
LOCAL HISTORIC DISTRICT: Wesley Heights

PROPERTY ADDRESS: 700 Grandin Road

SUMMARY OF REQUEST: New construction and detached accessory building

APPLICANT/OWNER: Stephen Chuilli, Lagniappe Builders LLC

The application was continued from September for the following items:

1. Foundation, 6.9 - Revise foundations to meet foundation guideline.
2. Massing and Fenestration, 6.5 and 6.12 - revise fireplace to either ventless or add a chimney.
3. Materials - Provide details of siding height, exposure, and thickness based on precedents on neighboring properties with siding.
4. Spacing, 6.3, item 1 - Provide drawings or evidence that the space between houses complies with the Wesley Heights neighborhood covenants for side yard.
5. Windows, 6.12, item 2 - Provide drawings to show windows comply.
6. Accessory Structures, 8.9, item 6 - Revise garage door to appear as two separate doors and remove Craftsman details, such as brackets, at the garage.
7. Cornices and Trim, 6.11 - Provide details to illustrate trim material at corner boards and trim boards where the material's proud of siding material.

Details of Proposed Request

Existing Conditions

The site is an existing vacant lot located mid-block along Grandin Road. Adjacent structures are single family. This section of Grandin Road has a variety of house sizes, heights, and architectural styles.

Proposal

The project is a new single-family house and detached garage. Lot dimensions are 53' x 202.64'. The front setback will be alignment with the existing adjacent houses. Building height is +/-33'-4" from grade. Materials include fiber cement lap siding, 8'd. front porch with wood tongue and groove flooring, and brick foundation. Windows to be wood or aluminum clad, no vinyl exterior components. Two mature trees in the rear yard would be removed and new maturing canopy trees will be replanted.

The accessory building is approximately 24' in height and secondary to the house in size and scale with materials and details to match the house. The applicant has provided examples of design precedents in the District and historic references for the proposed architectural style.

Revised Proposal – December 12

1. Foundation provided updated information about foundation heights of houses on the street.
2. Fireplace changed to ventless and siding shown on the bump-out.

3. Applicant bringing a sample of trim and siding details.
4. Provided additional information about spacing between houses on street and that no deed restrictions are present on this parcel.
5. Window detail provided
6. Garage doors have hardware and trim detailing them as two-separate doors.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

