
LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1827 Wilmore Drive

SUMMARY OF REQUEST: Front porch columns, front walkway changes, rear addition (deck), parking

APPLICANT/OWNER: Andrew Hurd

The application was continued from March for the following items:

1. Rear porch, continued for complete drawings.
2. Trees, more information needed.
3. Curb cut, more information needed.

Details of Proposed Request

Existing Conditions

The existing property is a two-story brick Quadruplex with Colonial Revival elements constructed c. 1933. Architectural features include a hip roof, 6/1 wood windows, and a small covered front porch. Siding material is unpainted brick. Adjacent structures are a mixture of 1-2 story single family houses. The lot size is approximately 95' x 202'.

Proposal

The proposal is a new rear deck addition visible from West Boulevard. A number of small shrubs and brush will need to be removed to build the deck, as well as two canopy trees. At the March 13, 2019 meeting the project request for changes to front porch columns was approved. Proposed changes to the front walkway and expansion of an existing front yard parking pad were denied.

Revised Proposal – June 12

1. Rear porch and parking area re-designed.
2. Photos of rear yard included to show tree coverage.
3. Trees to be removed to build parking area noted on site plan.
4. Curb cut information provided.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

Staff has the following concerns with the proposal:

1. The proposal for the rear deck addition is not incongruous with the District and meets the guidelines for Rehabilitation of Building Elements – Porches, 4.8 and for Additions, 7.2 above.
2. Recommend minimizing the appearance of the support posts through the addition of underpinning and/or landscaping.
3. Minor revisions may be reviewed by staff (such as approval of an appropriate deck rail detail, underpinning detail, etc.).



