
LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 325 West Kingston Avenue

SUMMARY OF REQUEST: New Construction

APPLICANT/OWNER: Shelley Hughes, applicant/Daniel Burdi, owner

Details of Proposed Request

Existing Context

The existing structure is a one-story Bungalow style house constructed in 1938. Exterior features include a hipped roof, wide eaves and brick exterior. Adjacent structures are on to two story residential structures. Demolition with a 365-day stay was approved on August 8, 2018. The applicant is submitting plans for the construction of a new single-family house. Existing single-family homes on the block are 1 to 2 stories and range in height from 17' to 26'.

Project

The proposal is a new single-family house. Lot dimensions are 50' x 134'. The front setback is approximately 36'-4" feet from ROW. The front setback aligns with the existing houses on the street. The siding material proposed is Hardie Artisan or Nichiha smooth lap siding and brick foundation. Trim materials are wood and cementitious where noted on the elevations. Windows are wood. Total height as measured from grade to ridge is approximately 26'-6".

Policy & Design Guidelines for New Construction, page 6.1

Charlotte's historic districts' distinctive character is derived not only from architectural style but also from the nature of the street created by building setback, spacing, mass and height as well as the landscape quality. This street character and the surrounding properties are considered to be the context for any new building. As such, the block in which the new site is located should be carefully studied when designing a new infill dwelling. This context should include both sides of the subject street.

The Charlotte Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building.

The criteria in this section are all important when considering whether a proposed new building design is appropriate and compatible. All criteria should be taken into consideration in the design process with the goal to ensure that the new design respects its historic neighboring buildings.

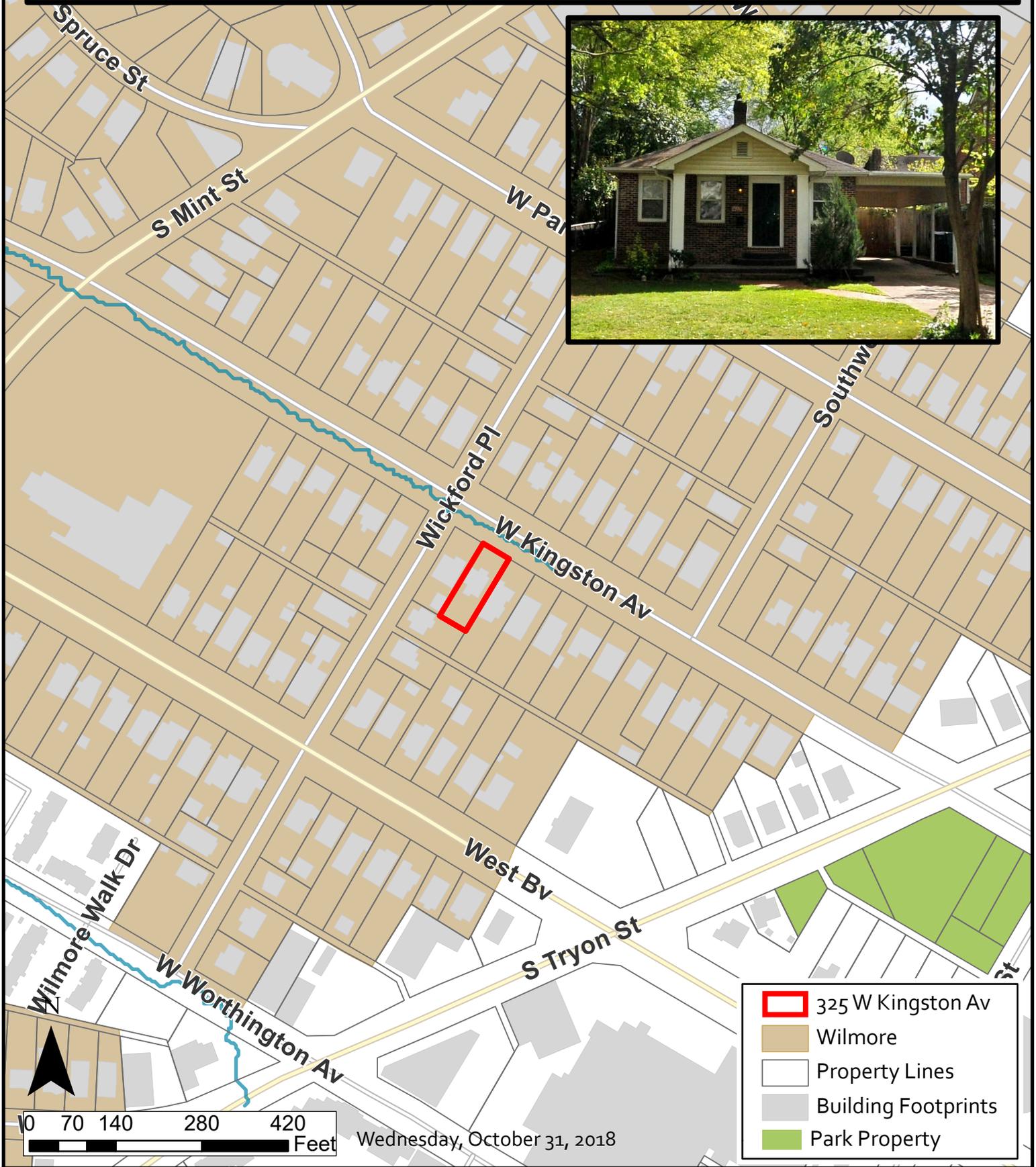
All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The Commission will determine if the proposal meets the guidelines for new construction.
2. Minor revisions may be reviewed by staff.

Charlotte Historic District Commission Case 2018-00529
HISTORIC DISTRICT: WILMORE
NEW CONSTRUCTION



Existing House



Existing Lot Photos



CONTEXT PHOTOS



Applicable Historic District Guidelines

325 W. Kingston-Wilmore Historic District

New Construction Application

Nov. 14, 2018

Project Timeline Re-Cap:

June 2018 - Applied for renovation/addition to existing structure-**Denied**

Aug. 2018 - Applied for Demolition Approval - **Approved 365-Day Stay of Demolition**

Nov. 2018-**This application is for new construction approval to demo/replace the existing structure.**

While this project must meet many of the historic district guidelines the primary sections we believe are primary to this project are Section 6 (New Construction) and Section 8 (related to Site).

