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**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 1201 Belgrave Place

**SUMMARY OF REQUEST:** Detached Garage

**OWNER/APPLICANT:** Tony Gray, applicant

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The application was continued from November for the following item:

- Provide a cross-section of the entire site with house and garage
- Provide updated elevations with materials deemed appropriate by the guidelines

### **Details of Proposed Request**

#### *Existing Context*

The main building is a 1.5 story Colonial Revival style brick house constructed in 1963. Architectural features include a full-width engaged front porch supported by round columns, and windows with an 8/12 muntin pattern. The addition of the three front dormers and the rear dormer were approved in 2004. The rear addition and sport court were approved in 2013.

#### *Project*

The project is the demolition of the existing two-vehicle carport constructed c. 2004 and the construction of a 1.5 story detached garage in the rear left corner of the property. The garage footprint measures approximately 24'-8" x 26'-4". The garage height is approximately 21'-8". Windows will be wood and exterior material requested is Hardie Artisan smooth lap siding. The front of the garage has a gabled dormer to coordinate with the house. Post-construction, the rear yard will be 59% pervious.

#### *Revised Proposal – December 12*

1. Cross-section of the entire site with house and garage
2. Streetscape view of house and garage
3. Updated elevations, including revised materials per guidelines and lowering the overall height of the garage from 23'-6" to 21'-8".
4. Rear yard open space calculations

### **Design Guidelines for Accessory Buildings, page 8.9**

1. Retain and repair historic outbuildings. Do not demolish existing historic outbuildings.
2. Place new outbuildings, such as garages or sheds, to the rear of lots that are large enough to accommodate them, following the applicable zoning requirements. New outbuildings cannot be located in front or side yards.
3. Design new outbuildings to be compatible with the style and character of the primary historic building on the site, especially in scale, elements and roof form. Any new outbuilding must be clearly secondary to the main structure on the site.

4. Stamped metal and vinyl doors are considered to be inappropriate materials for outbuildings, and are discouraged. For more information on appropriate new construction see Chapter 6.
5. Prefabricated outbuildings that are not in keeping with the historic character of the district are not allowed where visible from the public street.

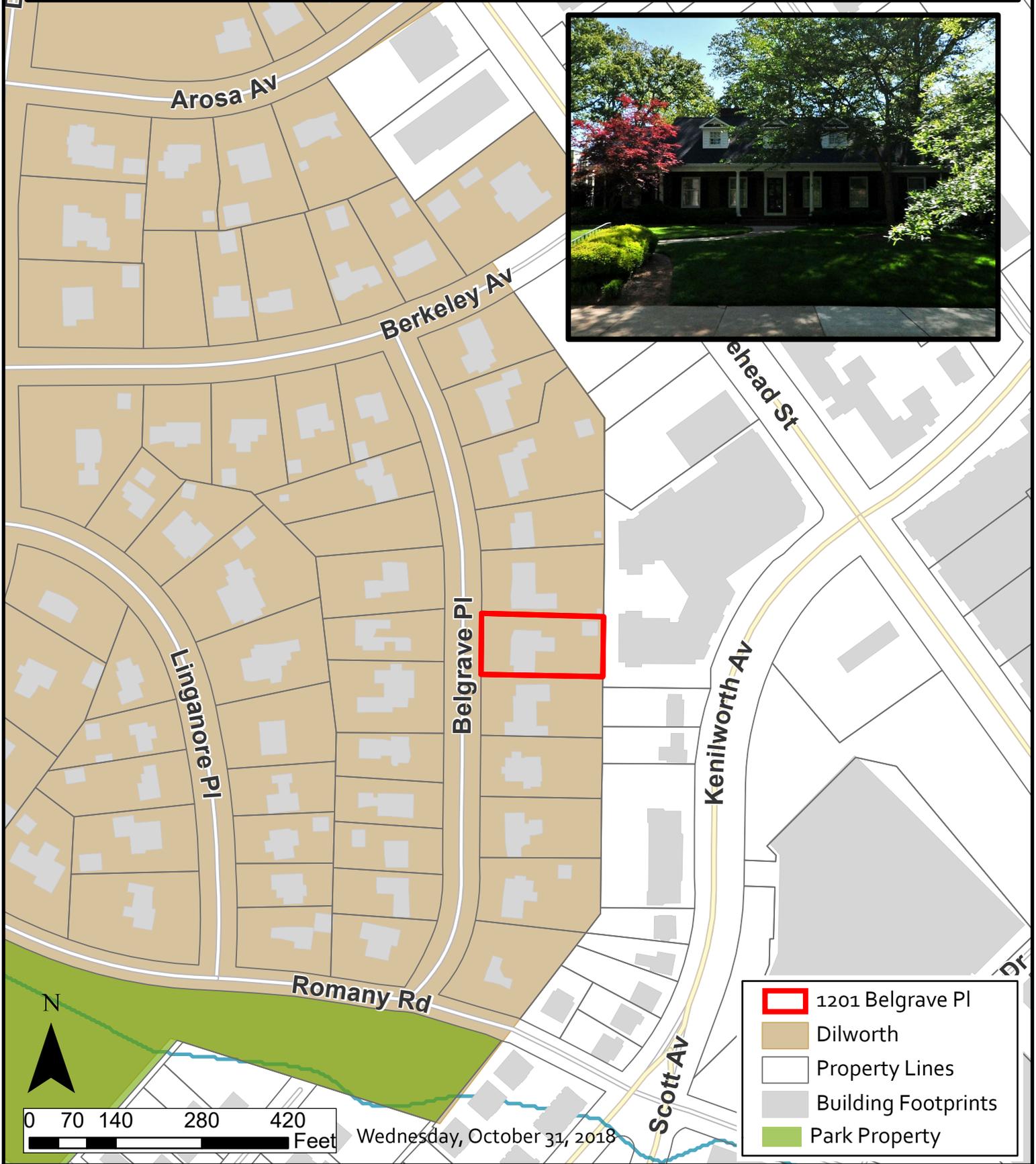
All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

### **Staff Recommendation**

1. The proposal is not incongruous with the District and meets the guidelines for accessory buildings.
2. Minor revisions may be reviewed by staff.

**Charlotte Historic District Commission Case 2018-00573**  
**HISTORIC DISTRICT: DILWORTH**  
**ACCESSORY BUILDING/ADU**



-  1201 Belgrave Pl
-  Dilworth
-  Property Lines
-  Building Footprints
-  Park Property



Existing side entry from driveway



Existing carport-  
Driveway View 2



Existing carport  
driveway view



**Existing Carport Gable End**



**Existing carport –street  
view 2**



**Existing Carport Street  
View**

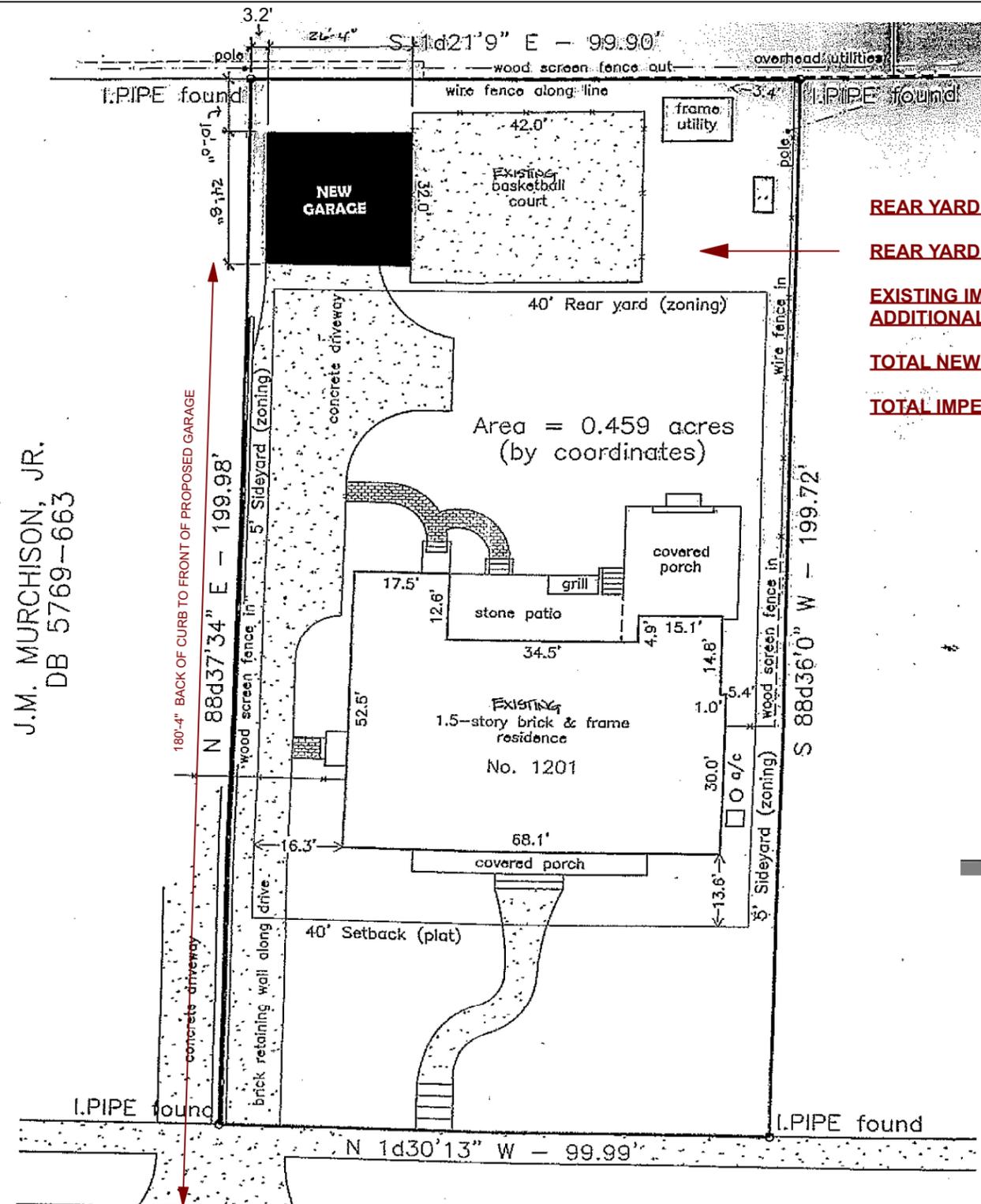


DECEMBER

MR. & MRS. BRICE TAYLOR  
GARAGE & BONUS ROOM  
1201 BELGRAVE PLACE  
CHARLOTTE, NC 28203



12/3/2018



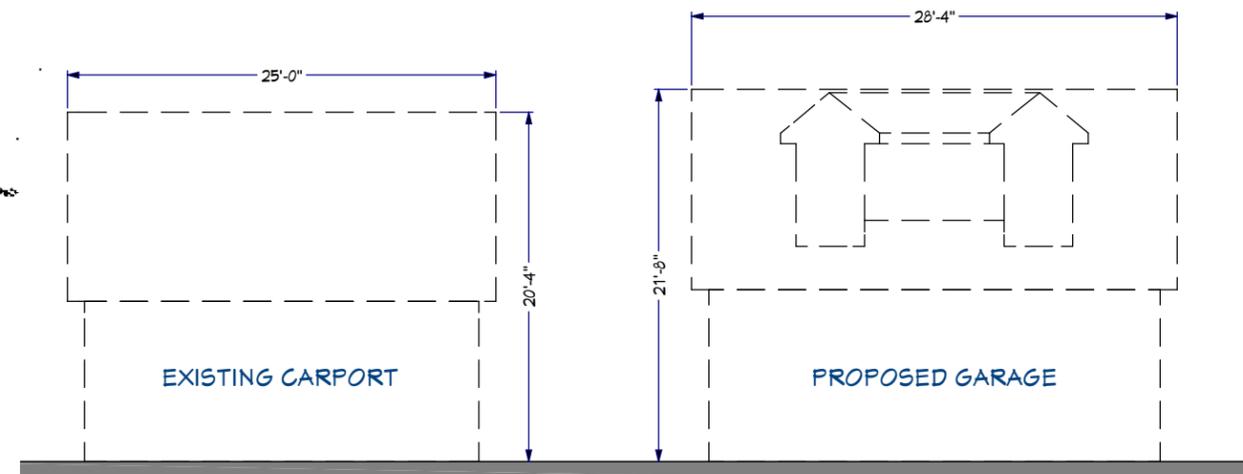
**REAR YARD IMPERVIOUS AREA CALCULATIONS**