HDC-2018-00436

PID: 11907206

LOCAL HISTORIC DISTRICT: WILMORE

PROPOSED PROJECT: CONTINUED CASE

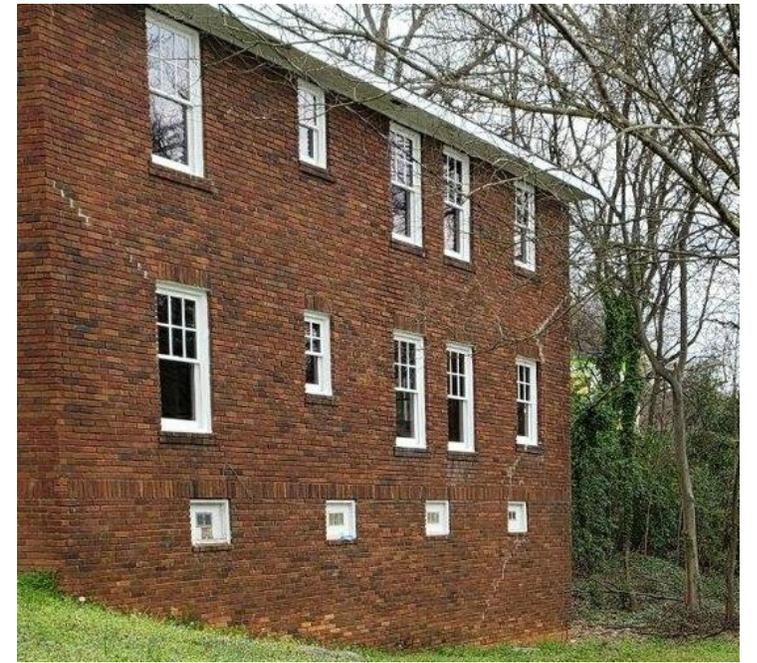
June Meeting 2019



Existing Conditions



FRONT



RIGHT

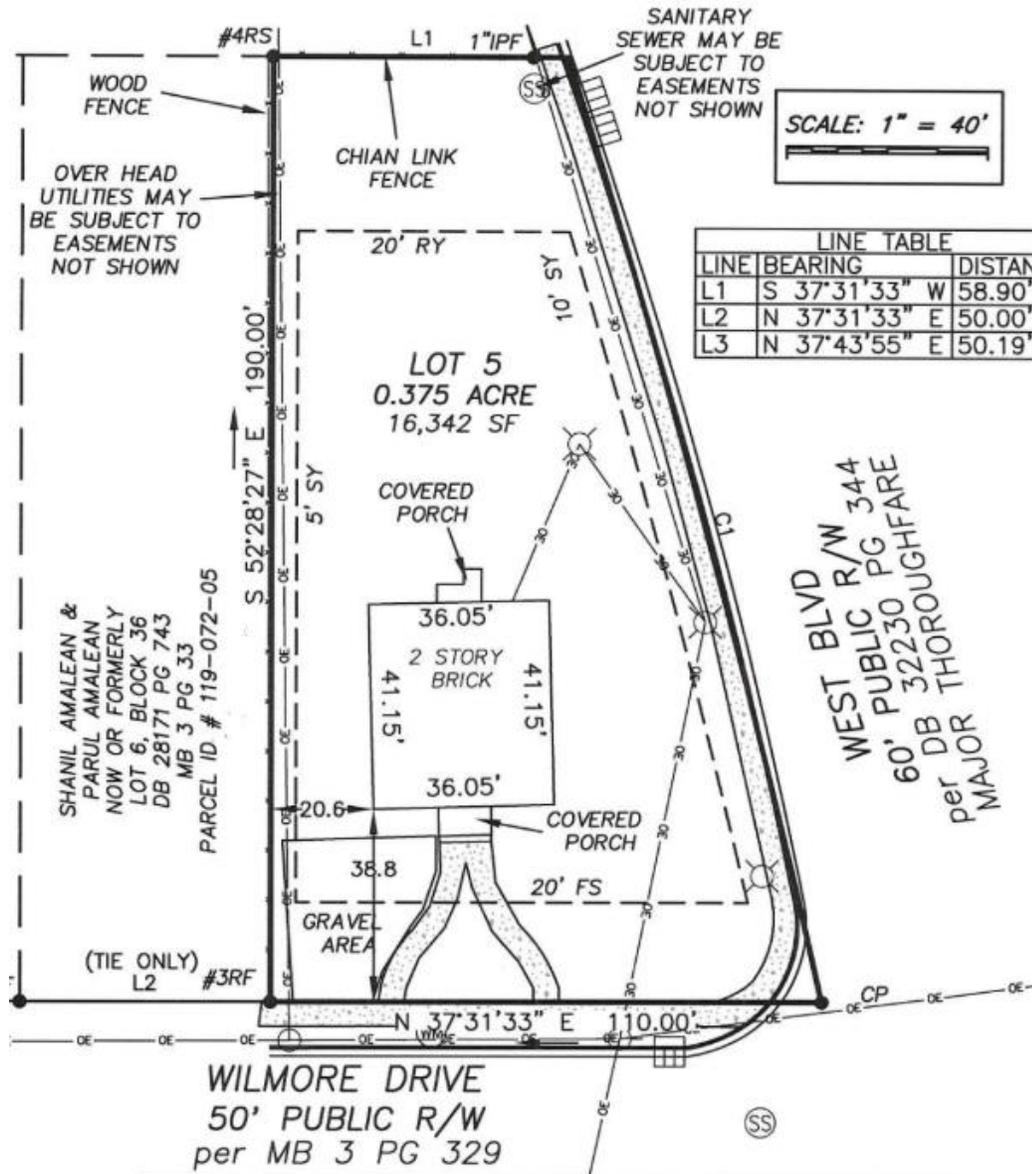


REAR

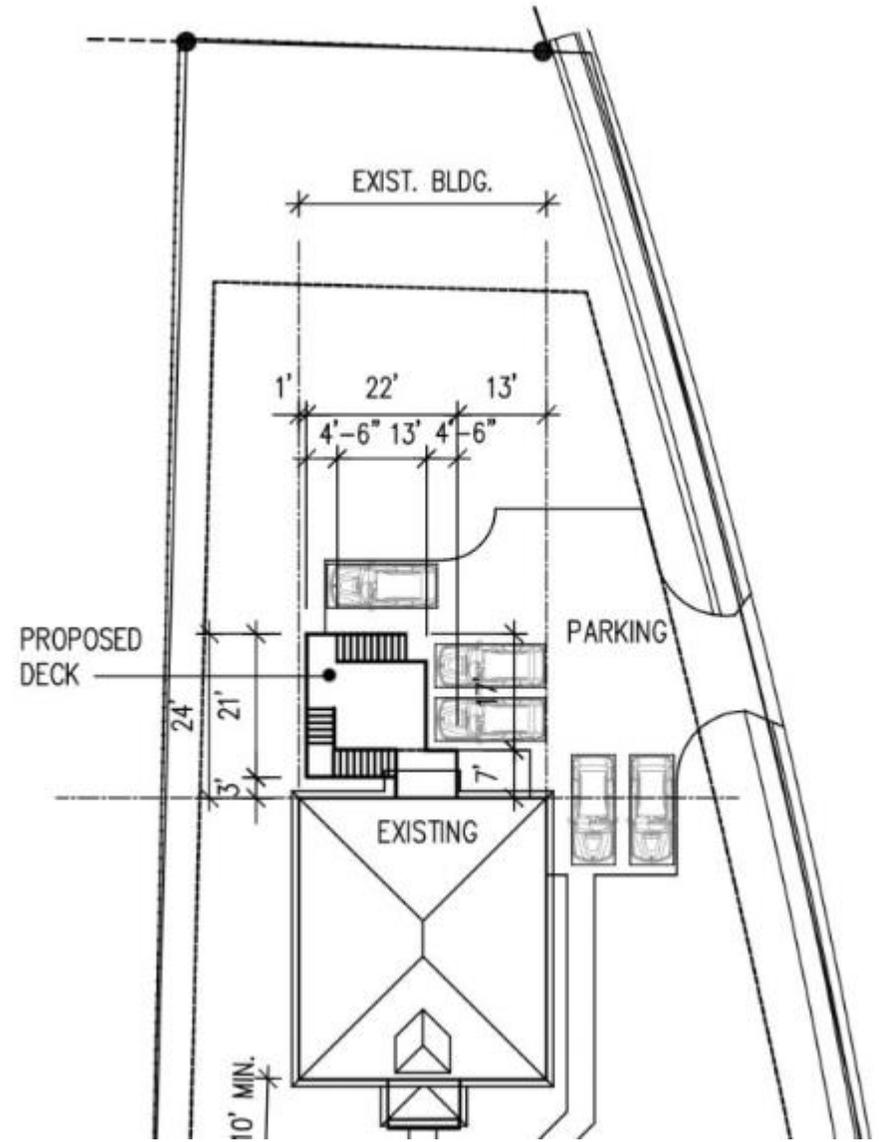


LEFT