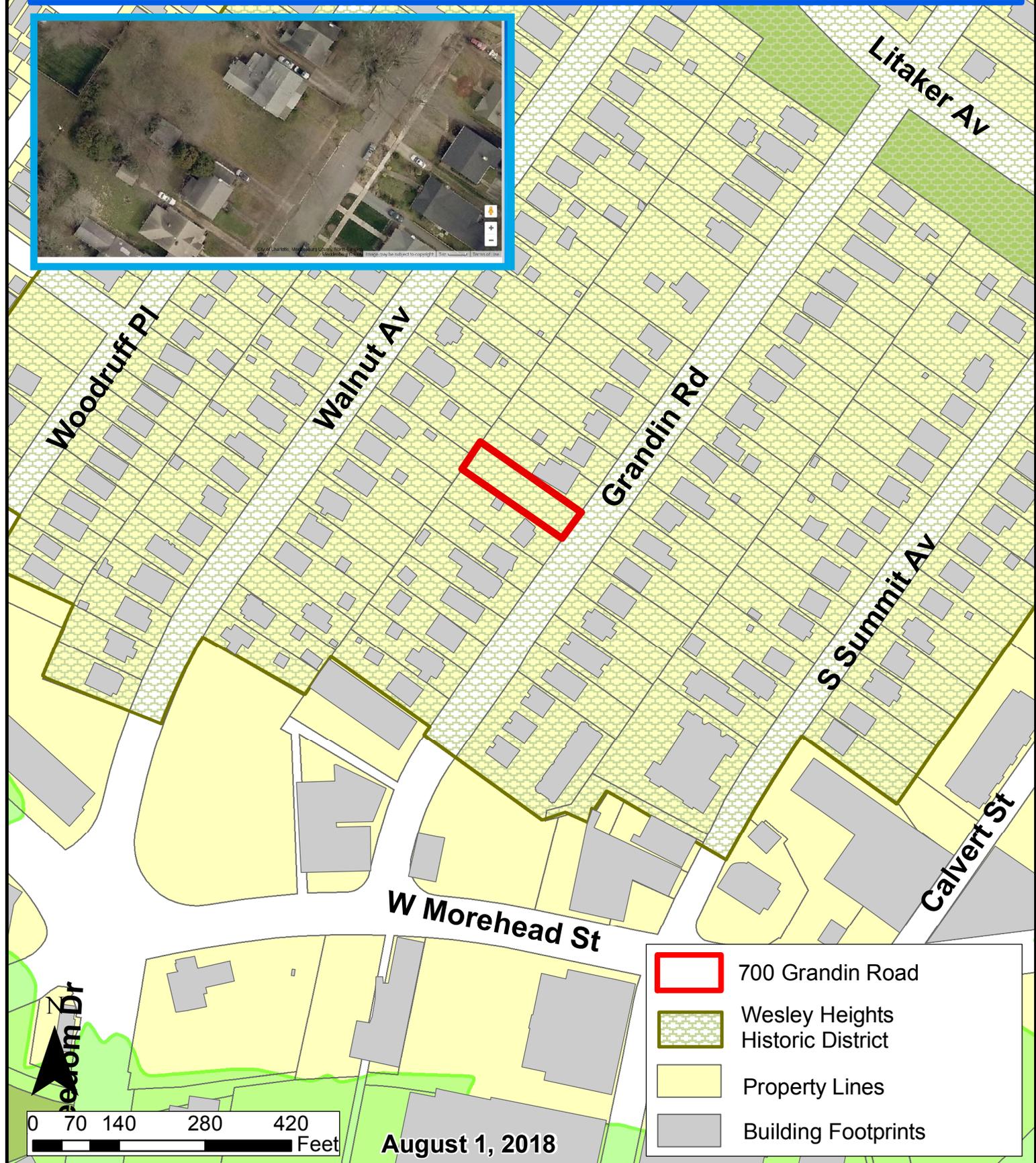
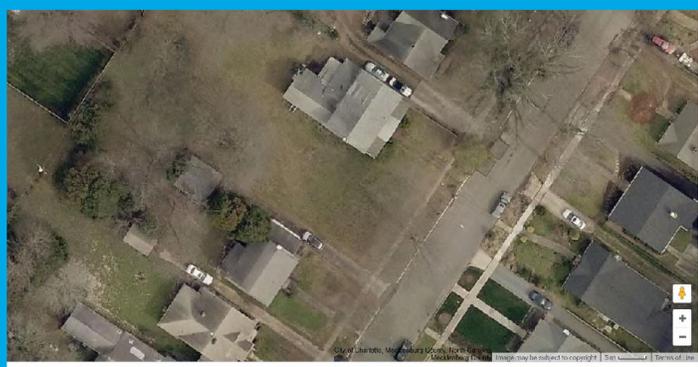
Design Guidelines for Accessory Buildings, page 8.9

1. Retain and repair historic outbuildings. Do not demolish existing historic outbuildings.
2. Place new outbuildings, such as garages or sheds, to the rear of lots that are large enough to accommodate them, following the applicable zoning requirements. New outbuildings cannot be located in front or side yards.
3. Design new outbuildings to be compatible with the style and character of the primary historic building on the site, especially in scale, elements and roof form. Any new outbuilding must be clearly secondary to the main structure on the site.
4. Stamped metal and vinyl doors are considered to be inappropriate materials for outbuildings, and are discouraged. For more information on appropriate new construction see Chapter 6.
5. Prefabricated outbuildings that are not in keeping with the historic character of the district are not allowed where visible from the public street.

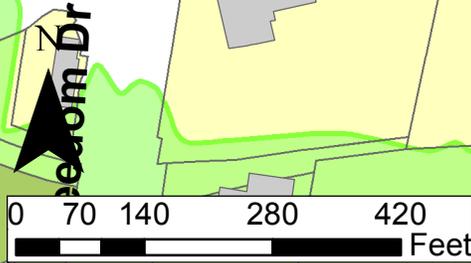
Staff Recommendation

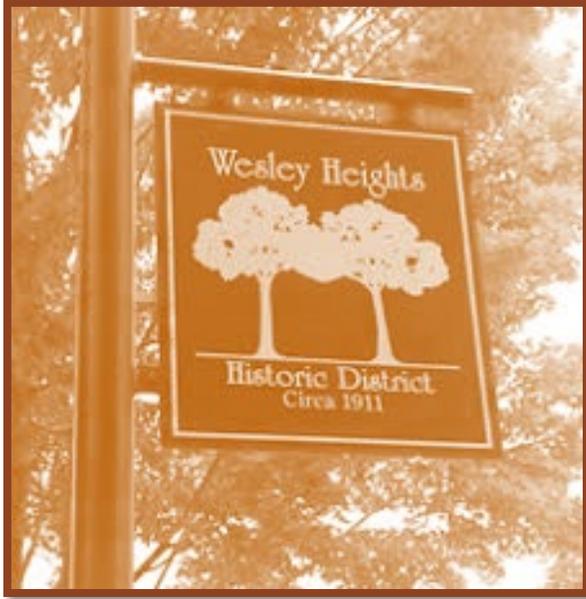
1. The proposal is not incongruous with the District and meets the guidelines for new construction.
2. Minor revisions may be reviewed by staff.