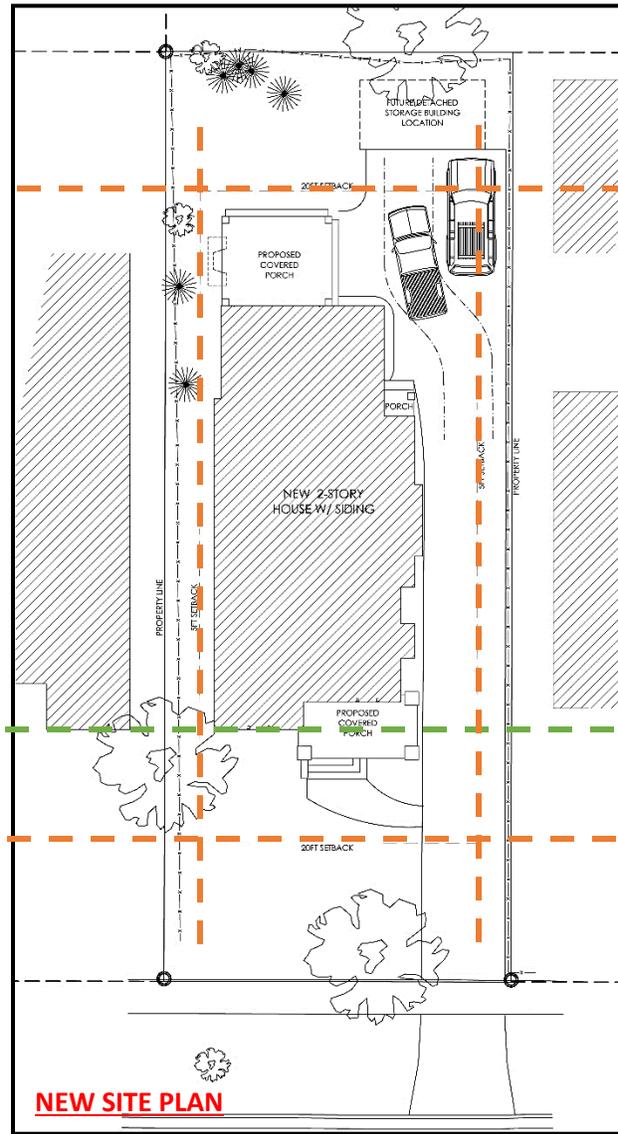
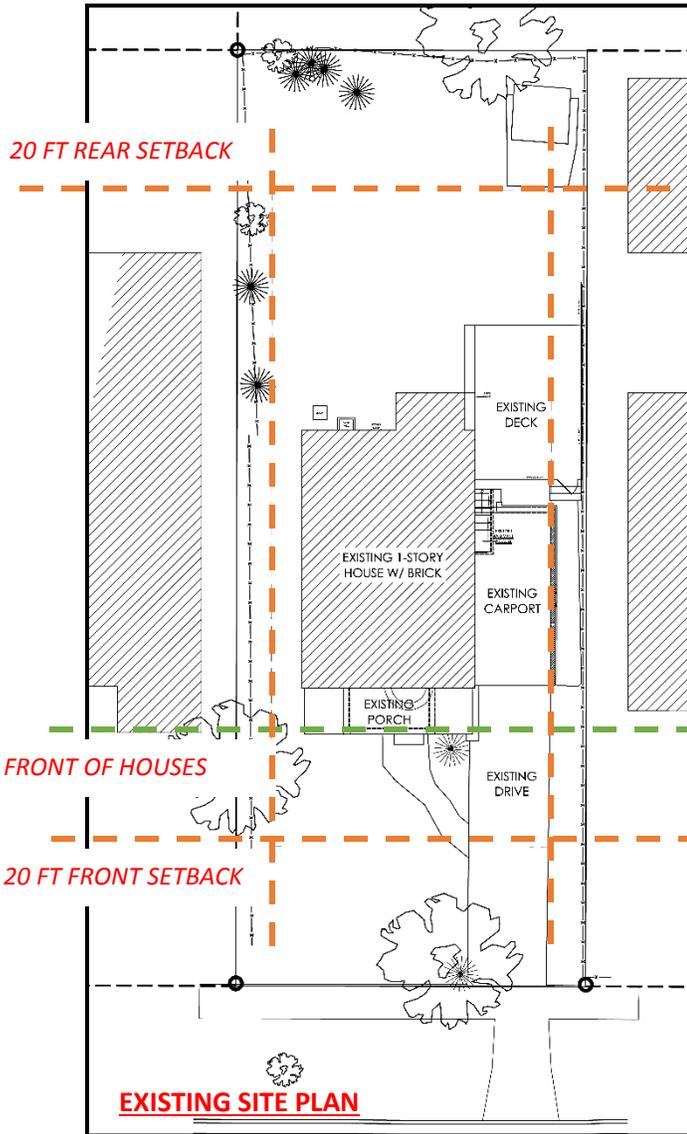
Section 6: New Construction

6 NEW CONSTRUCTION			
All Projects Will be Evaluated for Compatibility by the Following Criteria (as applicable)		Page #	
✓	Setback	in relationship to setback of immediate surroundings	6.2
✓	Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
✓	Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
✓	Massing	the relationship of the buildings various parts to each other	6.5
✓	Height and Width	the relationship to height and width of buildings in the project surroundings within a 360 degree range of visibility	6.6
✓	Scale	the relationship of the building to those around it and the human form	6.7
✓	Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
✓	Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
✓	Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
✓	Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
✓	Doors and Windows	the placement, style and materials of these components	6.12
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✓	Materials	proper historic materials or approved substitutes	6.15
✓	Size	the relationship of the project to its site	6.2 & 3
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✓	Context	the overall relationship of the project to its surroundings.	6.1-16
✓	Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

We feel we have checked all these boxes above with our design. See Notes below on each of the checklist points for explanations of how we have met the guidelines.

- ✓ **Setback & Spacing:** Moved the new house forward slightly to align the front thermal wall of the house with the neighboring houses and the porch comes forward in front of the house but still well within the setbacks and as it relates to the neighboring homes and guidelines. Shifted the house slightly to the left to allow for more space for a new driveway down the right side of the property for off-street parking behind the house but still has similar spacing between the left and right to the neighboring homes.



- ✓ **Orientation:** House is oriented the same as neighboring homes with front door facing the street.
- ✓ **Massing, Height & Width, Scale, Directional Expression:** Massing is comparable or smaller than others on both sides of the street and will appear to be a 1.5 story structure. Street is a mixture of 1, 1.5, 2, and 3 story homes.