Site Survey



Proposed Site Plan



Rear Deck Area Current



Current porch is deteriorated and lacks proper safety support

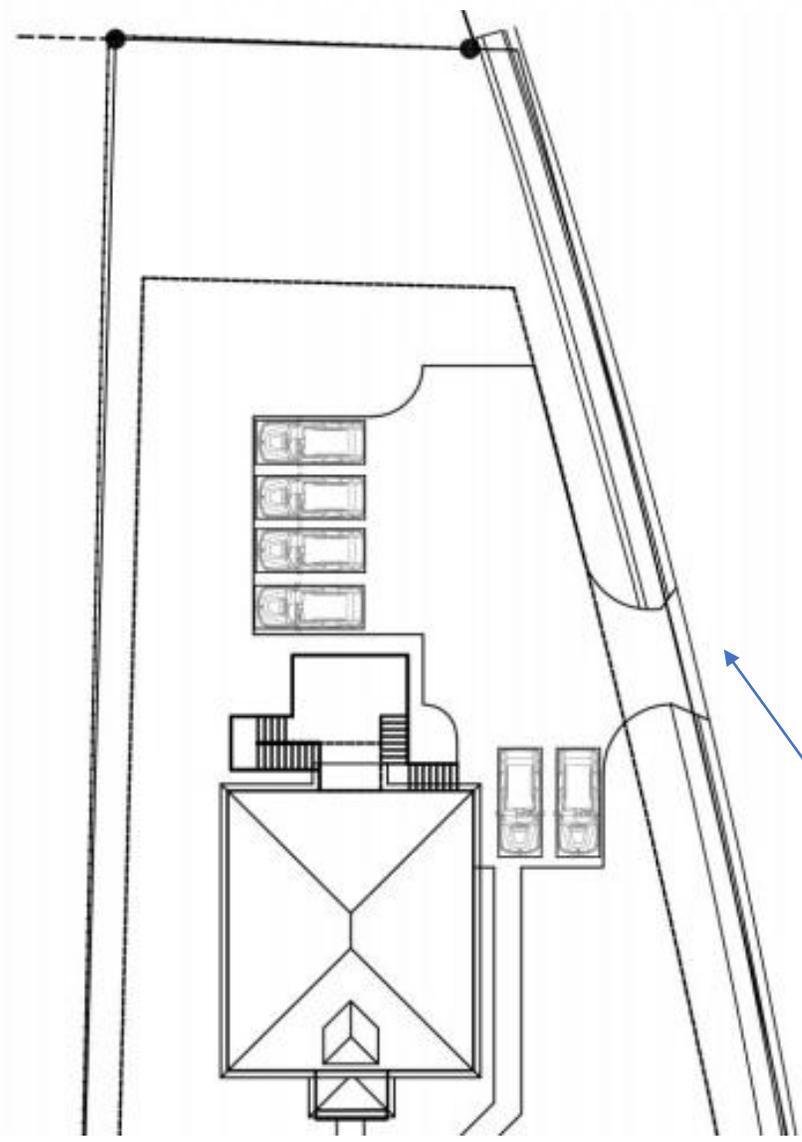


Rear Deck Area Current

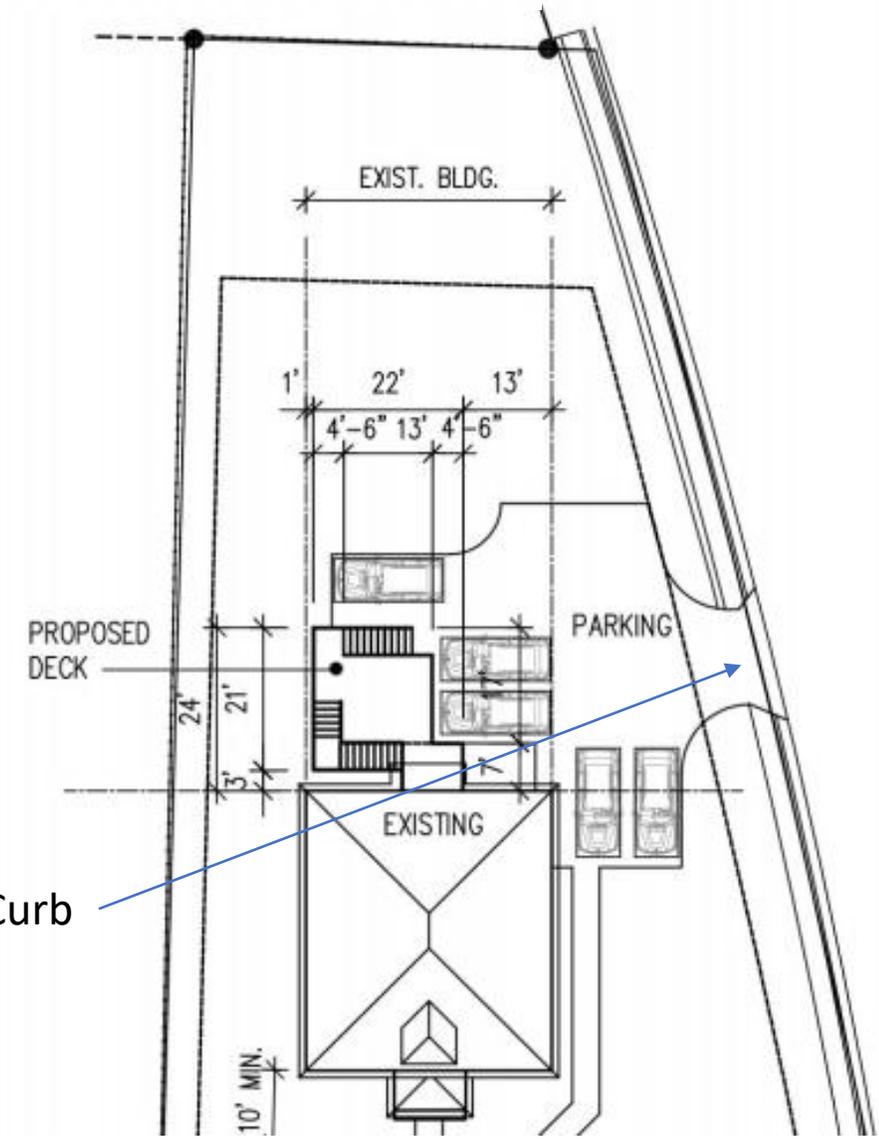


Rear Deck Proposed

Old Version (per 3/13/19 HDC Meeting)