REAR YARD = 9,470 s/f

EXISTING IMPERVIOUS AREA = 3,775 s/f  
ADDITIONAL IMPERVIOUS AREA = + 140 s/f

TOTAL NEW IMPERVIOUS AREA = 3,915 s/f

TOTAL IMPERVIOUS AREA = 41%



J.M. MURCHISON, JR.  
DB 5769-663

**BELGRAVE PLACE**  
60' Public R/W

SITE PLAN

**PROPERTY INFO:**

**ADDRESS:**  
1201 Belgrave Place  
Charlotte, NC 28203

**PARCEL ID:**  
12310306

**ZONING:**  
R-4

**SETBACKS:**  
FRONT - 40'-0"  
REAR - 40'-0"  
SIDES - 5'-0"

**SHEET INDEX:**

- A-1 TITLE SHEET / SITE PLAN
- A-2 PROPOSED FLOOR PLAN - GARAGE LEVEL
- A-3 PROPOSED FLOOR PLAN - 2ND LEVEL
- A-4 BUILDING SECTION AT STAIR
- A-5 BUILDING SECTION AT GABLE DORMER
- A-6 BUILDING SECTION AT SHED DORMER
- A-7 FRONT ELEVATION
- A-8 REAR ELEVATION
- A-9 LEFT SIDE ELEVATION
- A-10 RIGHT SIDE ELEVATION
- A-11 EXTERIOR PERSPECTIVES
- A-12 EXTERIOR PERSPECTIVES
- A-13 TOPOGRAPHIC DIAGRAMS

SHEET TITLE:  
TITLE SHEET  
& SITE PLAN



Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:  
12/3/2018

SCALE:

SHEET:  
**A-1**

**GENERAL NOTES:**

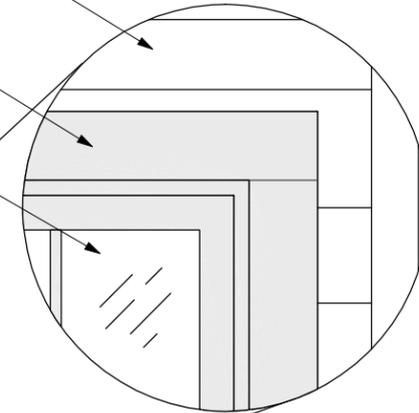
1. ALL WINDOWS TO HAVE SIMULATED DIVIDED LIGHTS
2. ALL TRIM DETAILS TO MATCH EXISTING RESIDENCE
3. LAP SIDING TO BE JAMES HARDI SMOOTH ARTISAN
4. VENTED SOFFIT DETAIL TO MATCH EXISTING RESIDENCE

**NOVEMBER**

JAMES HARDI SMOOTH ARTISAN LAP SIDING

1x4 FLAT CASING - PAINTED

JELD WEN AUROLAST PINE WINDOWS



12:12 PITCH ON MAIN ROOF

3:12 PITCH ON SHED DORMER

123'-6"  
TOP OF RIDGE

10:12 PITCH ON DORMER

TIMBERLINE ULTRA HD  
ARCH. SHINGLES - "CHARCOAL"  
TO MATCH EXISTING HOUSE

JAMES HARDI  
SMOOTH ARTISAN LAP SIDING  
TO MATCH EXISTING HOUSE  
PAINTED - BENJAMIN MOORE  
"CLASSIC GRAY" - 1548

110'-8 3/4"  
2ND FLOOR SUBFLOOR

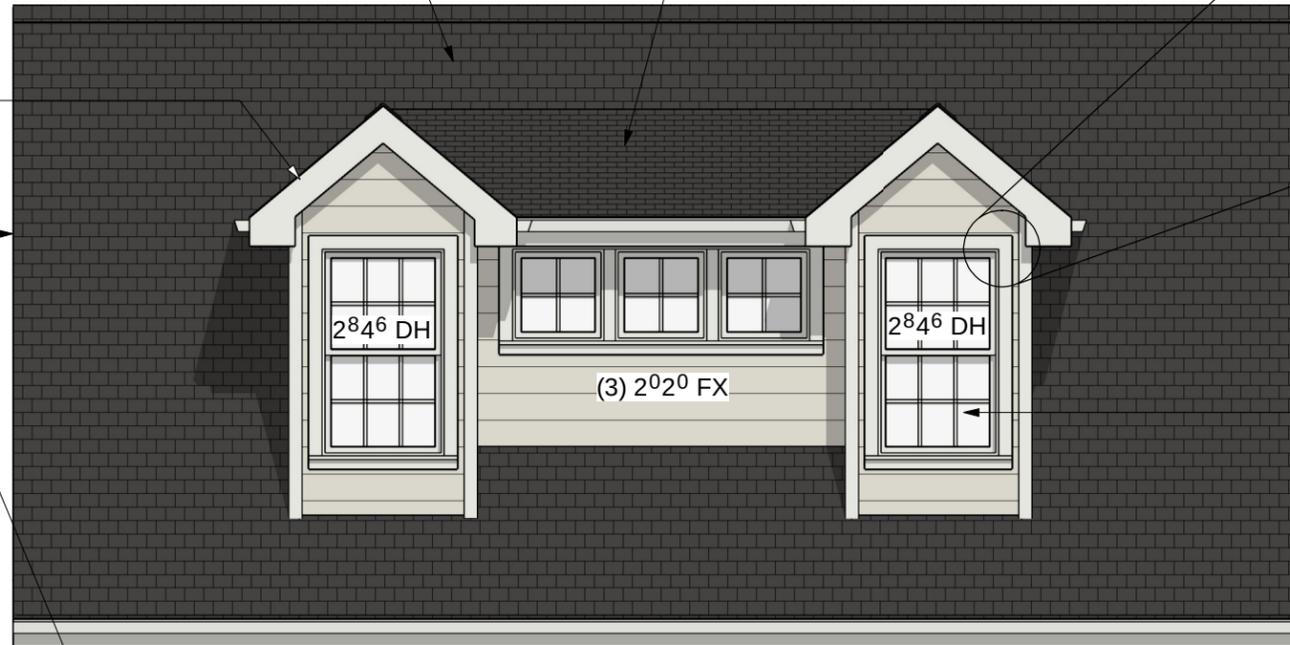
109'-4"  
1ST FLOOR BEARING

EXISTING WOOD  
PRIVACY FENCE

BRICK FOUNDATION  
BORAL BRICK - VINTAGE MATTE  
TO MATCH EXISTING

101'-4"  
MASONRY

100'-0"  
T.O.S.



JELD WEN AUROLAST PINE DOUBLE HUNG WINDOWS W/ SDL  
PAINTED BENJAMIN MOORE "OXFORD WHITE" 869, TYP.

VENTED FIBER CEMENT FASCIA, BOXING, SOFFIT, ETC...  
TO MATCH EXISTING MAIN RESIDENCE  
PAINTED BENJAMIN MOORE "OXFORD WHITE" 869

THERMA-TRU FIBERGLASS 1/2 LITE DOOR  
PAINTED BENJAMIN MOORE "GUNMETAL" 1602

BRICK STOOP +4"  
GARAGE F.F.E.

EXISTING SPORT COURT

PELLA COLESBURG 4 LITE GARAGE DOOR  
PAINTED BENJAMIN MOORE "OXFORD WHITE" 869

**1 | FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



11/7/2018

SHEET TITLE:  
**FRONT EXTERIOR  
ELEVATION**



Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:

11/7/2018

SCALE:

1/4" = 1'-0"

SHEET:

**A-5**

**GENERAL NOTES:**

1. ALL WINDOWS TO HAVE SIMULATED DIVIDED LIGHTS
2. ALL TRIM DETAILS TO MATCH EXISTING RESIDENCE
3. LAP SIDING TO BE JAMES HARDI SMOOTH ARTISAN
4. VENTED SOFFIT DETAIL TO MATCH EXISTING RESIDENCE

# DECEMBER

JAMES HARDI SMOOTH ARTISAN LAP SIDING

1x4 FLAT CASING - PAINTED

JELD WEN AUROLAST PINE WINDOWS

11:12 PITCH ON MAIN ROOF

3:12 PITCH ON SHED DORMER

10:12 PITCH ON DORMER

TIMBERLINE ULTRA HD ARCH. SHINGLES - "CHARCOAL" TO MATCH EXISTING HOUSE

JAMES HARDI SMOOTH ARTISAN LAP SIDING TO MATCH EXISTING HOUSE PAINTED - BENJAMIN MOORE "CLASSIC GRAY" - 1548

121'-8" TOP OF RIDGE

110'-8 3/4" 2ND FLOOR SUBFLOOR

109'-4" 1ST FLOOR BEARING

EXISTING WOOD PRIVACY FENCE

BRICK FOUNDATION BORAL BRICK - VINTAGE MATTE TO MATCH EXISTING

101'-4" MASONRY

100'-0" T.O.S.



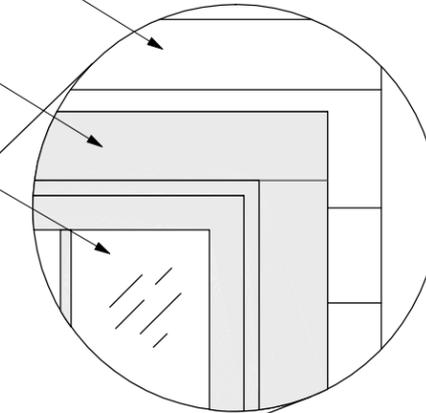
JELD WEN AUROLAST PINE DOUBLE HUNG WINDOWS W/ SDL PAINTED BENJAMIN MOORE "OXFORD WHITE" 869, TYP.