- ✓ **Size, Rhythm, Context:** see comments above and neighborhood images in presentation
- ✓ **Foundation and Materials:** Foundation to be brick like the primary structure with 3-4 courses exposed at grade with a transition to siding above to differentiate this as new construction. Plan to use Hardie Artisan or Nichiha Siding approved in other HDC projects or equal.
- ✓ **Roof Form:** The main side gable is sloping back away from street/view to minimize appearance of the structure and making it look like 1.5 stories similar to examples in the guidelines with smaller stacked front facing gables and porch addressing the street view.



Stacked front gables with large sitting porches are typical of new and historic bungalows. Large side facing gable allows for 2nd floor space but slopes away from the street to minimize massing from front for 1.5 story look.



- ✓ **Cornices & Trim:** will all be similar to existing materials and profiles found nearby as close as possible with current brand/products available. Open rafter tails or enclosed sloped rafter tails and not “boxed” soffits. We would like to use simple or flat trim profiles so as not to match neighboring structures exactly but mimic their features with more modern profiles because this is new construction.
- ✓ **Porches:** Created a deep “sitting” porches on the front (and rear) to engage the street and sidewalk and large enough for a seating group with vaulted ceiling above and gable detail to let light into the porch from above. Used half brick piers with tapered wood/wood-like columns above and a low sitting/privacy wall around the front and sides that is also brick to mimic bungalow style homes from the 1900’s-1930’s or an approved railing style that matches the guidelines if budget becomes as issue with the brick wall.
- ✓ **Windows & Doors:** See plans



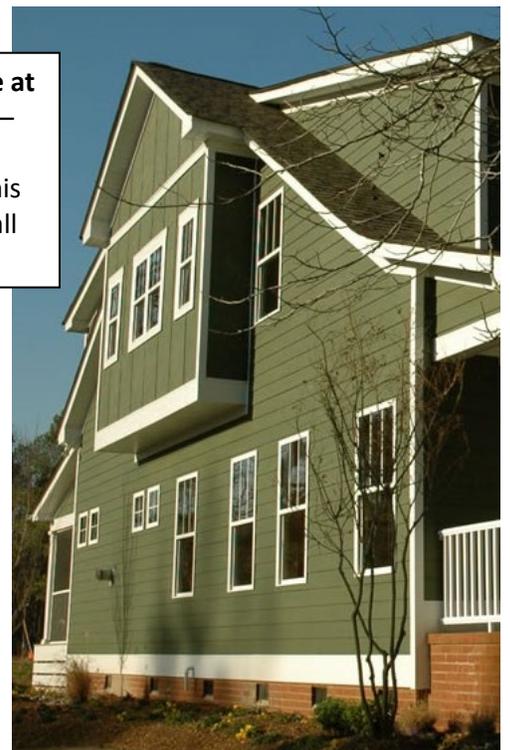
Example of Gable Detailing—Built out slightly away from wall plane with brackets/outriggers. More modern detail approach but still respects style and age of neighborhood details.

Example of Porch Gable Detailing—Open for light and air flow, slightly more modern detail but respects historic nature of the neighborhood and historical details. Also shows scale and massing of porch columns.

Example of Bump-Out on Left Side at Stairwell—see Left Elevation also—Built out slightly away from wall plane with brackets/outriggers. This was added to break up the long wall plane on the left side of the house.



Example of Enclosed Sleeping Porch—The back right corner of the house is designed to mimic an enclosed sleeping porch with slightly different detailing and window style than the rest of the house.



Section 8: Private Site Guidelines

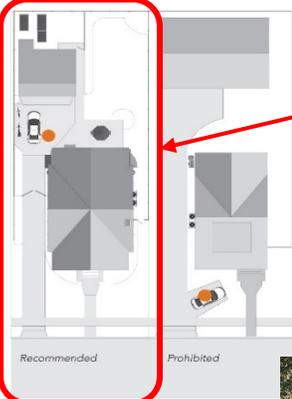
- ✓ **Landscaping:** no major canopy trees to be removed, will trim and shape existing landscaping as needed possibly removing some underbrush and cleaning up landscaping around entire property, any new landscaping will be proposed by others. HVAC equipment will be at the left rear of the house and hidden as needed by fencing or shrubs.
- ✓ **Sidewalks and Parking:** A new driveway will be needed from the existing curb cut on the right of the property and down the right side, most likely concrete but TBD by budget and guidelines. It will be kept as narrow as possible and maintain a small planting strip between the house and driveway per the guidelines planting, 6-12" min. or larger if possible. And moving parking to the rear of the structure, off-street. Existing parking is in front of the house even though it is off-street, which doesn't follow the current guidelines.
- ✓ **Fences & Walls:** Existing lot currently has wood fencing on 3 sides of the property which will be maintained, repaired, or replaced per the guidelines. Any new fencing will be in line with the guidelines or approved by staff as needed.

8 GUIDELINES FOR PRIVATE SITES

SIDEWALKS AND PARKING

These guidelines are intended to ensure that both residential and commercial parking plans have a minimum impact on the historic character of the area.

A driveway frequently leads to the rear of a lot where it may terminate at a parking area, a garage or a shed.



It is challenging to create parking areas within small lots but ribbon driveways that lead to side or rear parking help minimize the impact on the front lawn.

It is difficult to accommodate broad expanses of concrete parking pads within smaller residential parcels.

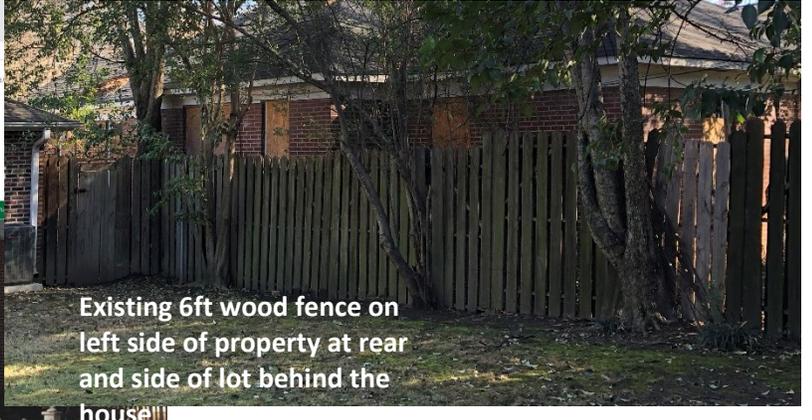
This diagram illustrates recommended parking (left), and prohibited parking (right). See Guideline 6.