Charlotte Historic District Commission Case 2018-417
HISTORIC DISTRICT: WESLEY HEIGHTS
NEW CONSTRUCTION



-  700 Grandin Road
-  Wesley Heights Historic District
-  Property Lines
-  Building Footprints



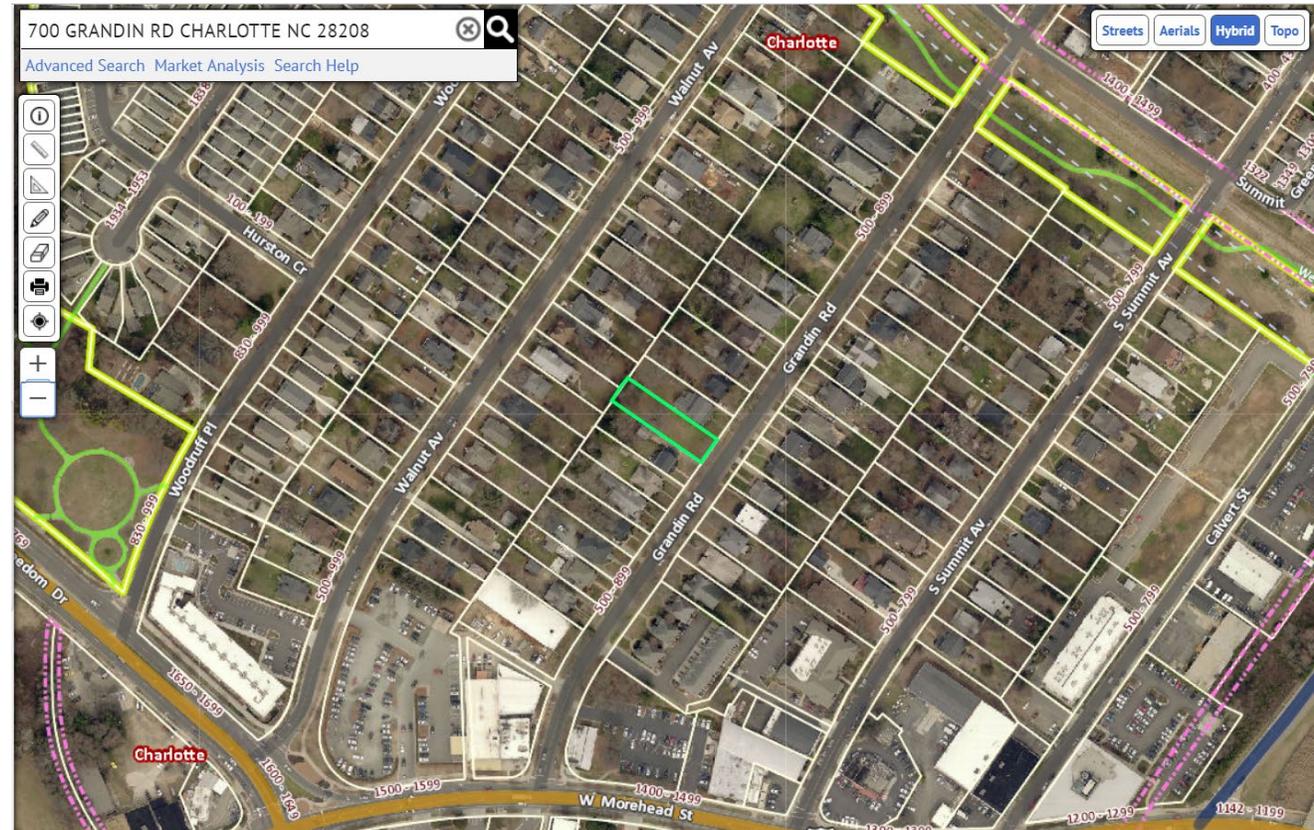


700 GRANDIN ROAD

WESLEY HEIGHTS HISTORIC DISTRICT – NEW
CONSTRUCTION HOME

New Construction - 700 GRANDIN ROAD

- ❖ 700 Grandin Road is a 53 ft x 202 ft vacant lot located in Historic Wesley Heights .12 miles north of W. Morehead
- ❖ We propose to build a new Single Family Home with rear detached 2 car garage
- ❖ The new home will be a two story home with 2,906 sf of heated living area; exterior dimensions of 38 ft x 72 ft
- ❖ The proposed ridge height is 31' 5" above grade (previously 33'4")
- ❖ We will remove a cluster of trees in the middle of the lot that are unsightly and in the way of the new home footprint
- ❖ We intend to plant two new Willow oaks on the site in addition to foundation landscaping – trees were selected from the list of approved Large Maturing Trees provided by Charlotte Zoning



