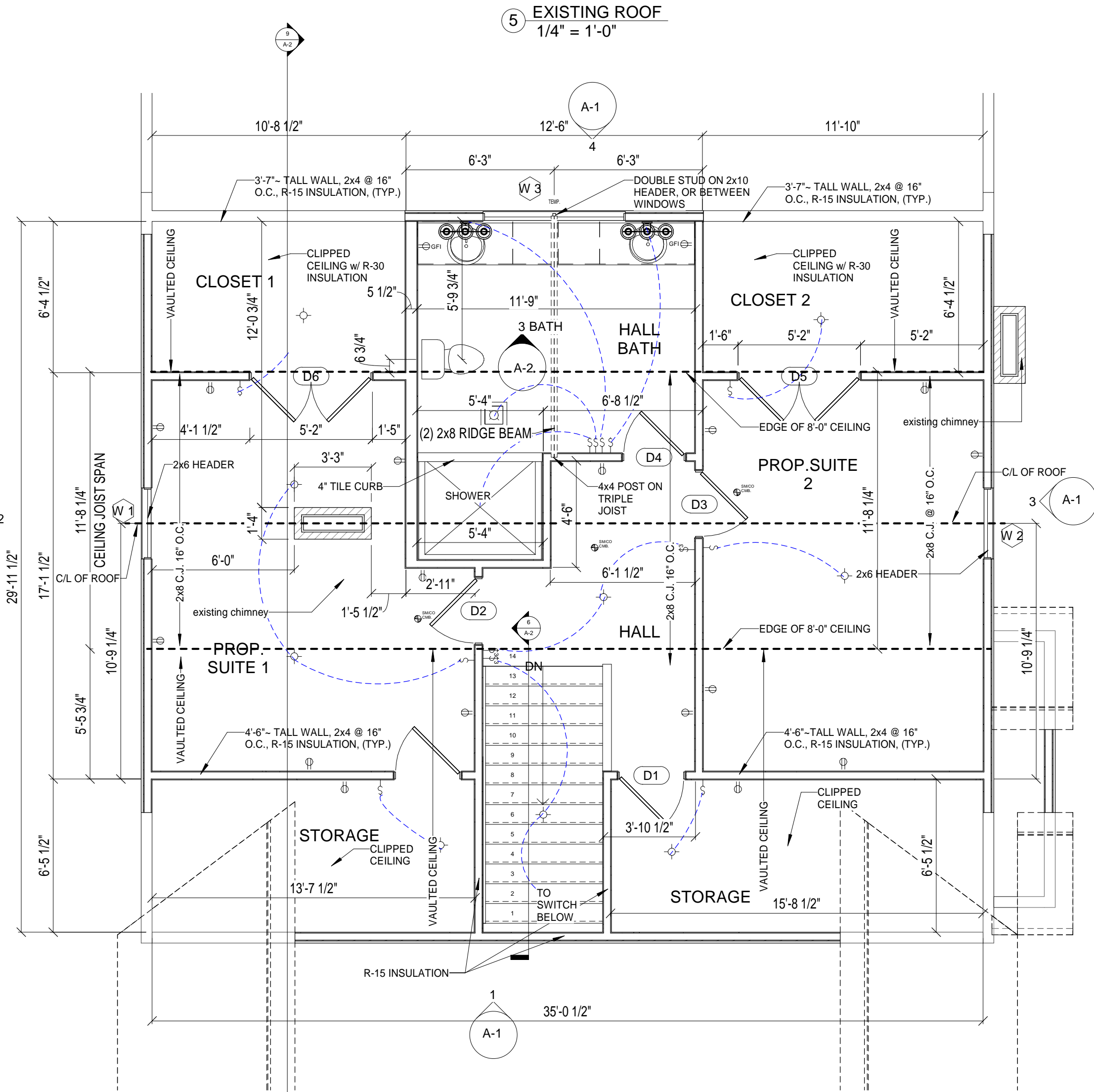
Door Schedule					
Level	Mark	Family and Type		Width	Height
2ND FLOOR	D1	Int Single Swing: 2'-8"		2'-8"	6'-8"
2ND FLOOR	D2	Int Single Swing: 2'-8"		2'-8"	6'-8"
2ND FLOOR	D3	Int Single Swing: 2'-8"		2'-8"	6'-8"
2ND FLOOR	D4	Int Single Swing: 2'-6"		2'-6"	6'-8"
2ND FLOOR	D5	Int Double Swing: Door_Interior Double Swing 2668		2'-6"	6'-8"
2ND FLOOR	D6	Int Double Swing: Door_Interior Double Swing 2668		2'-6"	6'-8"
2ND FLOOR	D7	Int Single Swing: 2'-8"-5'-0"		2'-8"	5'-0"
1ST FLOOR	D8	Int Single Swing: 2'-6"		2'-6"	6'-8"

Window Schedule				
Level	Mark	Type	Egress	Tempered Glass
2ND FLOOR	W 1	3050 SH	Yes	No
2ND FLOOR	W 2	3050 SH	Yes	No
2ND FLOOR	W 3	3026 TWIN	No	Yes

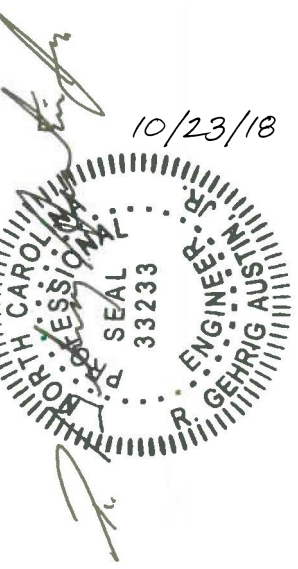
N1102.2.3 PROVIDE VERTICAL DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES WITH WEATHERSTRIPPING AND A MINIMUM R-5 INSULATED DOOR



① 1ST FLOOR
1/4" = 1'-0"



② 2ND FLOOR NEW
1/4" = 1'-0"



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PRODUCTION PLANS

Sheet Name
FLOOR PLAN

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SHEET
A-2