GUIDELINES

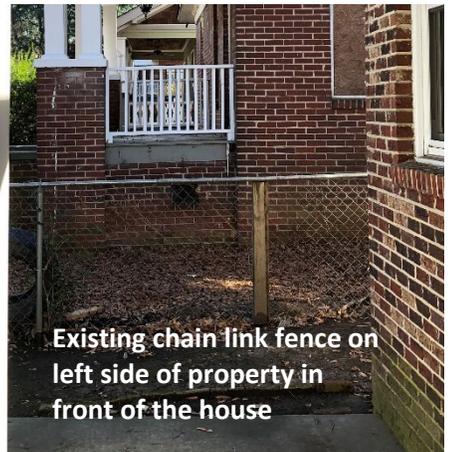
For Residential Projects:

1. Retain existing historic walkways.
2. Walks and walkways in front and side yards of those that are substantially visible from the street in new construction should follow the historic design precedents of their surrounding environment.
3. Retain existing historic driveways.
4. Driveways made of twin parallel paved strips are considered important historic features and should be maintained where possible. This type of driveway design can be used in new construction where appropriate.
5. For new construction, provide driveways to the side of the new building. New driveways should be as narrow as possible.
6. Do not place paved areas for parking in the front yard. In smaller-scale residential parcels, driveways that stop at the original building facade are viewed as front yard parking pads, and thus are prohibited. All driveways for residential uses should extend to at least the rear building line.
7. Repair damaged areas with materials that...

New Driveway will go down right side of house for parking off-street at the rear of the property per the recommended layout in the guidelines.



Existing Fencing Around property mostly likely to be replaced, at very least will be updated, repaired, or replaced as needed to meet guidelines as required.



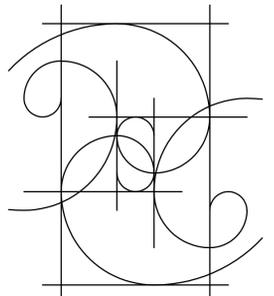
325 W. KINGSTON AVE.

CHARLOTTE, NC 28203

All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.

Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

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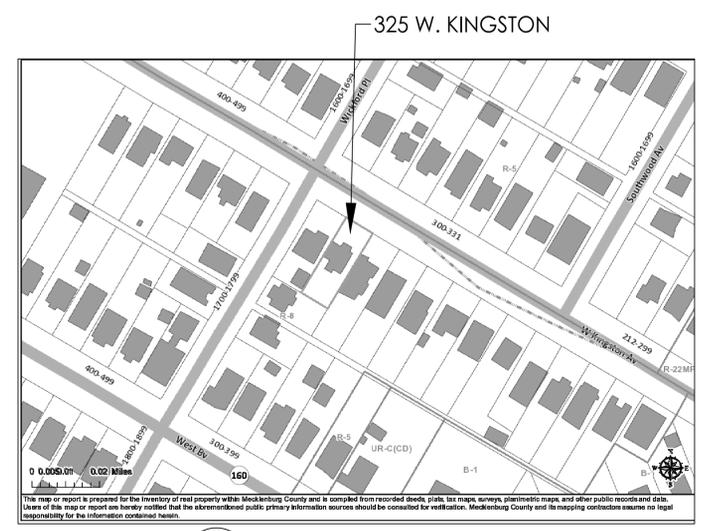
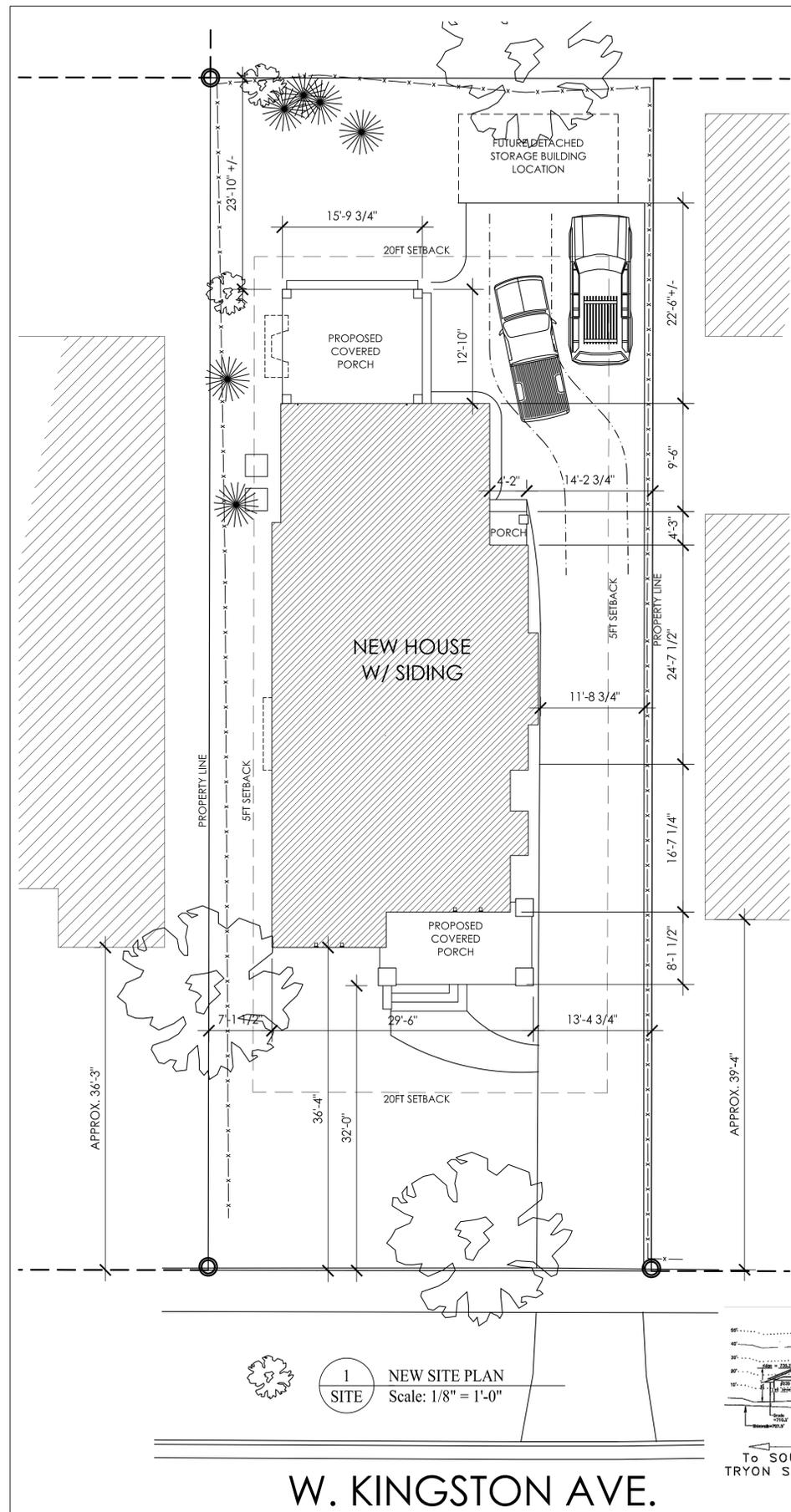
TABLE OF CONTENTS