VENTED FIBER CEMENT FASCIA, BOXING, SOFFIT, E TO MATCH EXISTING MAIN RESIDENCE PAINTED BENJAMIN MOORE "OXFORD WHITE" 869

THERMA-TRU WOOD 1/2 LITE DOOR PAINTED BENJAMIN MOORE "OXFORD WHITE" 869

BRICK STOOP +4" GARAGE F.F.E. EXISTING SPORT COURT

WOOD GARAGE DOOR PAINTED BENJAMIN MOORE "OXFORD WHITE" 869



12/3/2018

SHEET TITLE: FRONT EXTERIOR ELEVATION



Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

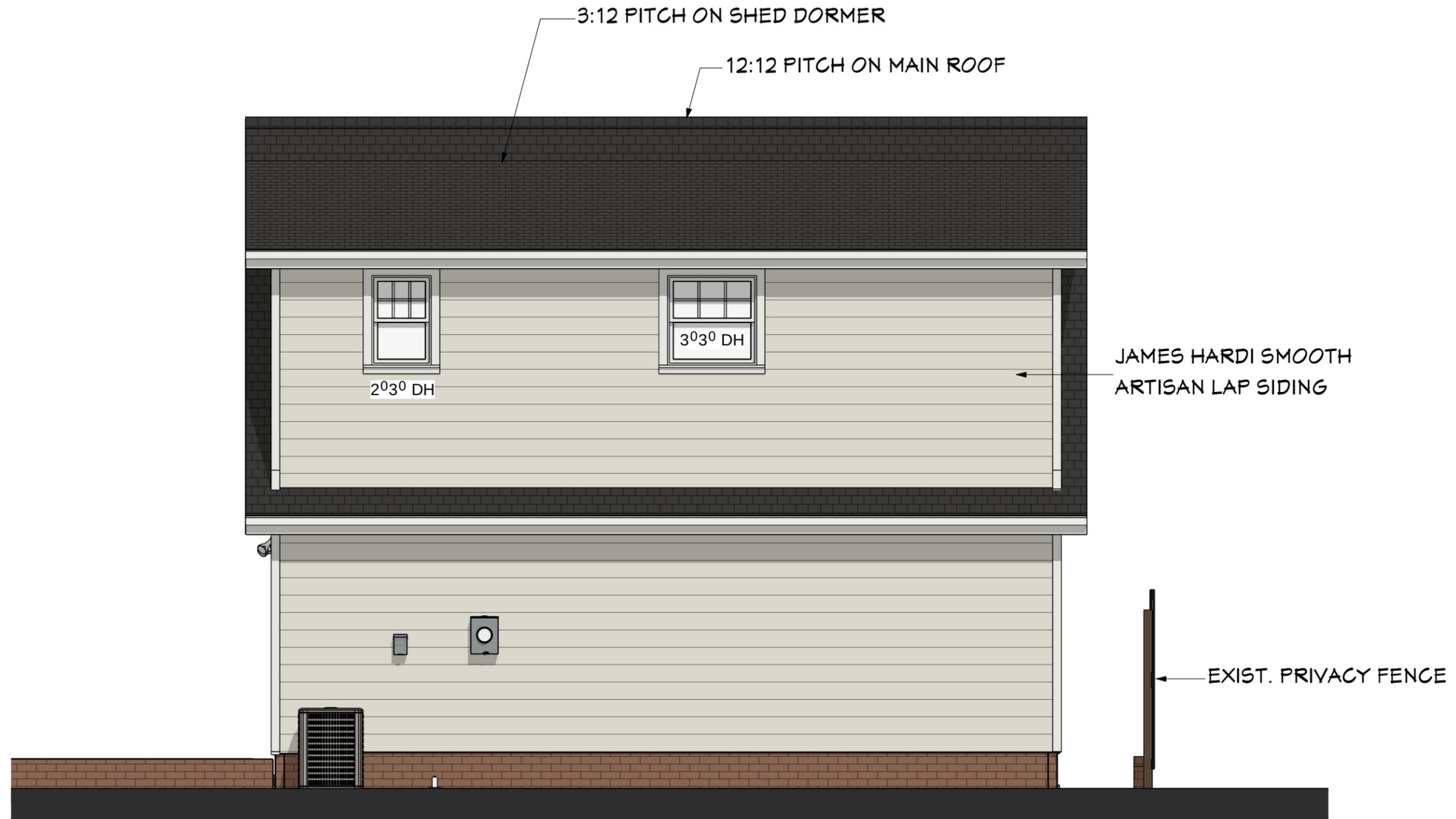
DATE:  
12/3/2018

SCALE:  
1/4" = 1'-0"

SHEET:  
A-7

**1 | FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

# NOVEMBER



11/7/2018

SHEET TITLE:  
REAR EXTERIOR  
ELEVATION



Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:

11/7/2018

SCALE:

1/4" = 1'-0"

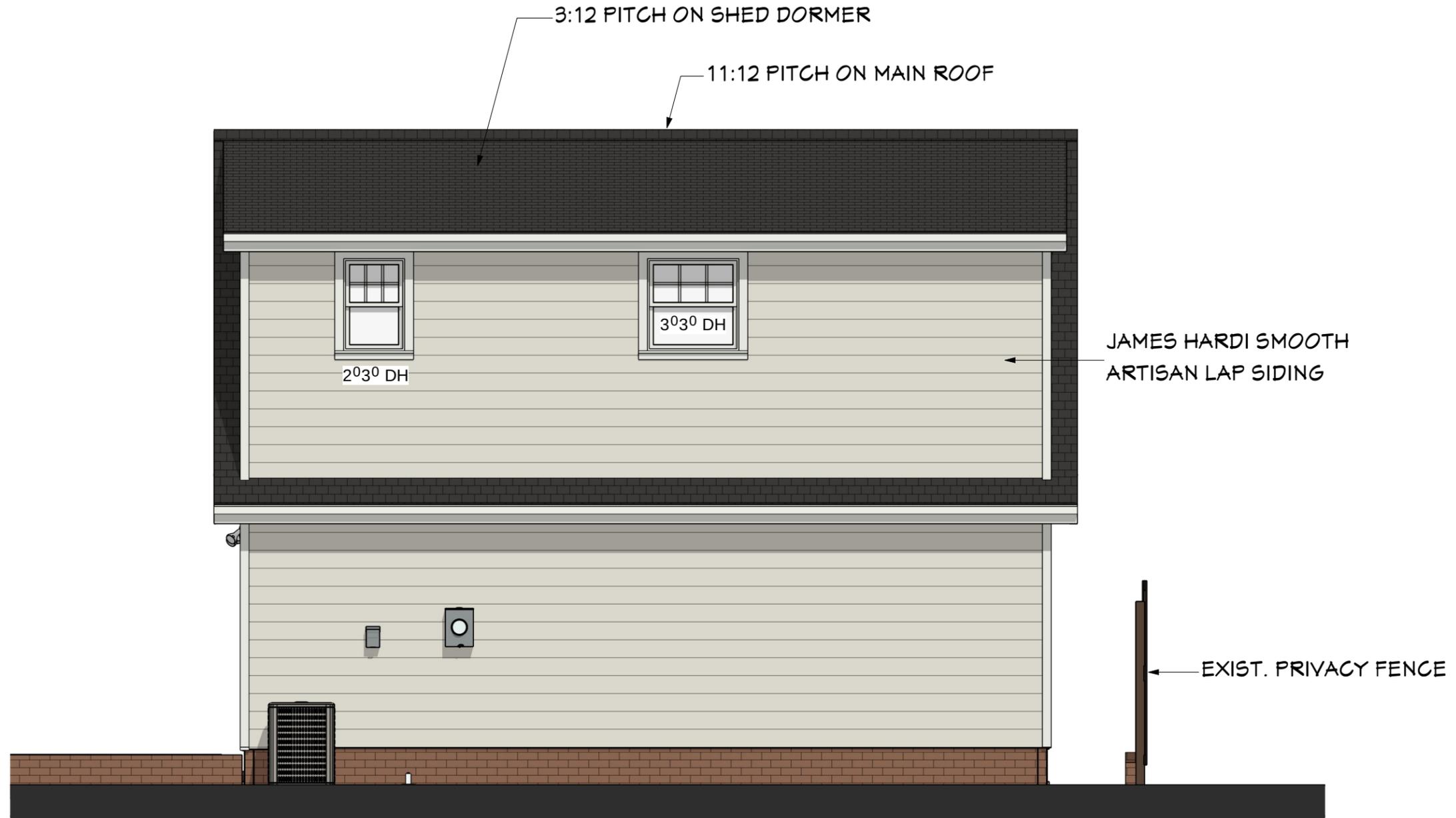
SHEET:

**A-6**

**1 | REAR ELEVATION**

SCALE: 1/4" = 1'-0"

# DECEMBER



## 1 | REAR ELEVATION

SCALE: 1/4" = 1'-0"



12/3/2018

SHEET TITLE:  
REAR EXTERIOR  
ELEVATION

gray design  
architecture, pa.

Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:

12/3/2018

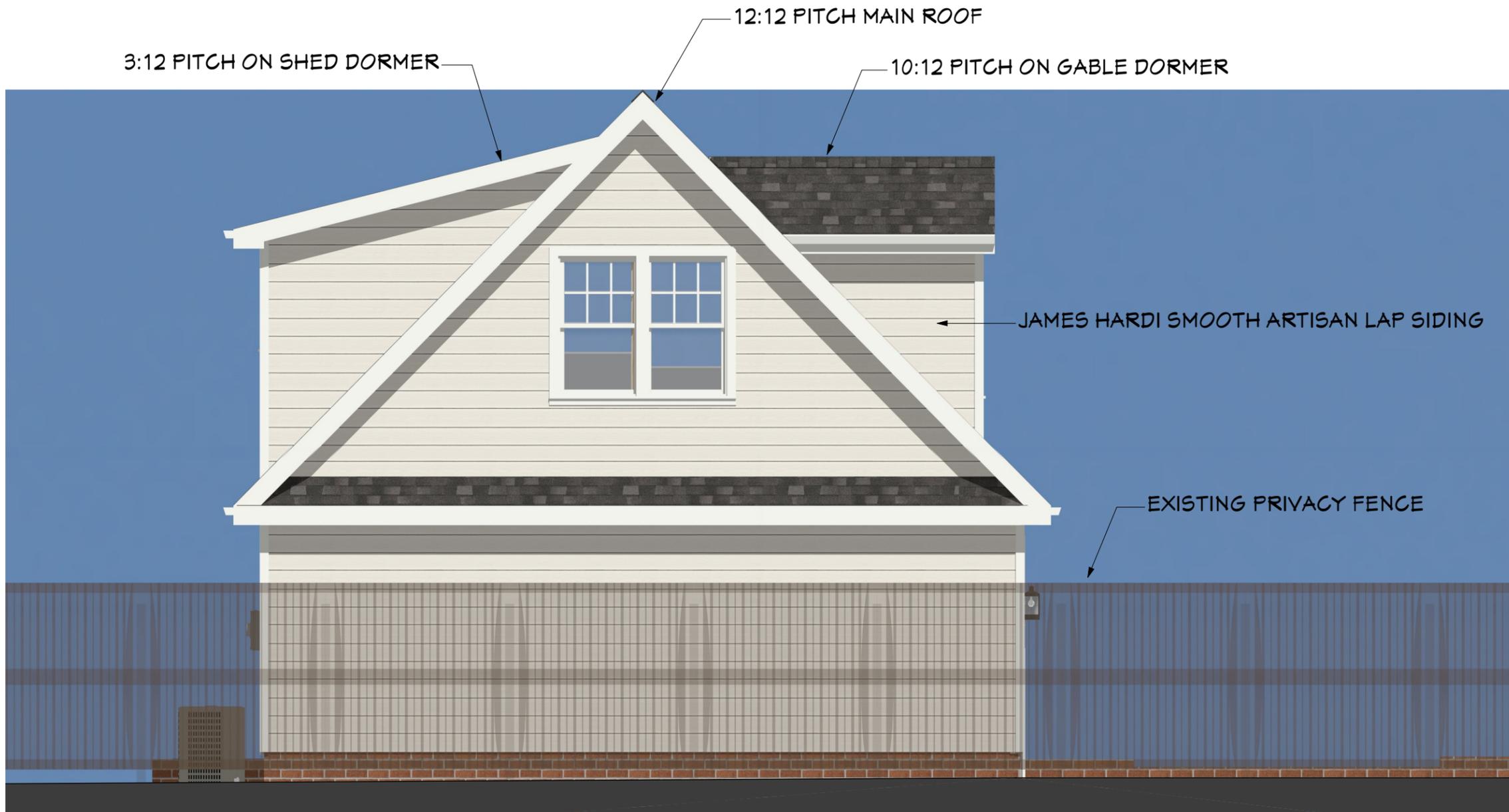
SCALE:

1/4" = 1'-0"

SHEET:

A-8

# NOVEMBER



1 | LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



11/7/2018

SHEET TITLE:  
LEFT EXTERIOR  
ELEVATION



Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:

11/7/2018

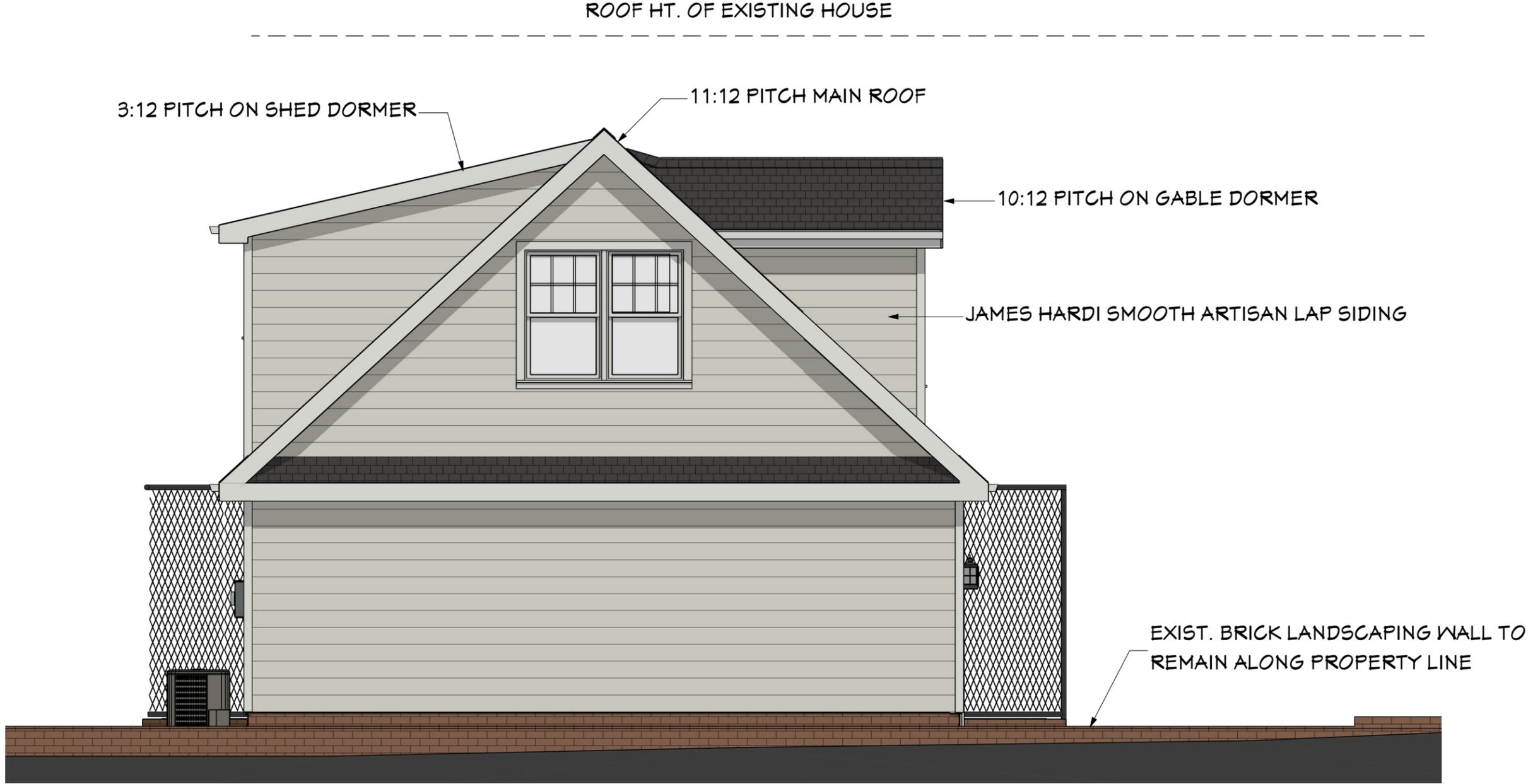
SCALE:

1/4" = 1'-0"

SHEET:

A-7

DECEMBER



12/3/2018

SHEET TITLE:  
LEFT EXTERIOR  
ELEVATION



Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:

12/3/2018

SCALE:

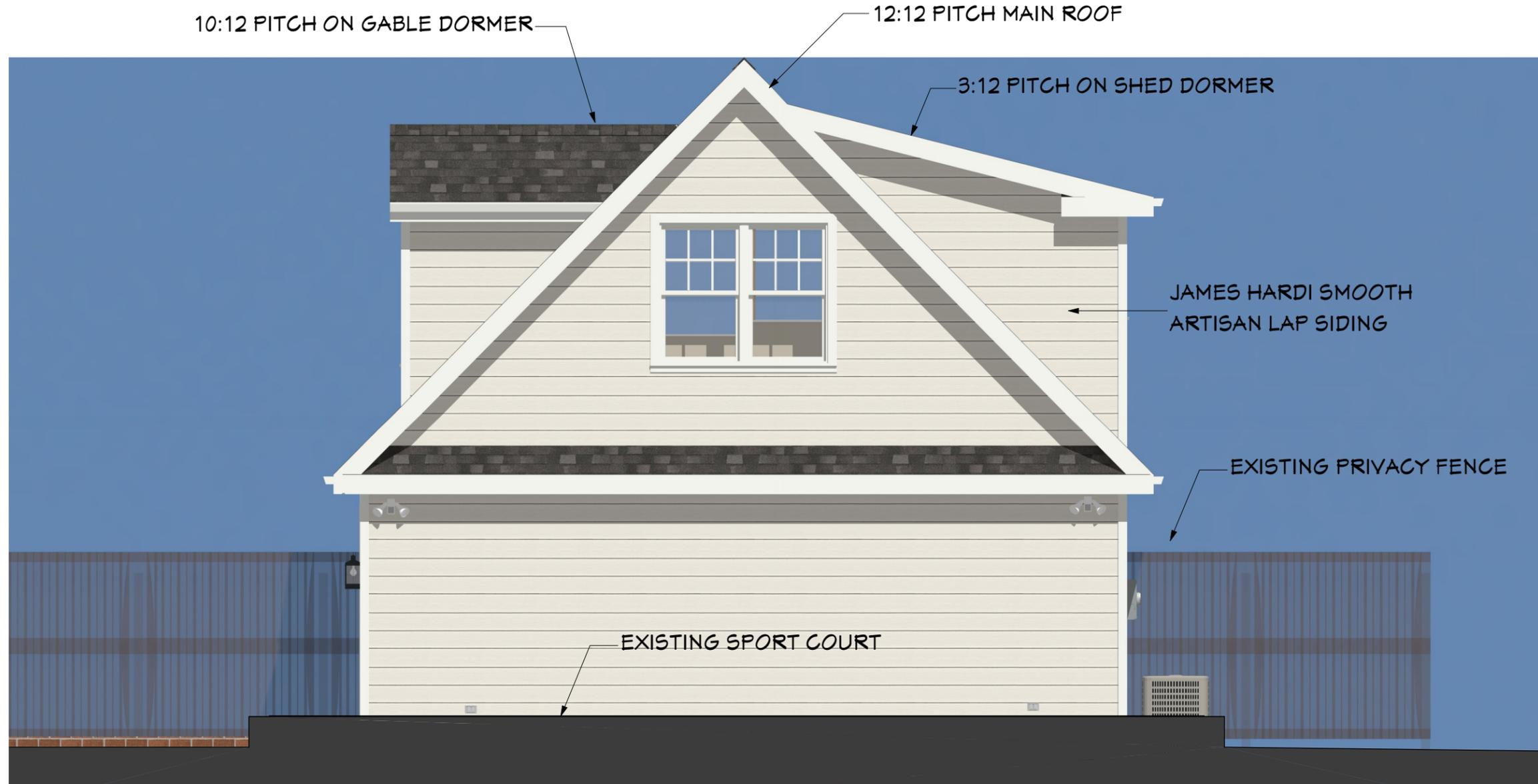
1/4" = 1'-0"

SHEET:

A-9

1 | LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

# NOVEMBER



11/7/2018

SHEET TITLE:  
**RIGHT EXTERIOR  
ELEVATION**



Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:

11/7/2018

SCALE:

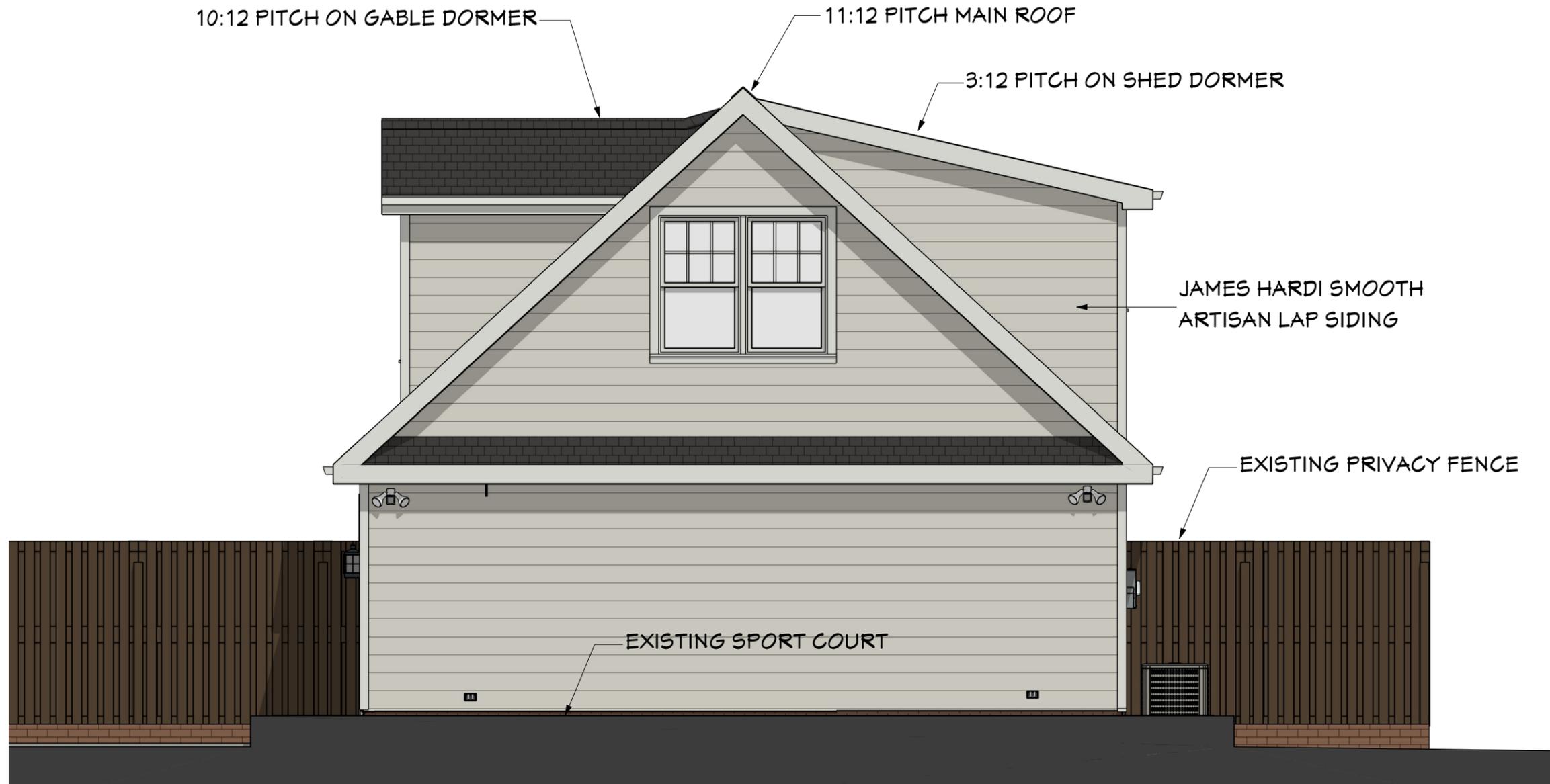
1/4" = 1'-0"

SHEET:

**A-8**

**1 | RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

DECEMBER



12/3/2018

SHEET TITLE:  
RIGHT EXTERIOR  
ELEVATION



Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:

12/3/2018

SCALE:

1/4" = 1'-0"

SHEET:

A-10

1 | RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

# NOVEMBER



11/7/2018

SHEET TITLE:  
EXTERIOR  
PERSPECTIVES

gray design  
architecture, pa.

Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:

11/7/2018

SCALE:

SHEET:

A-9

# DECEMBER



12/3/2018

SHEET TITLE:  
EXTERIOR  
PERSPECTIVES

gray design  
architecture, pa.

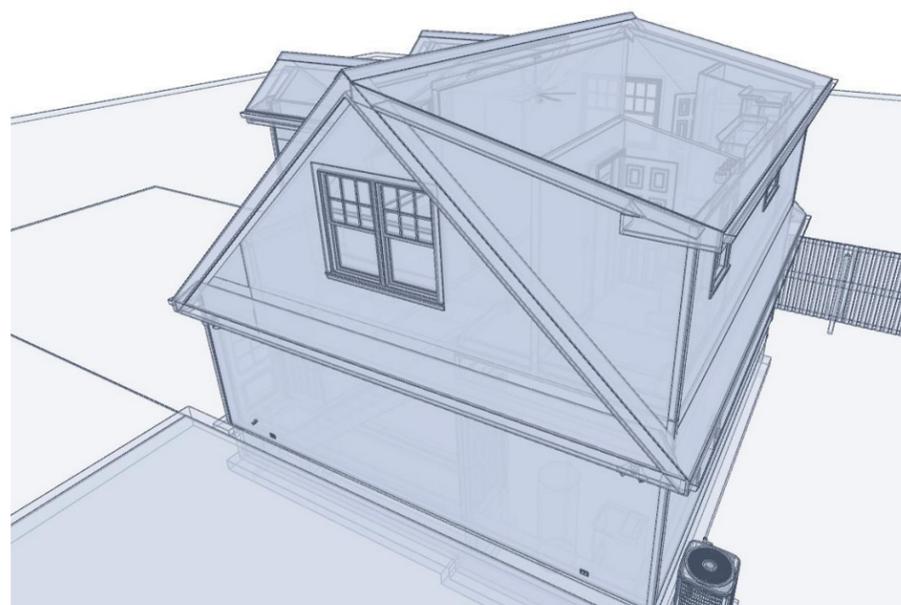
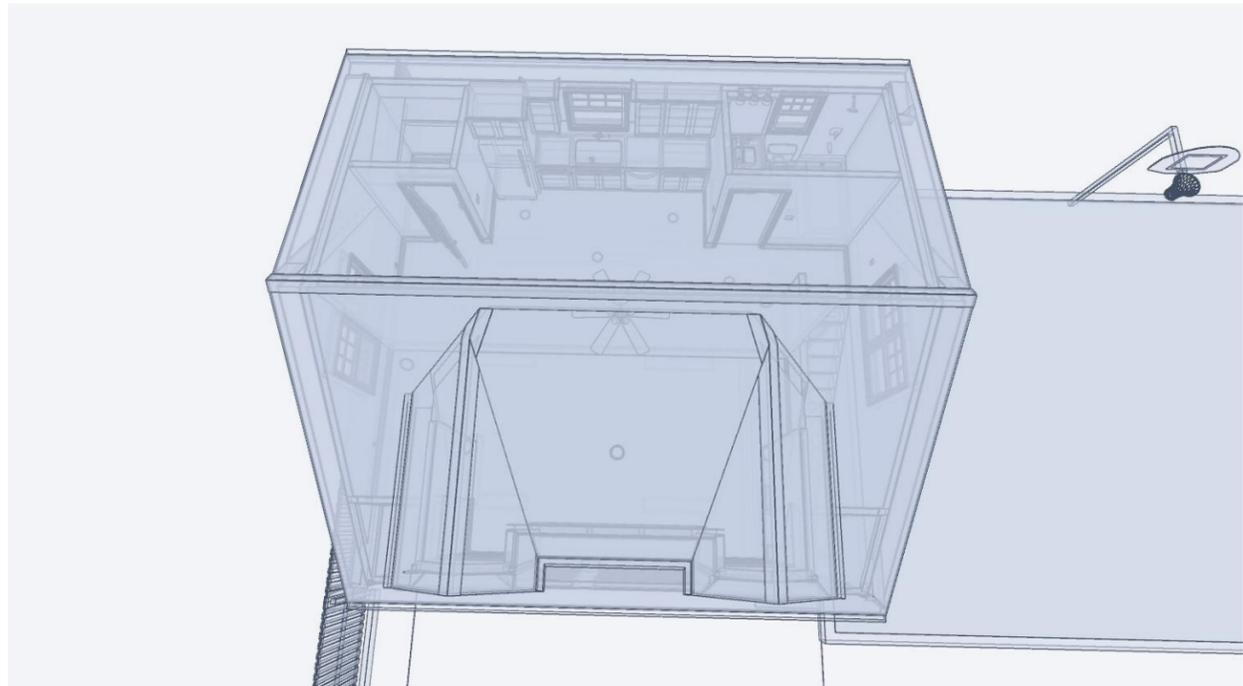
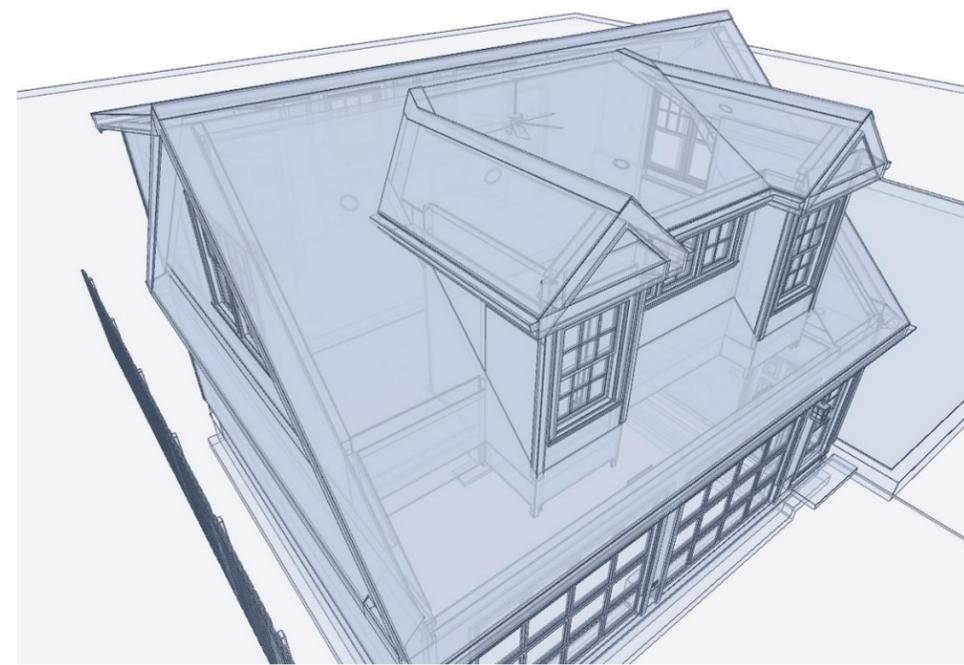
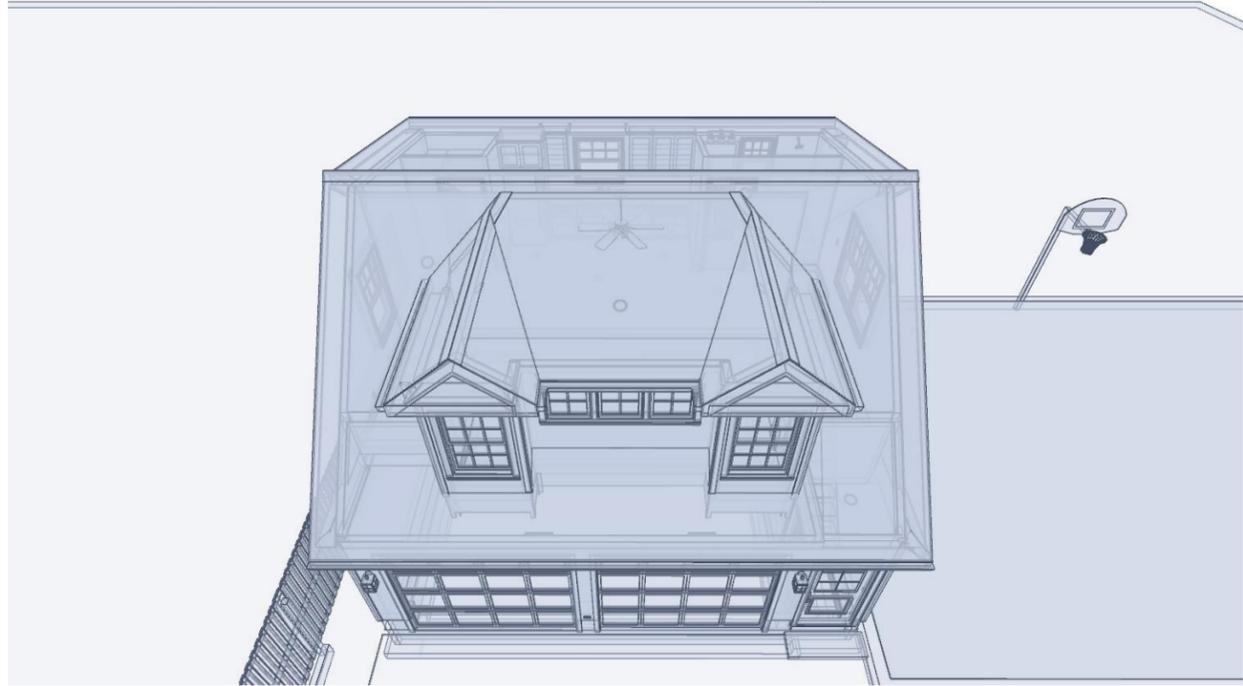
Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:  
12/3/2018

SCALE:

SHEET:

**A-11**



12/3/2018

SHEET TITLE:  
**EXTERIOR  
 PERSPECTIVES**



Mr. & Mrs. Brice Taylor  
 1201 Belgrave Place  
 Charlotte, NC 28203

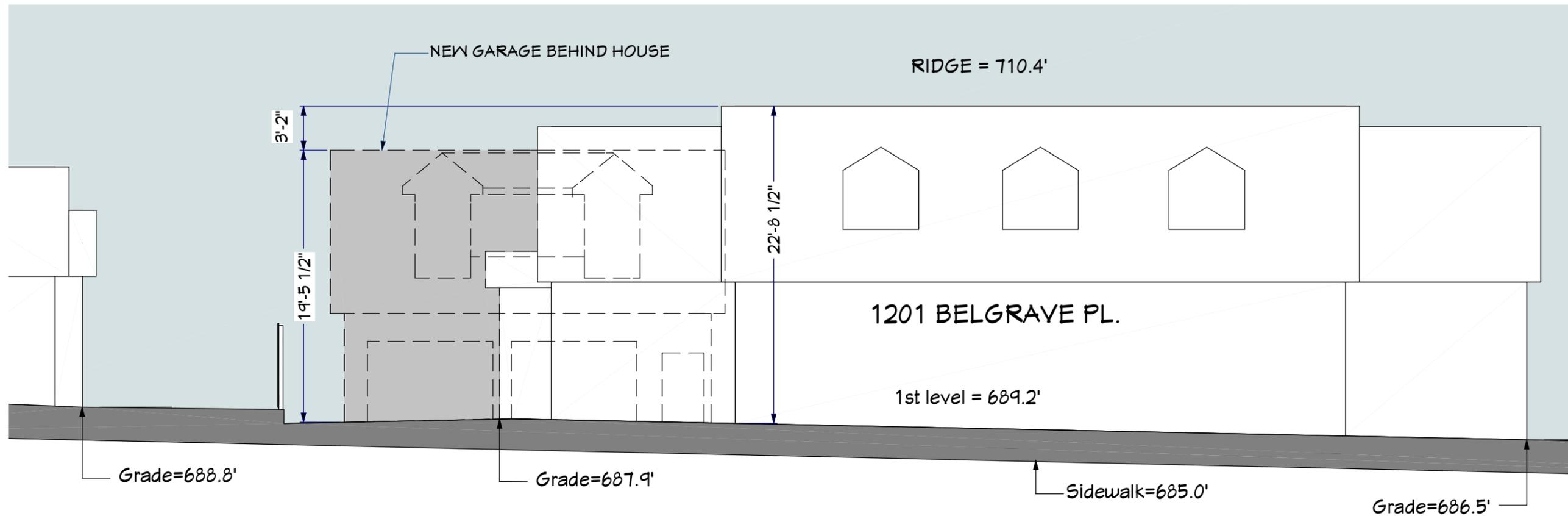
DATE:

12/3/2018

SCALE:

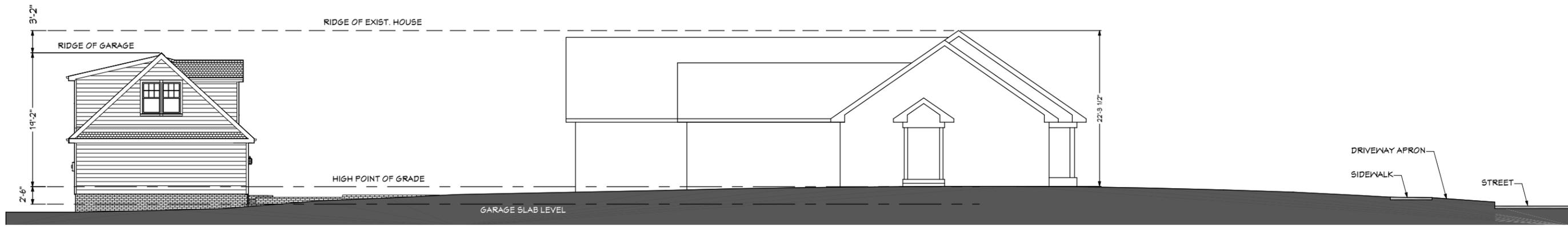
SHEET:

**A-12**



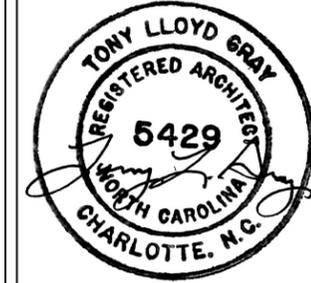
1 | STREET VIEW DIAGRAM

SCALE: 1/8" = 1'-0"



2 | PROPERTY CROSS SECTION DIAGRAM

SCALE: 1" = 15'-0"



12/3/2018

SHEET TITLE:  
TOPOGRAPHIC  
DIAGRAMS



Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:  
12/3/2018

SCALE:  
VARIES

SHEET:

A-13



12/3/2018

SHEET TITLE:  
BUILDING SECTION  
AT SHED DORMER

gray design  
architecture, pa.

Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:  
12/3/2018

SCALE:  
3/8" = 1'-0"

SHEET:  
A-6

**NOTE:**  
1. ATTIC ACCESS NOT REQUIRED PER SECTION R807 OF NCRBC 2012. VERTICAL HEIGHT DOES NOT EXCEED 60" INSIDE ATTIC SPACE (ACTUAL ATTIC SPACE IS 44").

**NOTE:** 3:12 SLOPE ROOF REQUIRES (2) LAYERS OF SNOW / ICE BARRIER UNDERLAYMENT INSTALLED ACCORDING TO R405.2.1. ALL ASPHALT SHINGLES TO BE INSTALLED PER R405.2

121'-8"  
TOP OF RIDGE

118'-8 3/4"  
2ND FLOOR BEARING

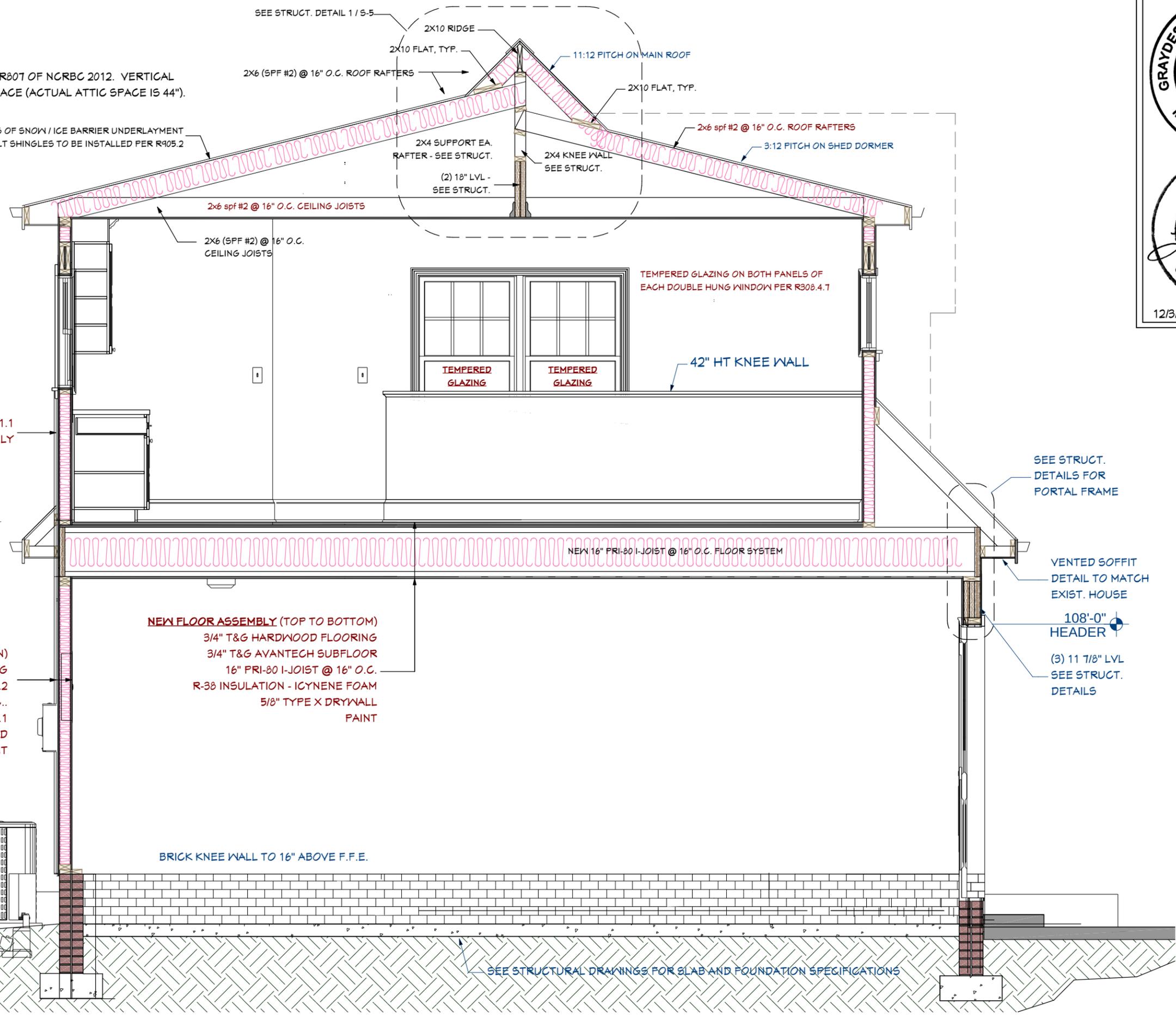
110'-8 3/4"  
2ND FLOOR SUBFLOOR

109'-4"  
1ST FLOOR BEARING

**NEW WALL ASSEMBLY (OUT TO IN)**  
FIBER CEMENT LAP SIDING  
WATER RESISTIVE BARRIER PER R703.2  
2X4 SYP WD STUD @ 16" O.C..  
R15 FIBERGLASS BATT INSULATION PER N402.1.1  
1/2" GYPSUM WALLBOARD  
LATEX PAINT

101'-4"  
MASONRY

100'-0"  
T.O.S.



SEE STRUCTURAL DRAWINGS FOR SLAB AND FOUNDATION SPECIFICATIONS



12/3/2018

SHEET TITLE:  
BUILDING SECTION  
AT GABLE DORMER



Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:  
12/3/2018

SCALE:  
3/8" = 1'-0"

SHEET:  
**A-5**

121'-8"  
TOP OF RIDGE

**NOTE:**  
1. ATTIC ACCESS NOT REQUIRED PER SECTION R807 OF NGRBC 2012. VERTICAL HEIGHT DOES NOT EXCEED 60" INSIDE ATTIC SPACE (ACTUAL ATTIC SPACE IS 44").

**NOTE:** 3:12 SLOPE ROOF REQUIRES (2) LAYERS OF SNOW / ICE BARRIER UNDERLAYMENT INSTALLED ACCORDING TO R905.2.1. ALL ASPHALT SHINGLES TO BE INSTALLED PER R905.2