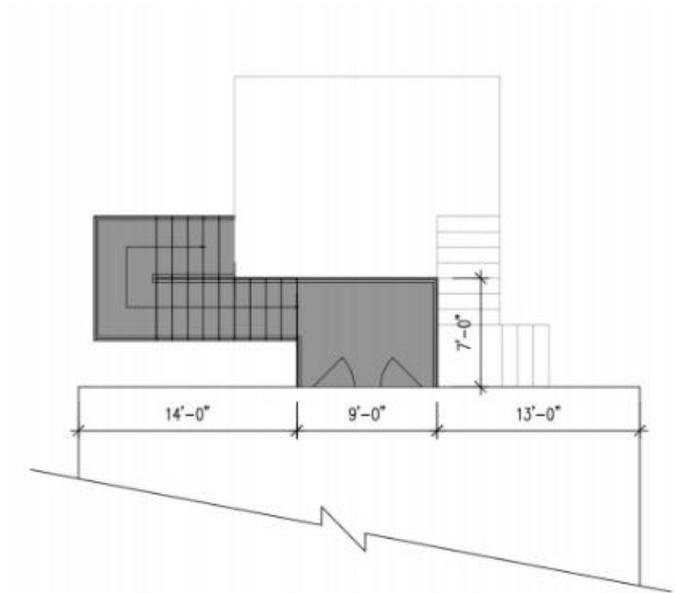


New Version

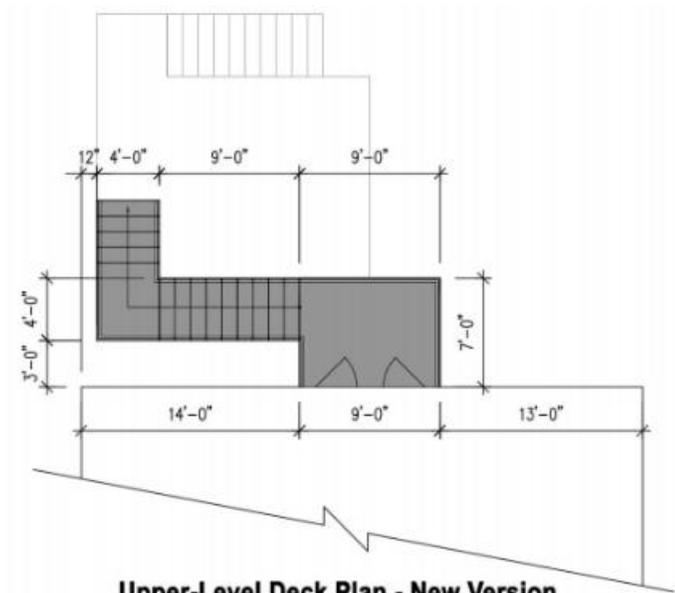


Existing Curb

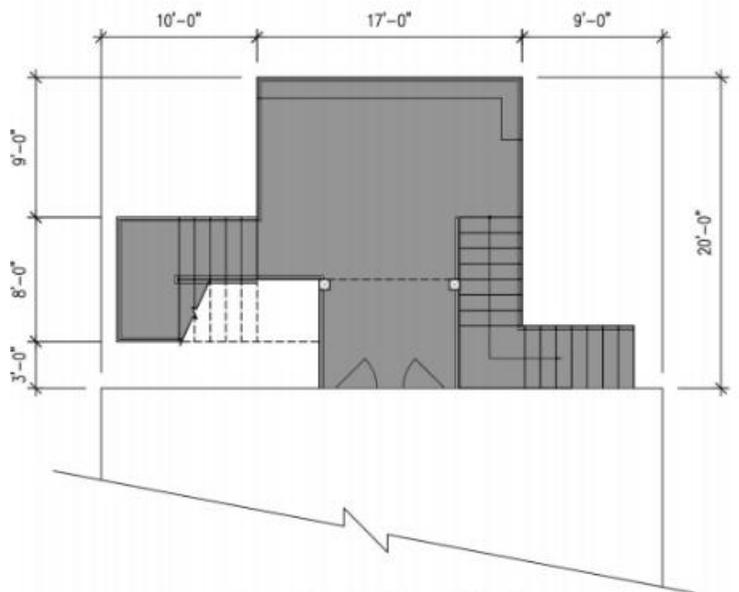
Rear Deck Overhead View



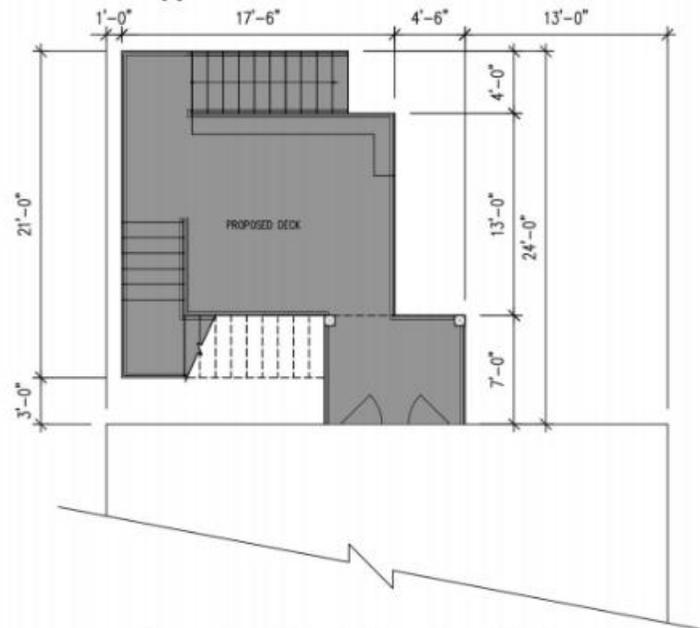
Upper-Level Deck Plan - Old Version



Upper-Level Deck Plan - New Version



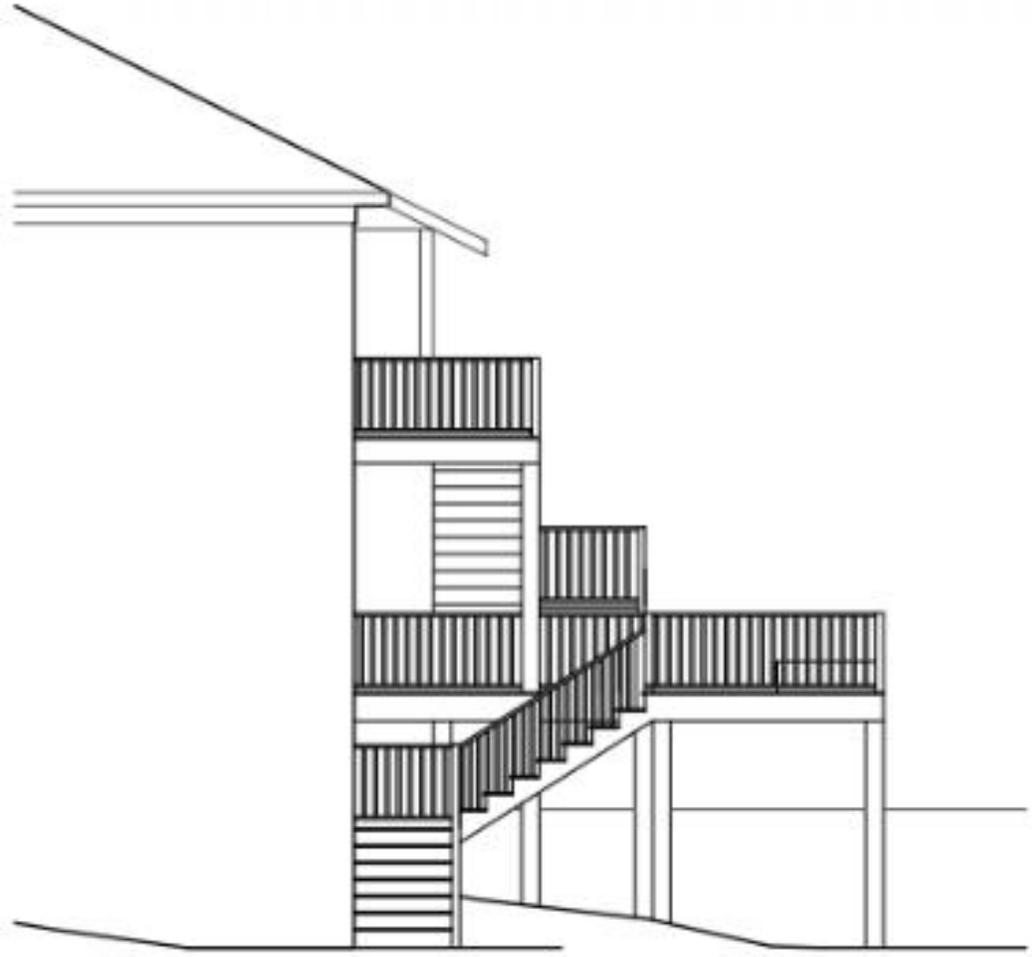