SITE	COVER SHEET/SITE PLAN
1.1	FIRST FLOOR PLAN
1.2	SECOND FLOOR & ROOF PLAN PLAN
2.1	RIGHT ELEVATION (DRIVEWAY SIDE)
2.2	LEFT ELEVATION & EXTERIOR DETAILS
2.3	STAIR SECTION & EXTERIOR DETAILS

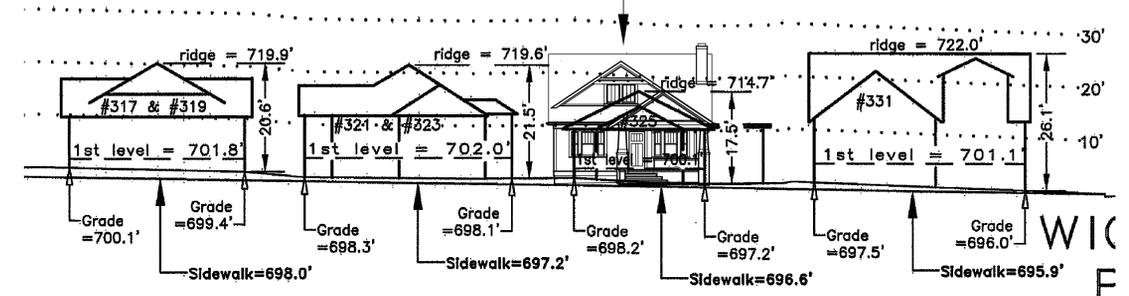
SQUARE FOOTAGES

TOTAL FOOTPRINT (TO OUTSIDE OF WALLS)	
1ST FLOOR (FOOTPRINT)=	1610 SF
MUDROOM PORCH=	16 SF
REAR PORCH =	202 SF
FRONT PORCH =	138 SF
TOTAL FOOTPRINT (W/PORCHES)	1966 SF

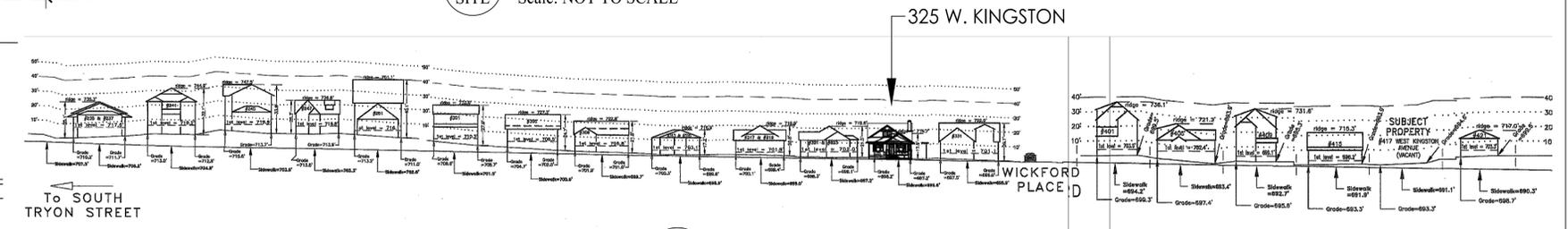
ZONING =	R-8
MAX LOT COVERAGE=	50%
LOT SIZE =	6700 SF
MAX F.A.R. @ 50%	3350 SF
HOUSE + PORCHES =	1966 SF
TOTAL LOT COVERAGE =	30% +/-
DRIVEWAY/WALKS TBD =	APPROX. 1750 SF +/-



3 LOCATION/CHAR-MECK GIS Map
SITE NOT TO SCALE



2A STREET ELEVATION (ENLARGED)
SITE Scale: NOT TO SCALE



2B STREET ELEVATION SURVEY
SITE Scale: NOT TO SCALE

1 NEW SITE PLAN
SITE Scale: 1/8" = 1'-0"

W. KINGSTON AVE.

BURDI RESIDENCE
CONSTRUCTION
Concept Only

325 W. KINGSTON AVE.
CHARLOTTE, NC
RENOVATION/ADDITION

REVISIONS

SHEET TITLE
SITE PLAN & STREET ELEVATIONS

ISSUE DATE
OCT. 25th, 2018

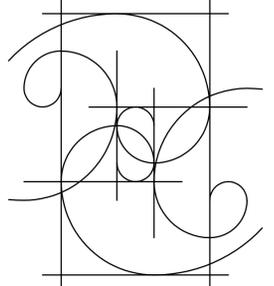
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SITE

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2 RIGHT ELEVATION (DRIVEWAY)
Scale: 1/4" = 1'-0"