118'-8 3/4"  
2ND FLOOR BEARING

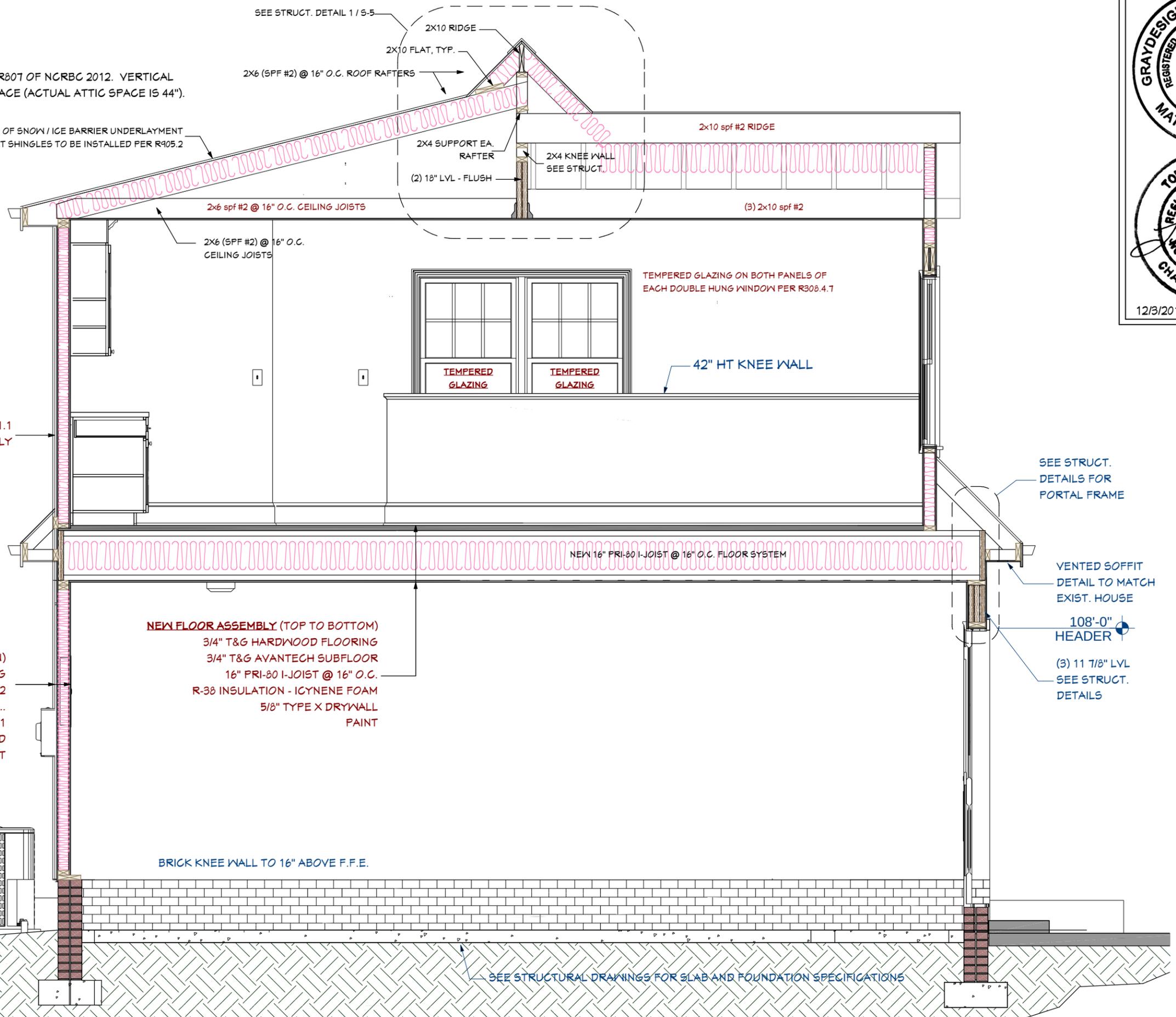
110'-8 3/4"  
2ND FLOOR SUBFLOOR

109'-4"  
1ST FLOOR BEARING

**NEW WALL ASSEMBLY (OUT TO IN)**  
FIBER CEMENT LAP SIDING  
WATER RESISTIVE BARRIER PER R703.2  
2X4 SYP WD STUD @ 16" O.C..  
R15 FIBERGLASS BATT INSULATION PER N402.1.1  
1/2" GYPSUM WALLBOARD  
LATEX PAINT

101'-4"  
MASONRY

100'-0"  
T.O.S.



SEE STRUCT. DETAIL 1/5-5

2X10 RIDGE

2X10 FLAT, TYP.

2X6 (SPF #2) @ 16" O.C. ROOF RAFTERS

2X4 SUPPORT EA. RAFTER

(2) 18" LVL - FLUSH

2x10 spf #2 RIDGE

2x6 spf #2 @ 16" O.C. CEILING JOISTS

(3) 2x10 spf #2

2X6 (SPF #2) @ 16" O.C. CEILING JOISTS

TEMPERED GLAZING ON BOTH PANELS OF EACH DOUBLE HUNG WINDOW PER R308.4.1

42" HT KNEE WALL

TEMPERED GLAZING

TEMPERED GLAZING

SEE STRUCT. DETAILS FOR PORTAL FRAME

VENTED SOFFIT DETAIL TO MATCH EXIST. HOUSE

108'-0" HEADER

(3) 11 7/8" LVL SEE STRUCT. DETAILS

**NEW FLOOR ASSEMBLY (TOP TO BOTTOM)**  
3/4" T&G HARDWOOD FLOORING  
3/4" T&G AVANTECH SUBFLOOR  
16" PRI-80 I-JOIST @ 16" O.C.  
R-38 INSULATION - ICYNENE FOAM  
5/8" TYPE X DRYWALL  
PAINT

NEW 16" PRI-80 I-JOIST @ 16" O.C. FLOOR SYSTEM

BRICK KNEE WALL TO 16" ABOVE F.F.E.

SEE STRUCTURAL DRAWINGS FOR SLAB AND FOUNDATION SPECIFICATIONS

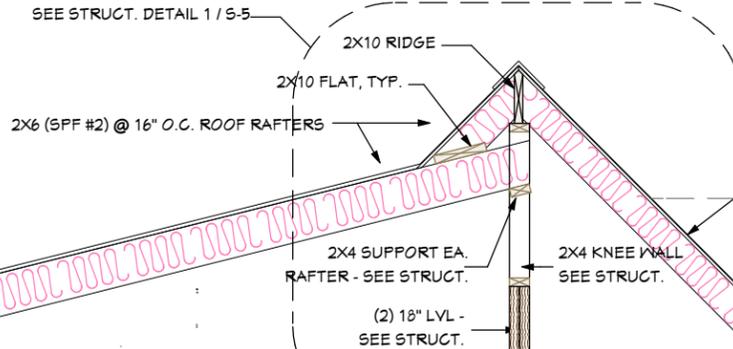
121'-8"  
TOP OF RIDGE

**NOTE:**

1. ATTIC ACCESS NOT REQUIRED PER SECTION R807 OF NGRBC 2012. VERTICAL HEIGHT DOES NOT EXCEED 60" INSIDE ATTIC SPACE (ACTUAL ATTIC SPACE IS 44").

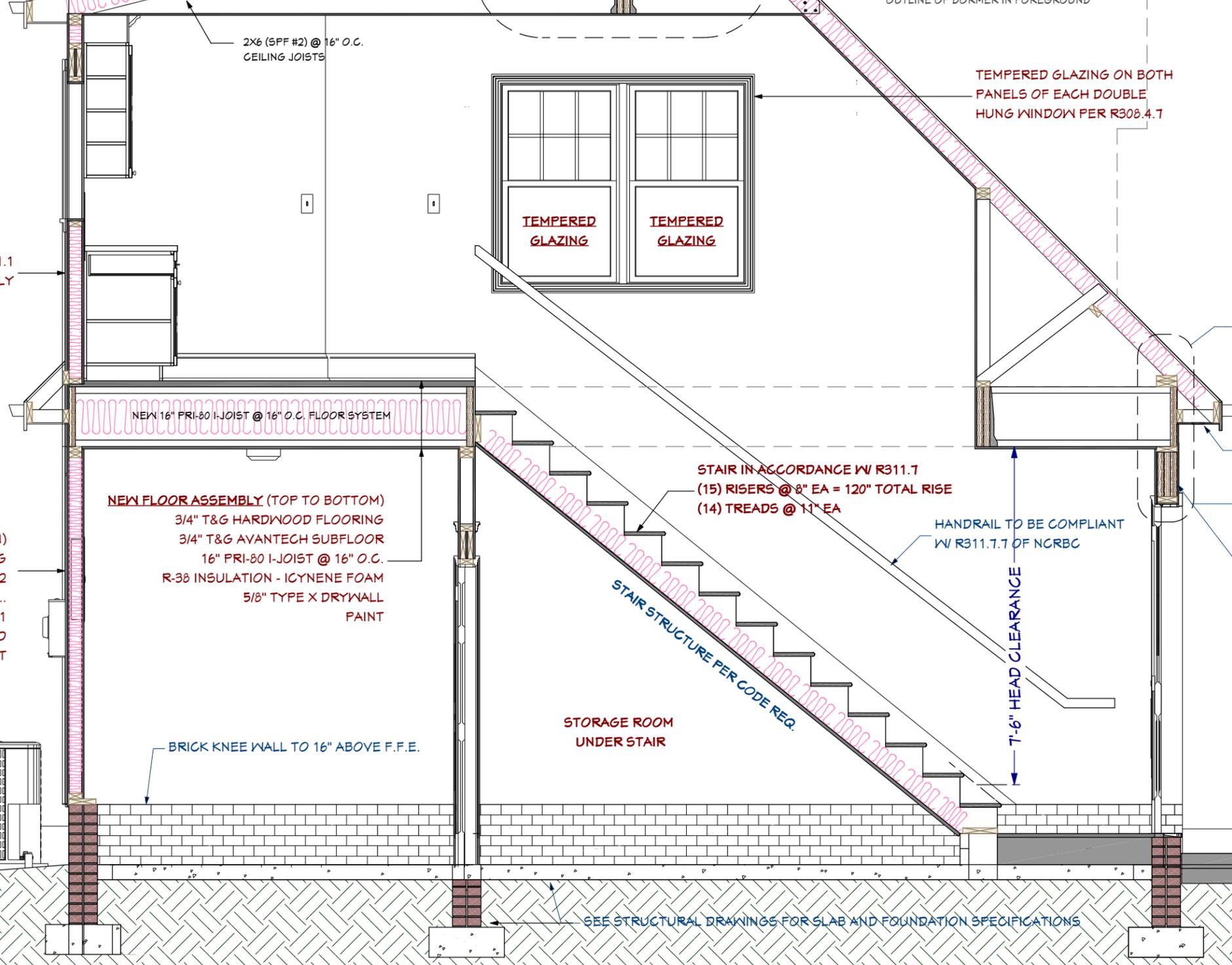
**NOTE:** 3:12 SLOPE ROOF REQUIRES (2) LAYERS OF SNOW / ICE BARRIER UNDERLAYMENT INSTALLED ACCORDING TO R405.2.7. ALL ASPHALT SHINGLES TO BE INSTALLED PER R405.2

118'-8 3/4"  
2ND FLOOR BEARING



**NEW ROOF ASSEMBLY (OUTSIDE TO INSIDE)**  
 TIMBERLINE HD ARCHITECTURAL SHINGLES  
 ROOFING FELT  
 ROOF SHEATHING  
 SPF #2 2X6 @ 16" O.C. RAFTERS  
 R-38 INSULATION - ICYNENE FOAM  
 5/8" GWB (PAINTED)

OUTLINE OF DORMER IN FOREGROUND



TEMPERED GLAZING ON BOTH PANELS OF EACH DOUBLE HUNG WINDOW PER R308.4.7

TEMPERED GLAZING

R15 ICYNENE FOAM INSULATION PER N402.1.1  
UPPER LEVEL WALLS ONLY

110'-8 3/4"  
2ND FLOOR SUBFLOOR

109'-4"  
1ST FLOOR BEARING

**NEW FLOOR ASSEMBLY (TOP TO BOTTOM)**  
 3/4" T&G HARDWOOD FLOORING  
 3/4" T&G AVANTECH SUBFLOOR  
 16" PRI-80 I-JOIST @ 16" O.C.  
 R-38 INSULATION - ICYNENE FOAM  
 5/8" TYPE X DRYWALL  
 PAINT

STAIR IN ACCORDANCE W/ R311.7  
 (15) RISERS @ 8" EA = 120" TOTAL RISE  
 (14) TREADS @ 11" EA

HANDRAIL TO BE COMPLIANT W/ R311.7.7 OF NCRBC

SEE STRUCT. DETAILS FOR PORTAL FRAME

VENTED SOFFIT  
DETAIL TO MATCH EXIST. HOUSE

108'-0"  
HEADER

(3) 11 7/8" LVL  
SEE STRUCT. DETAILS

101'-4"  
MASONRY

100'-0"  
T.O.S.

BRICK KNEE WALL TO 16" ABOVE F.F.E.