Lower-Level Deck Plan - Old Version



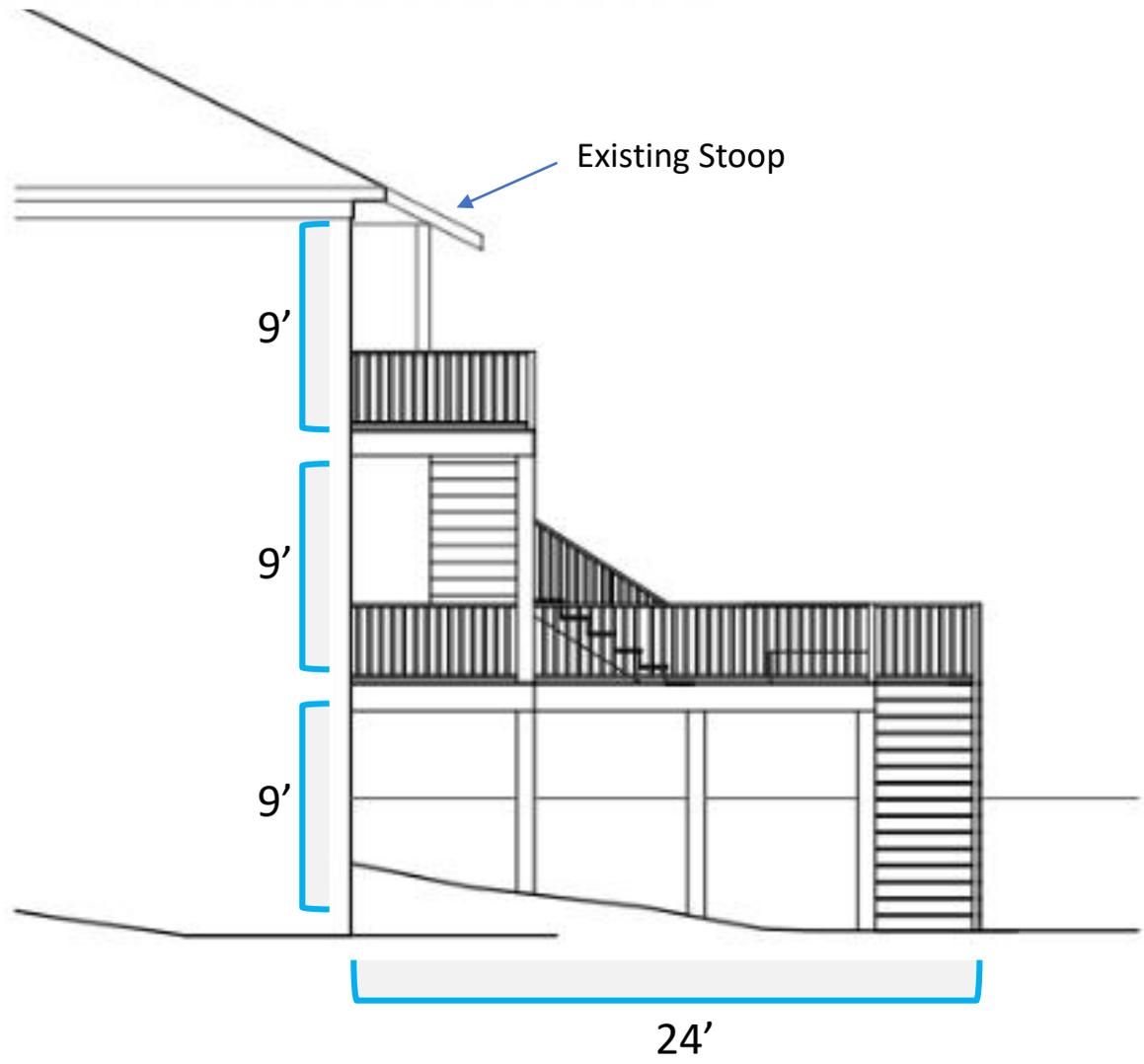
Lower-Level Deck Plan - New Version

Rear Deck Side Profile View

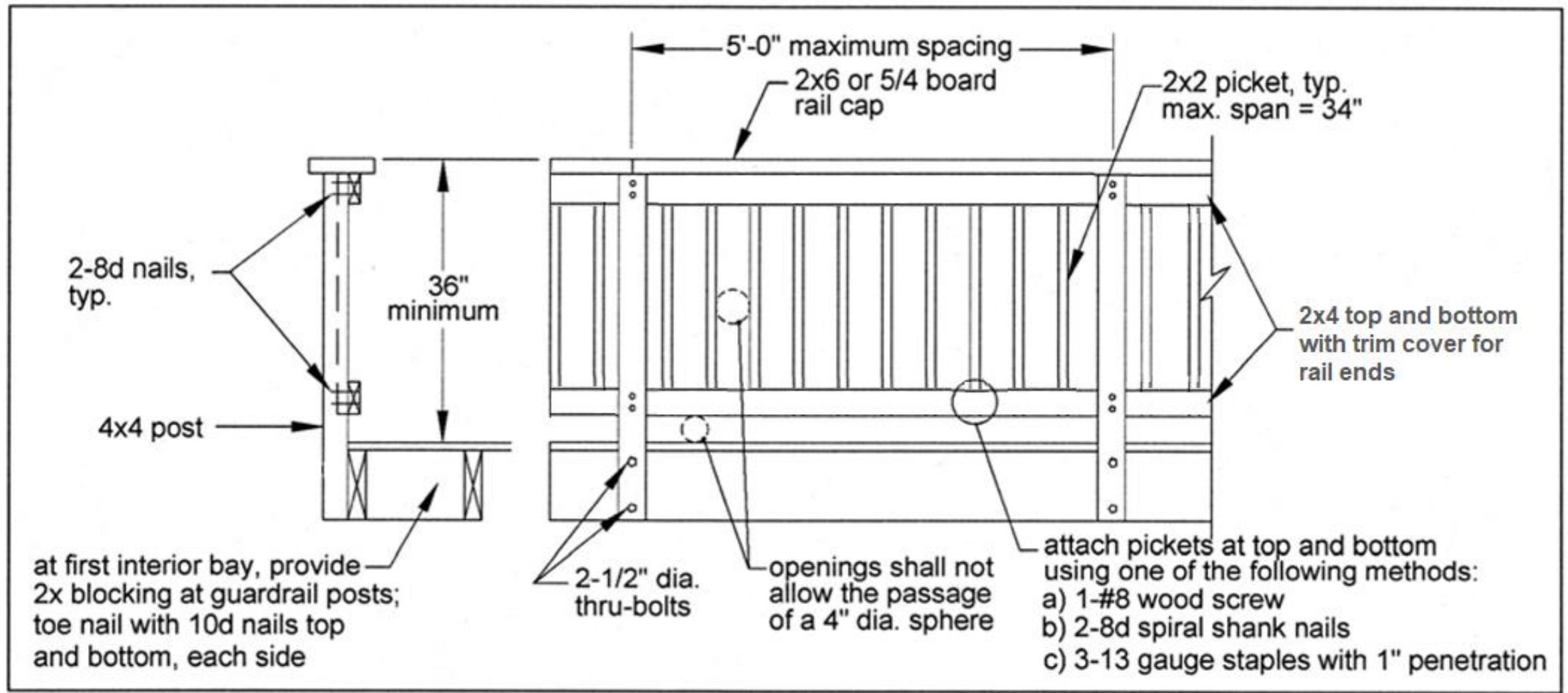
Old Version



New Version



Rear Porch Proposed Rails



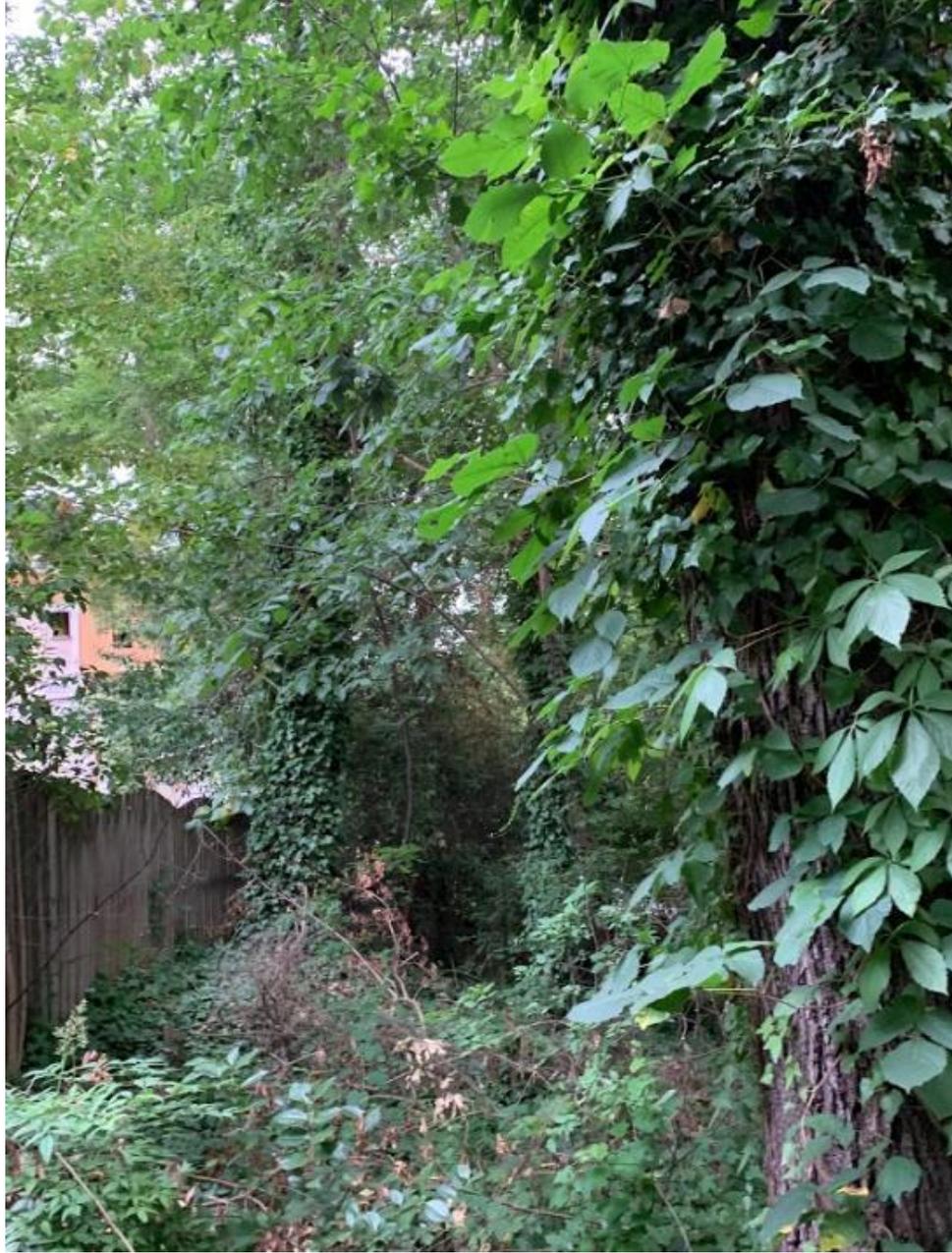
Tree Area Current