3 REAR ELEVATION
Scale: 1/4" = 1'-0"



1 NEW FRONT ELEVATION
Scale: 1/4" = 1'-0"

BURDI RESIDENCE
325 W. KINGSTON AVE.
CHARLOTTE, NC
RENOVATION/ADDITION
CONSTRUCTION
Concept Only

REVISIONS
SHEET TITLE
NEW ELEVATIONS

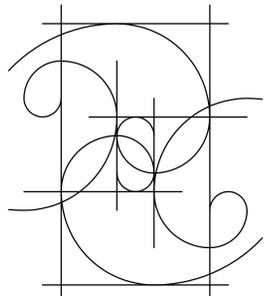
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SHEET NUMBER
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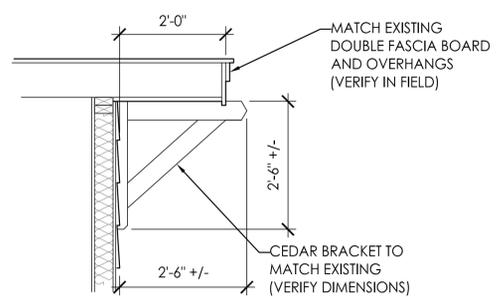
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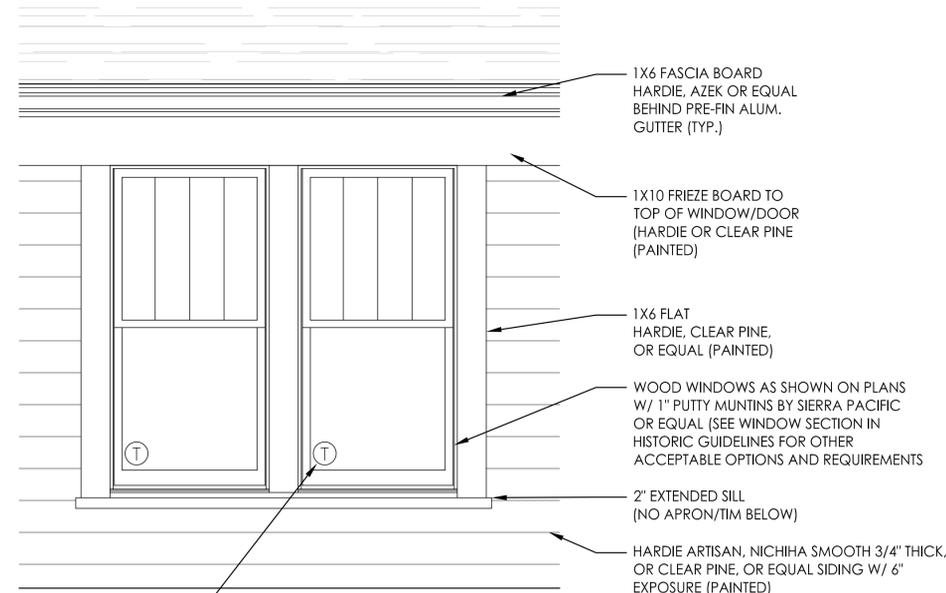
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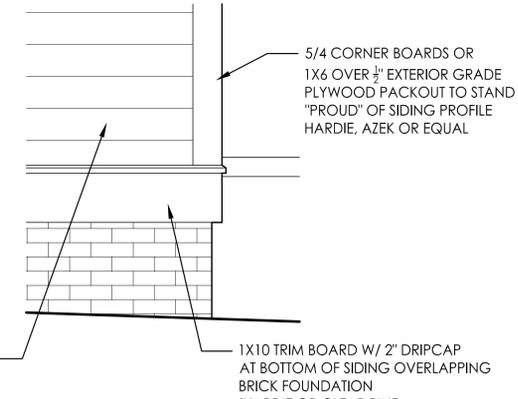
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4 ROOF BRACKET DETAIL
2.2 Scale: 3/4" = 1'-0"