STAIR STRUCTURE PER CODE REQ.

STORAGE ROOM UNDER STAIR

7'-6" HEAD CLEARANCE

SEE STRUCTURAL DRAWINGS FOR SLAB AND FOUNDATION SPECIFICATIONS



12/3/2018

SHEET TITLE:  
BUILDING SECTION  
AT STAIR

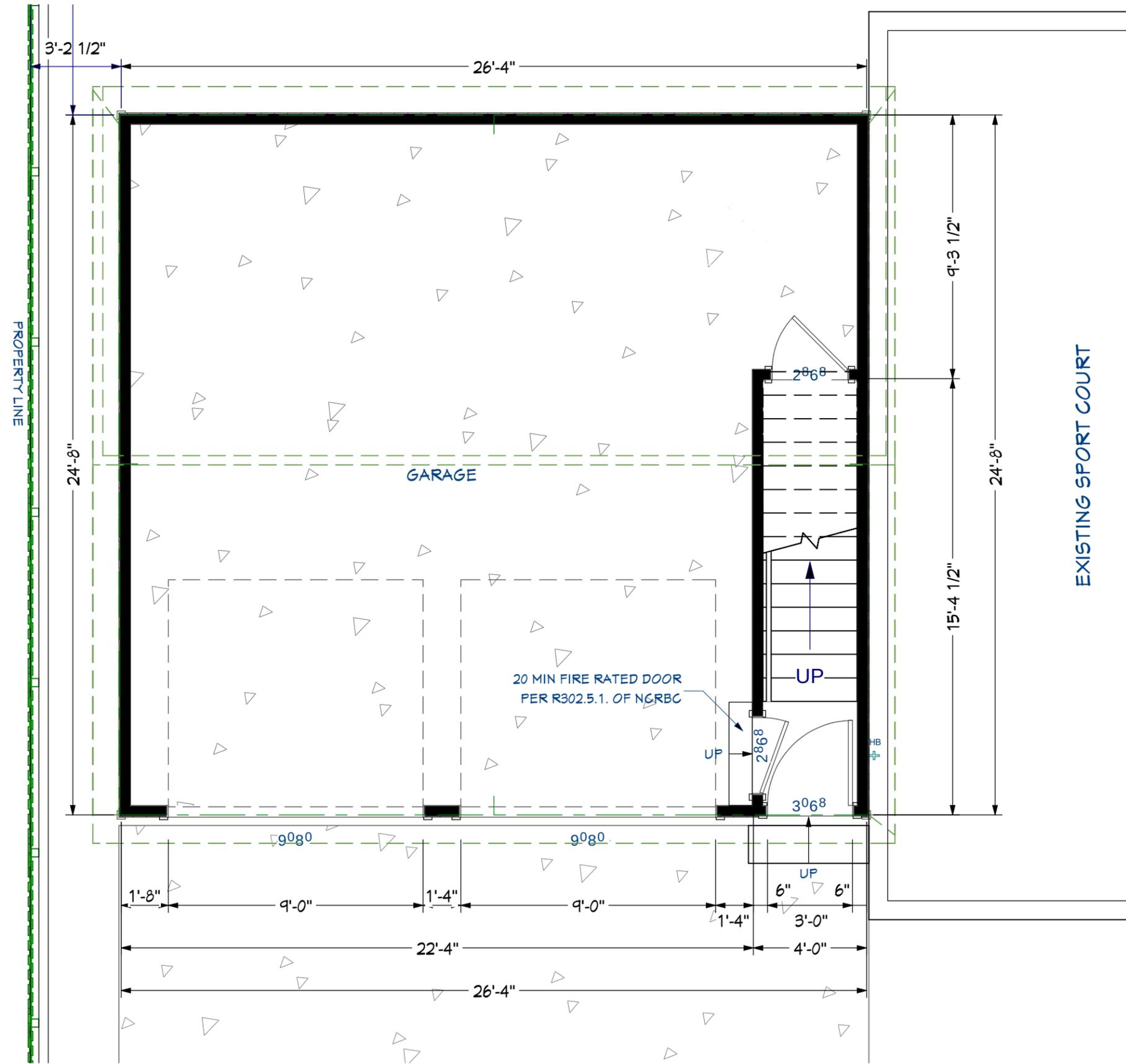


Mr. & Mrs. Brice Taylor  
1201 Belgrave Place  
Charlotte, NC 28203

DATE:  
12/3/2018

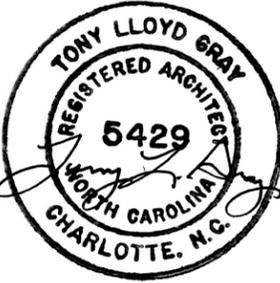
SCALE:  
3/8" = 1'-0"

SHEET:  
**A-4**



**FLOOR PLAN - GARAGE LEVEL**

SCALE: 1/4" = 1'-0"



12/3/2018

SHEET TITLE:  
**PROPOSED FLOOR PLAN  
 GARAGE LEVEL**



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 Charlotte, NC 28203

DATE:

12/3/2018

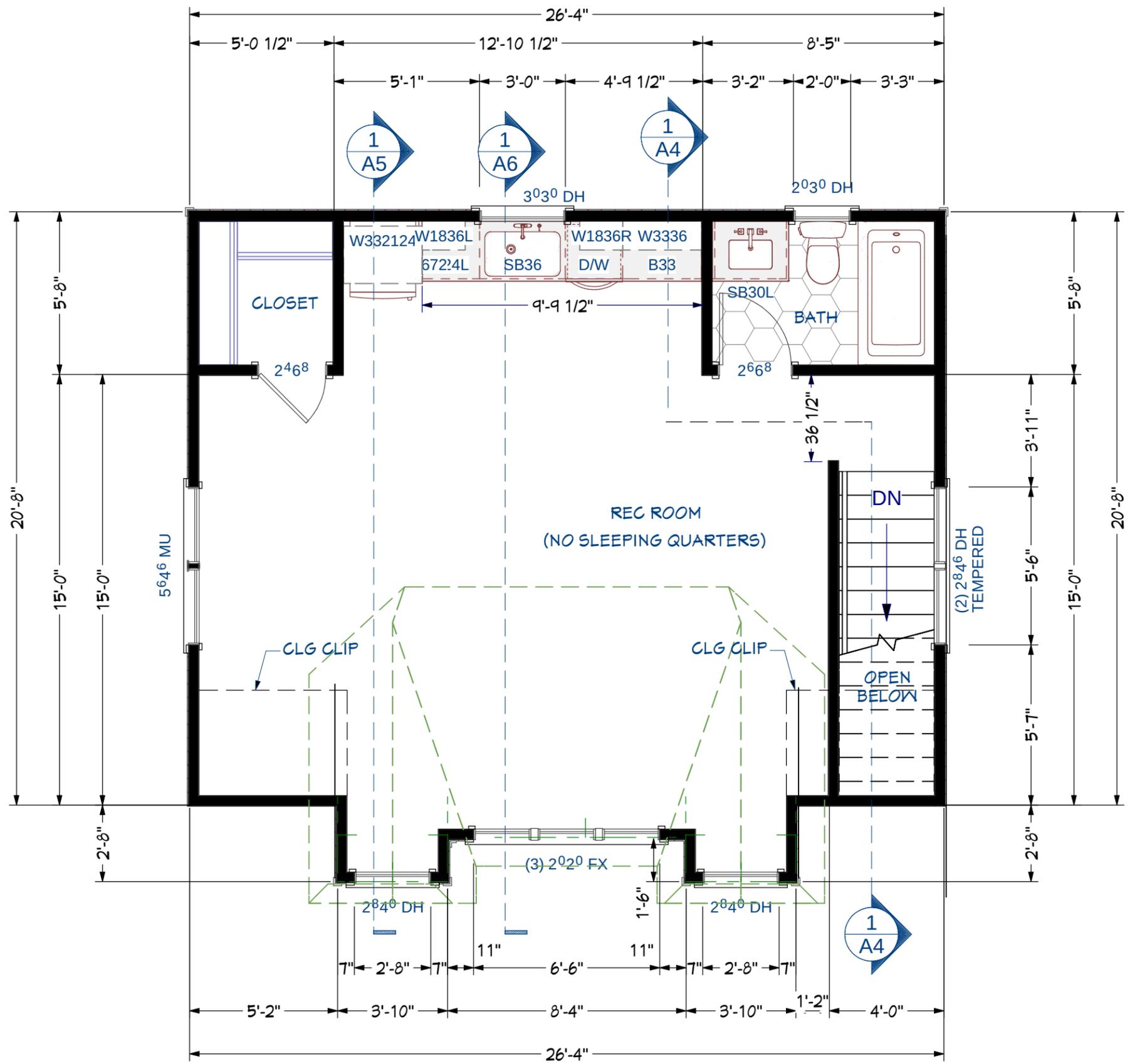
SCALE:

1/4" = 1'-0"

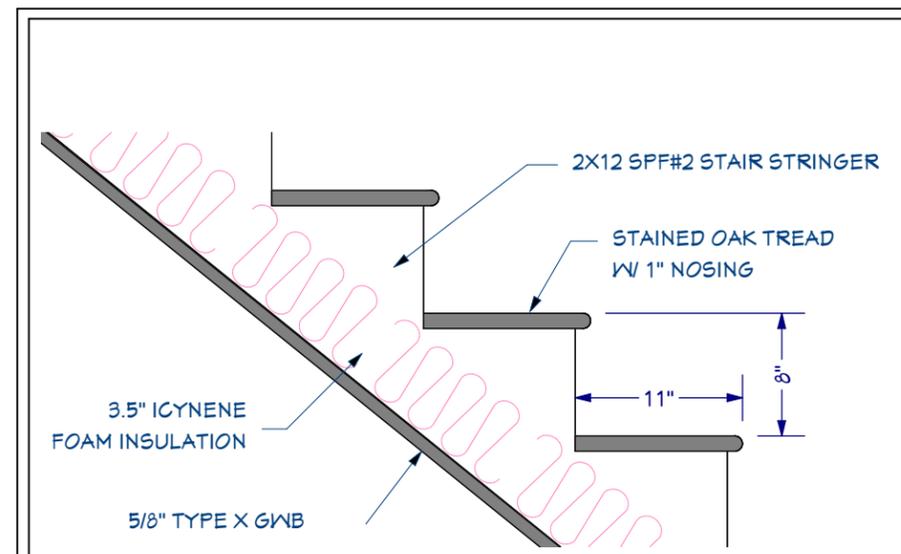
SHEET:

**A-2**

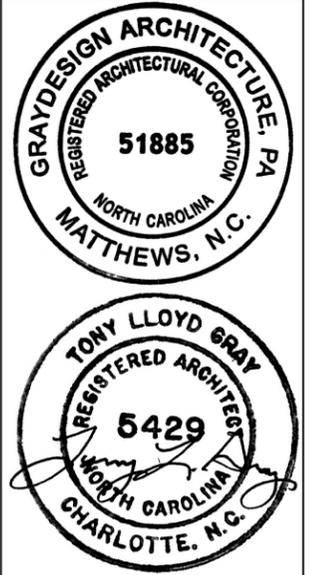
EXISTING SPORT COURT



**1 FLOOR PLAN - 2ND LEVEL**  
SCALE: 1/4" = 1'-0"



**2 STAIR DETAIL**  
SCALE: 1" = 1'-0"



12/3/2018

SHEET TITLE:  
**PROPOSED FLOOR PLAN  
2ND LEVEL**



Mr. & Mrs. Brice Taylor  
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Charlotte, NC 28203

DATE:  
12/3/2018

SCALE:  
1/4" = 1'-0"

SHEET:

**A-3**