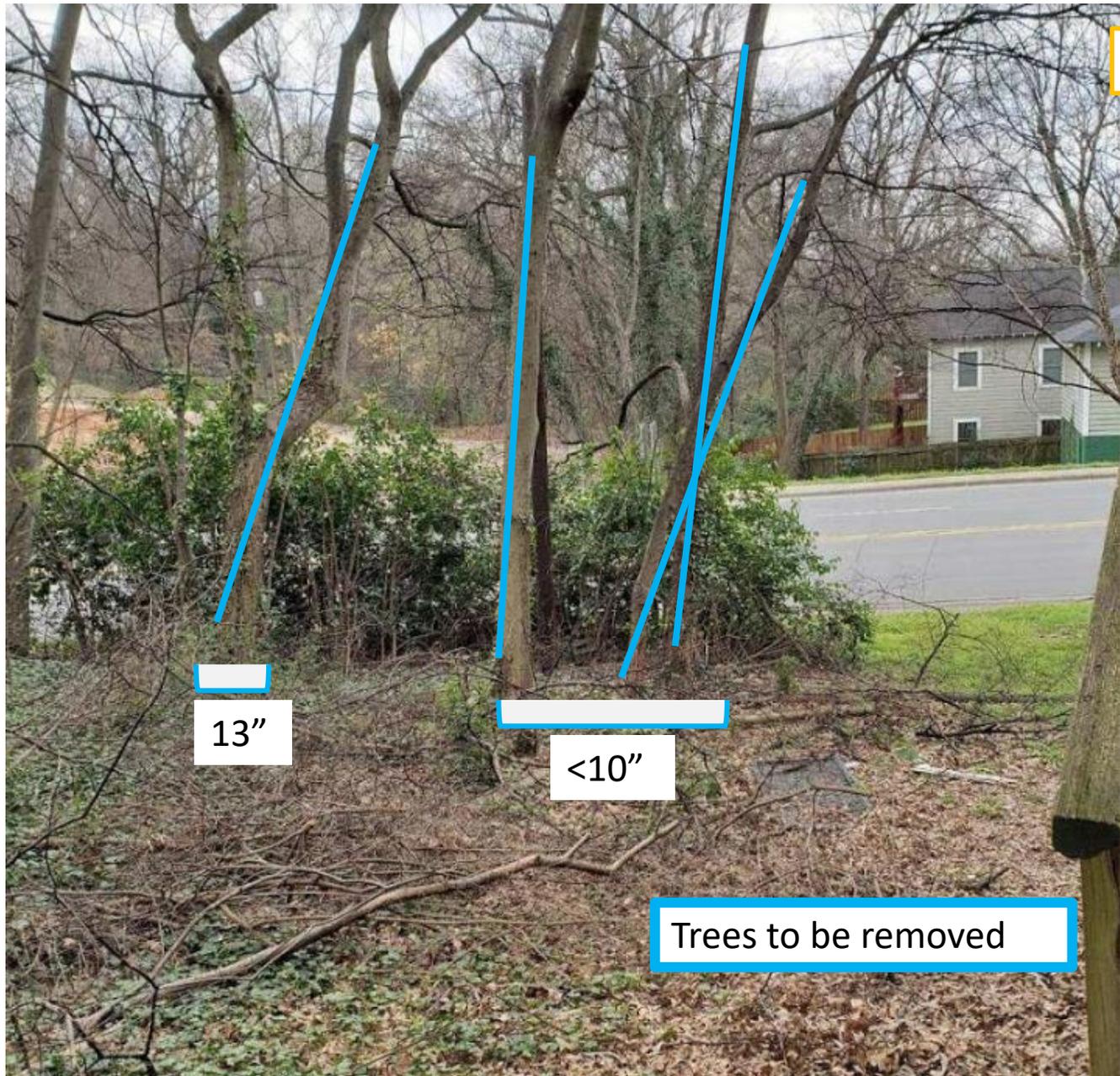
Tree Area Current



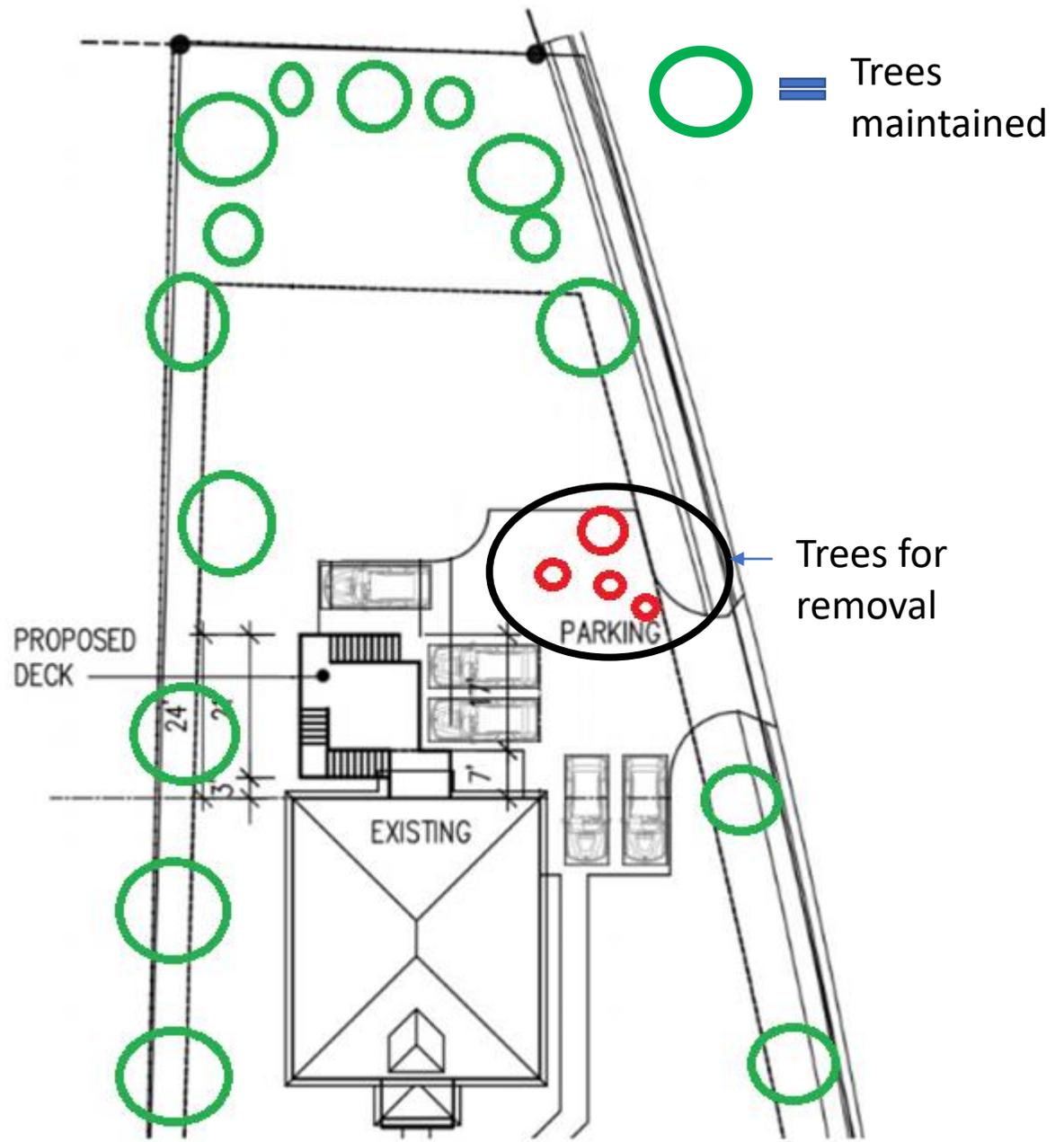
Tree Area Current



Requested Tree Removal

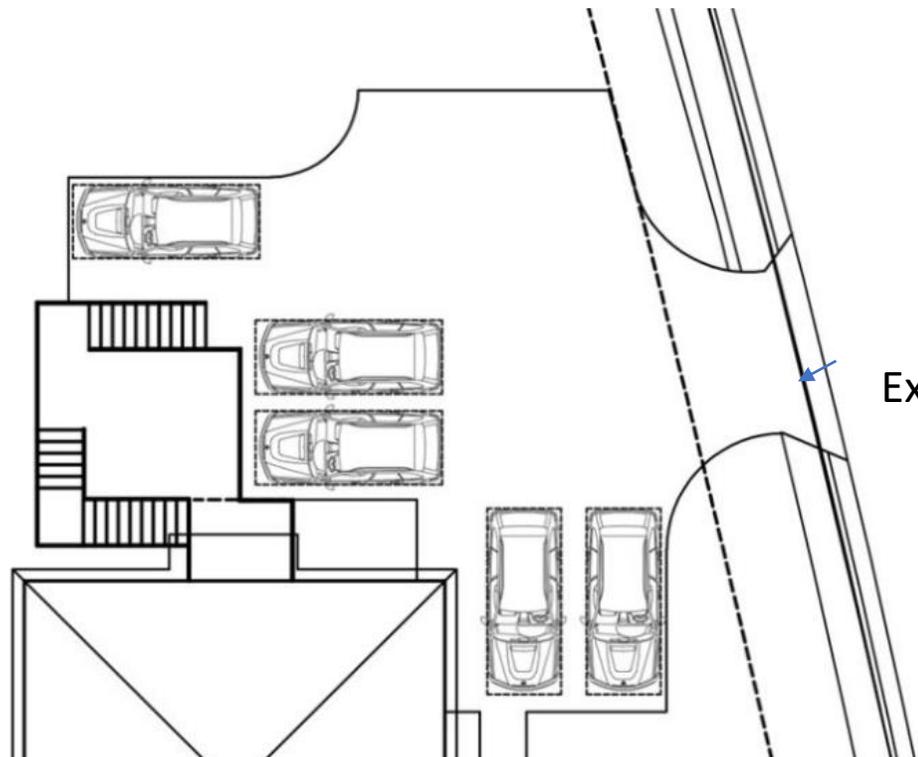


Requested Tree Removal



Rear Parking Proposed

- Rear lot will utilize existing street curb available from West Blvd.
- Proposed parking area, will match front parking material.



Existing Curb



Weidemann, Eric

to Steve, David, me

Steve,

If a driveway apron is existing, and they are now just wanting to attach to it from the private side, it should be compliant, correct? Snip attached.

Thank you,

Canter, Steve <scanter@ci.charlotte.nc.us>

to Eric, David, me

As long as they don't remove the driveway apron. If they remove the existing apron, they will need to rebuild to new City standards, and that includes the sidewalk to ADA standards as well.

Steve Canter
Construction Supervisor
City of Charlotte Land Development
704-336-3655

Fri, May 3, 10:43 AM

Mon, May 6, 1:33 PM