3 WINDOW & DOOR TRIM
2.2 Scale: 1/4" = 1'-0"



2 FOUNDATION DETAIL
2.2 Scale: 1/4" = 1'-0"

DENOTES LOCATION OF "EGRESS" OR "TEMPERED" WINDOW SASHES REQUIRED BY CODE-VERIFY ALL LOCATIONS



1 NEW RIGHT ELEVATION (DRIVEWAY)
2.2 Scale: 1/4" = 1'-0"

BURDI RESIDENCE
SUBMIT FOR
CONSTRUCTION
Concept Only

325 W. KINGSTON AVE.
CHARLOTTE, NC

RENOVATION/ADDITION

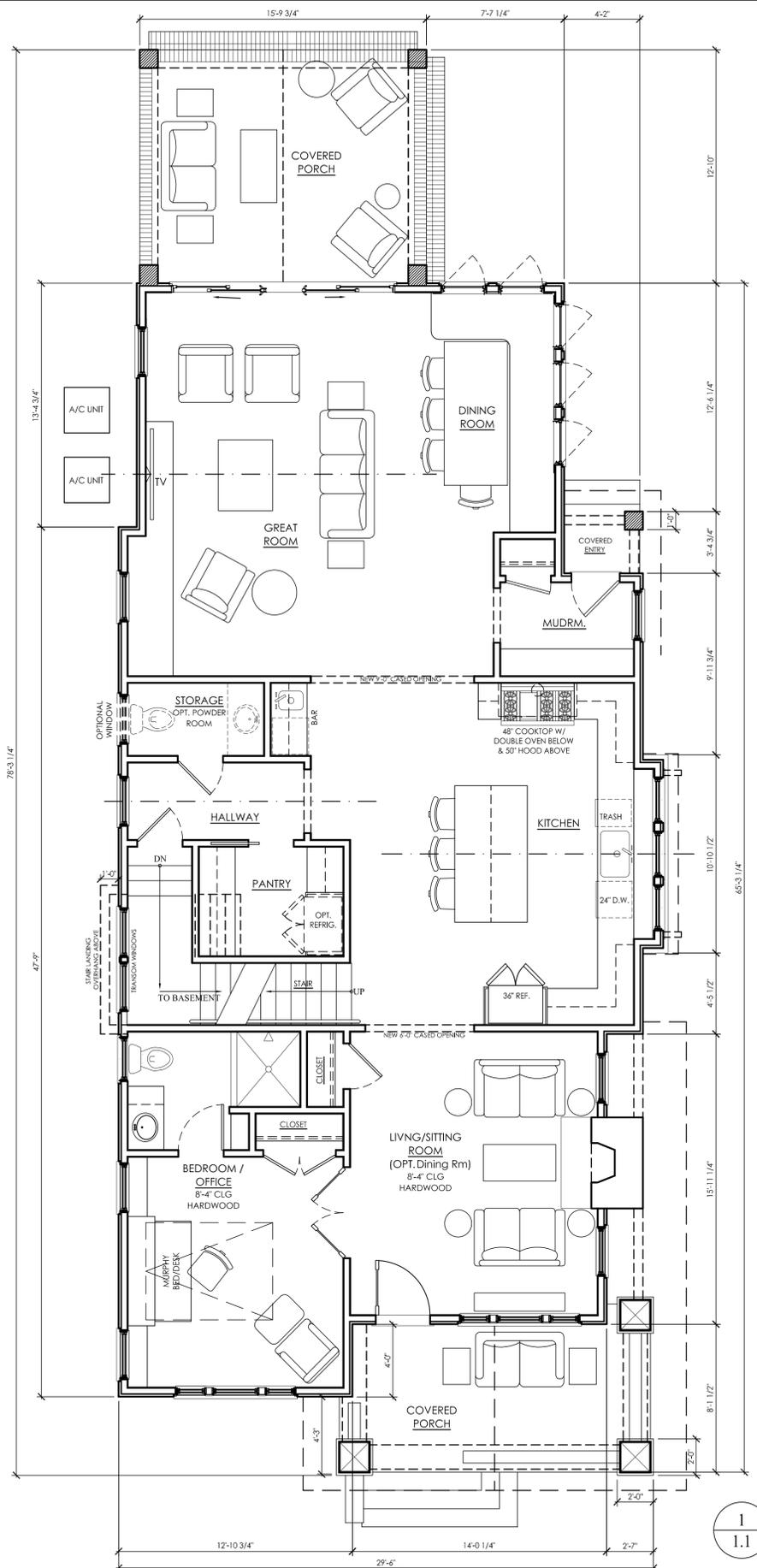
REVISIONS

SHEET TITLE
NEW ELEVATION & DETAILS

ISSUE DATE
OCT. 25th, 2018

SHEET NUMBER

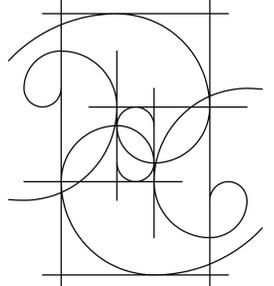
2.2



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BURDI RESIDENCE
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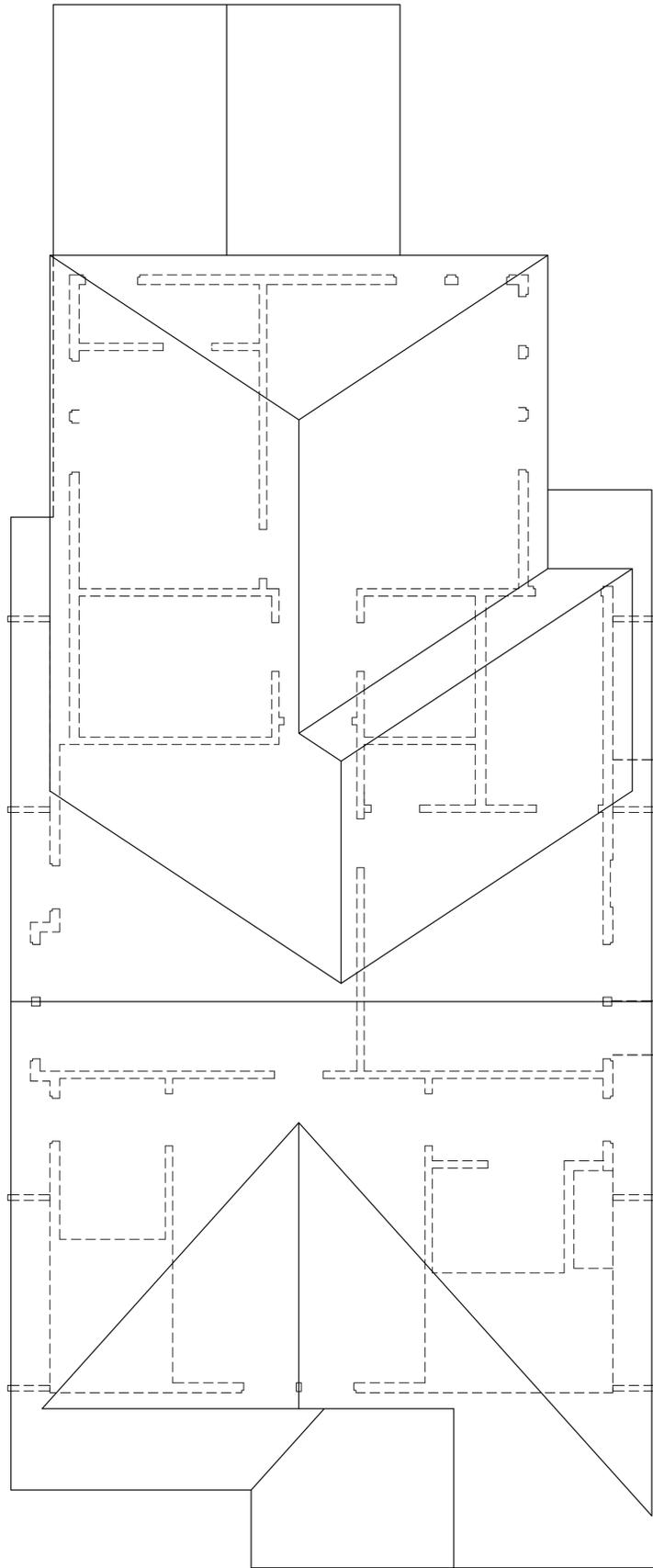
REVISIONS

SHEET TITLE
1ST FLOOR PLAN

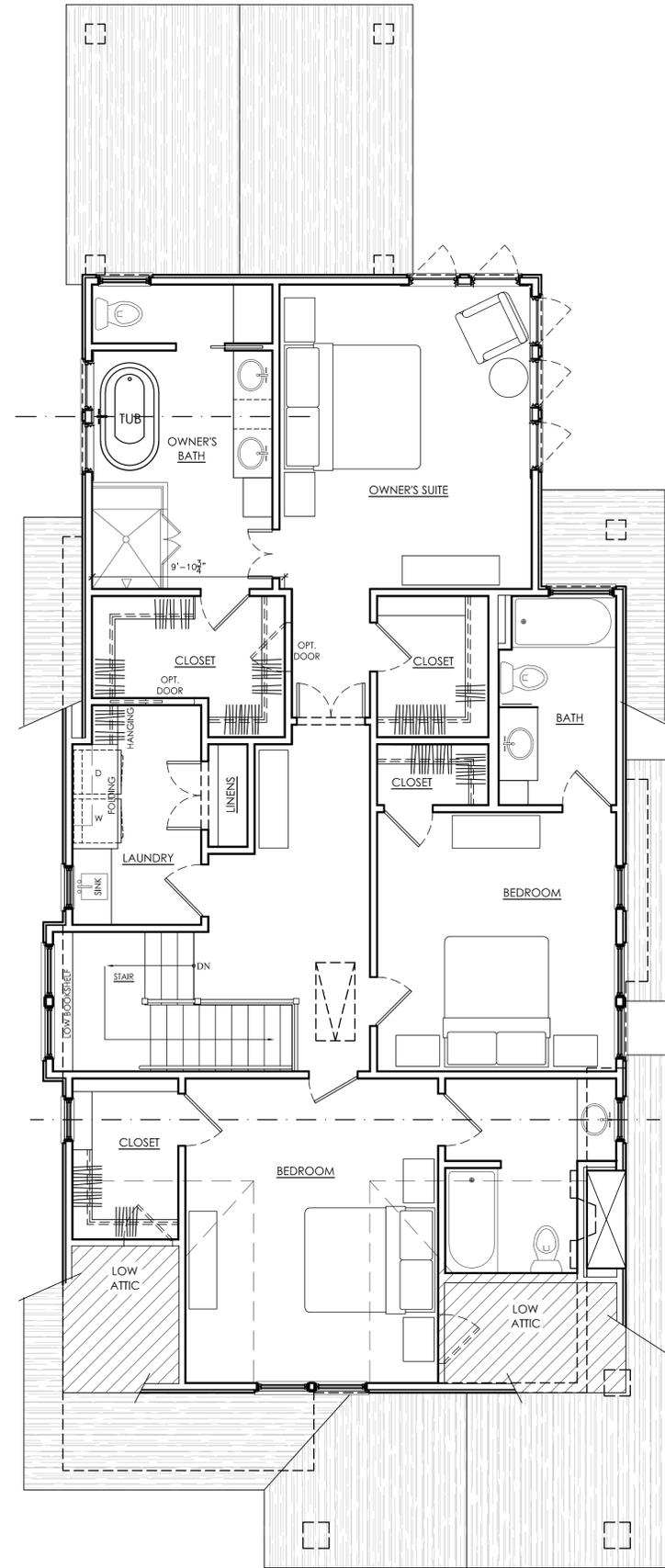
ISSUE DATE
OCT. 25th, 2018

SHEET NUMBER
1.1

1 NEW 1ST FLOOR
1.1 Scale: 1/4" = 1'-0"



2 NEW ROOF PLAN
1.2 Scale: 1/4" = 1'-0"

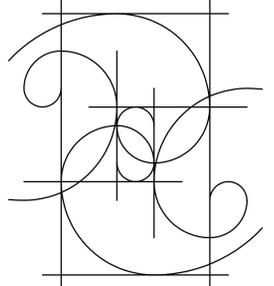


1 2ND FLOOR PLAN
1.2 Scale: 1/4" = 1'-0"

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CHARLOTTE, NC
RENOVATION/ADDITION

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SHEET TITLE
2ND FLOOR PLAN &
ROOF PLAN

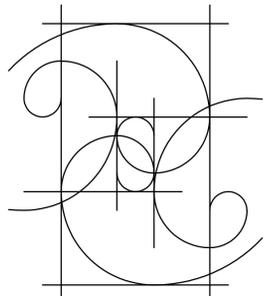
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OCT. 25th, 2018

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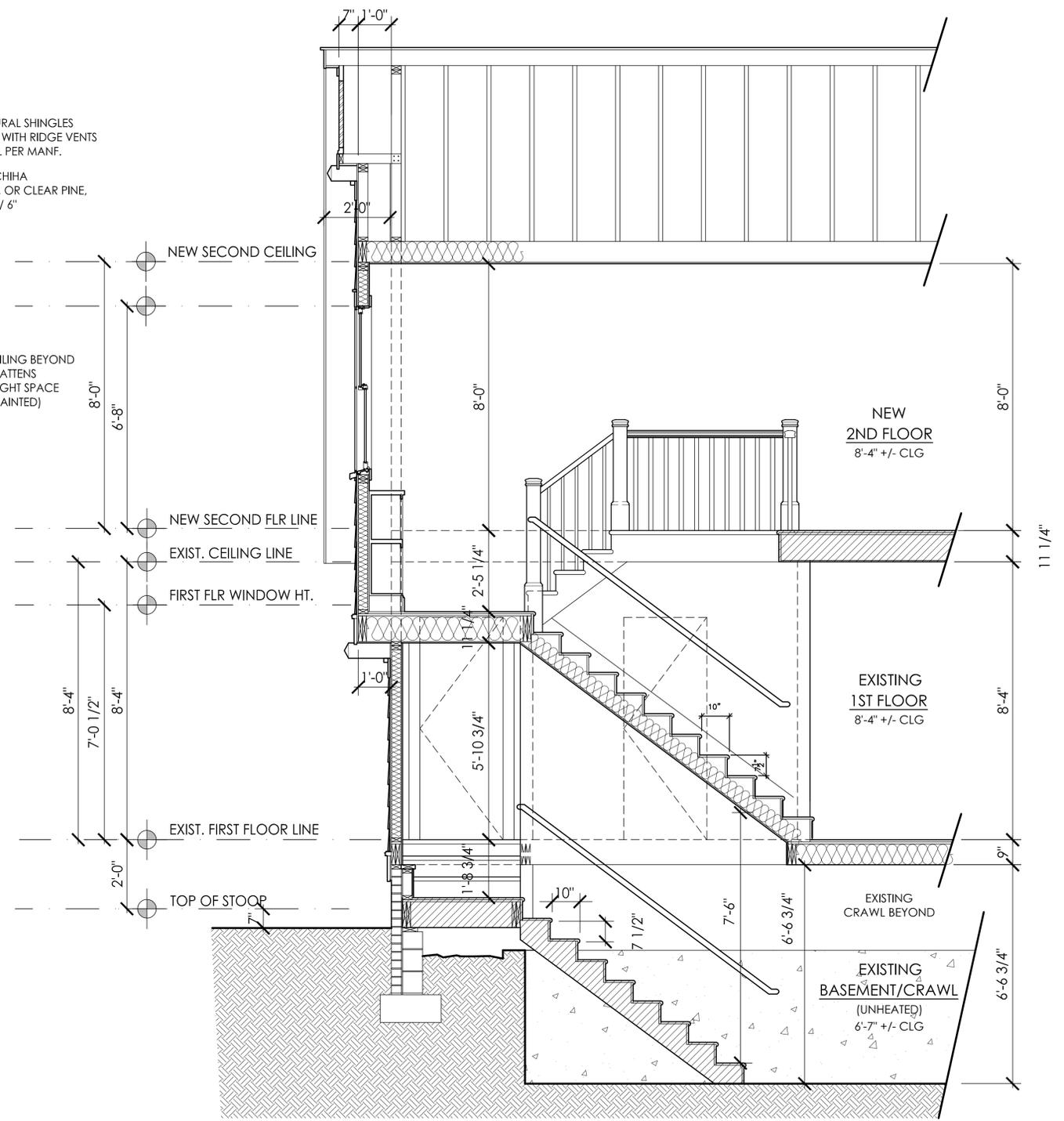
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1
2.3 STAIR SECTION
Scale: 1/2" = 1'-0"

BURDI RESIDENCE
325 W. KINGSTON AVE.
CHARLOTTE, NC
RENOVATION/ADDITION

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Concept Only

REVISIONS

SHEET TITLE
STAIR SECTION &
EXTERIOR DETAILS

ISSUE DATE
OCT. 25th, 2018

SHEET NUMBER
2.3