Context

There are a variety of similarly sized homes in Wesley Heights spanning a number of architectural styles common to the period

704 GRANDIN —
DUTCH COLONIAL



601 GRANDIN —
ANTEBELLUM



624 GRANDIN —
FARMHOUSE



421 GRANDIN —
AMERICAN CRAFTSMAN



Context

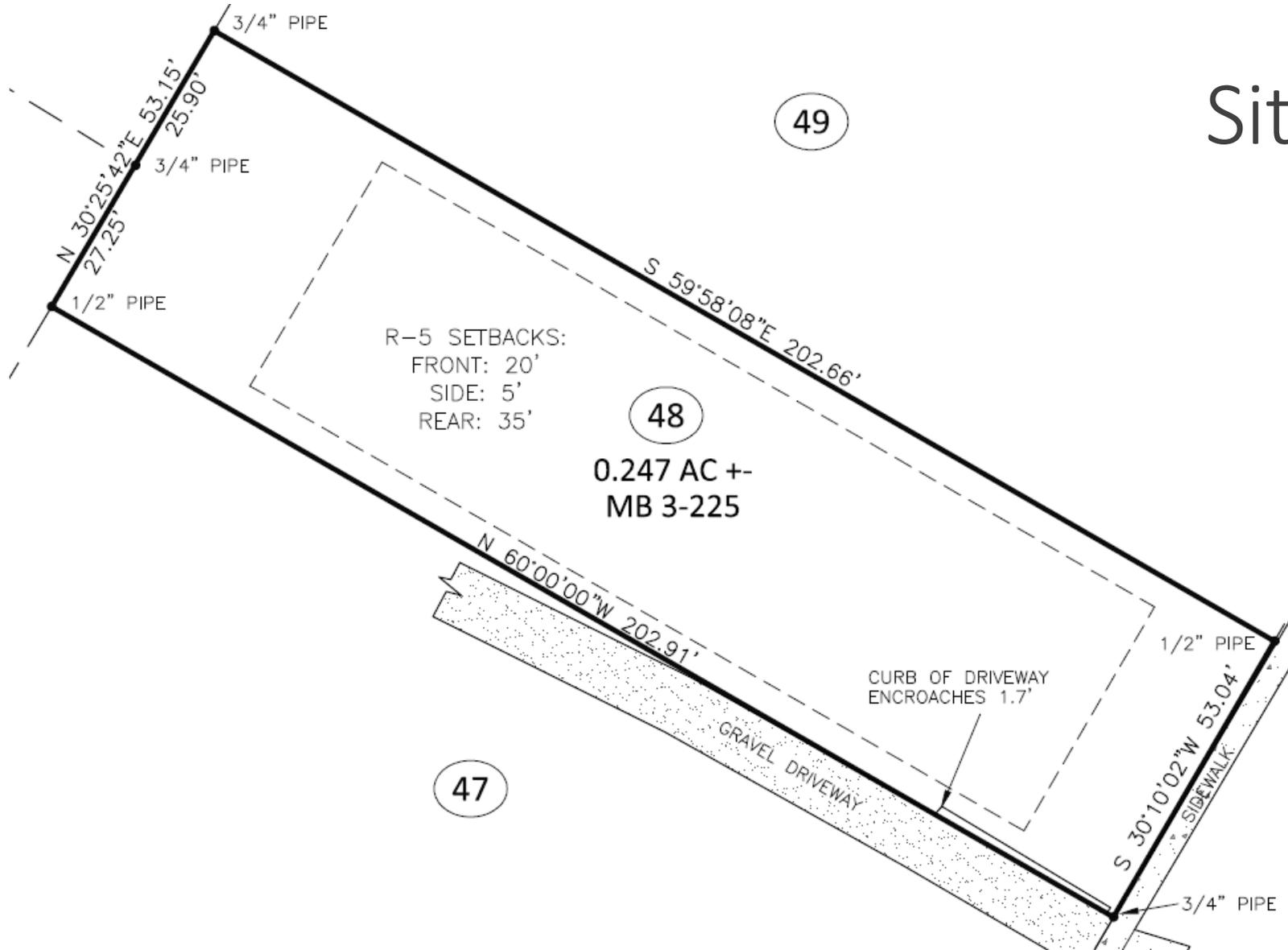
Additional architectural styles in Wesley Heights

432 Walnut —
FARMHOUSE

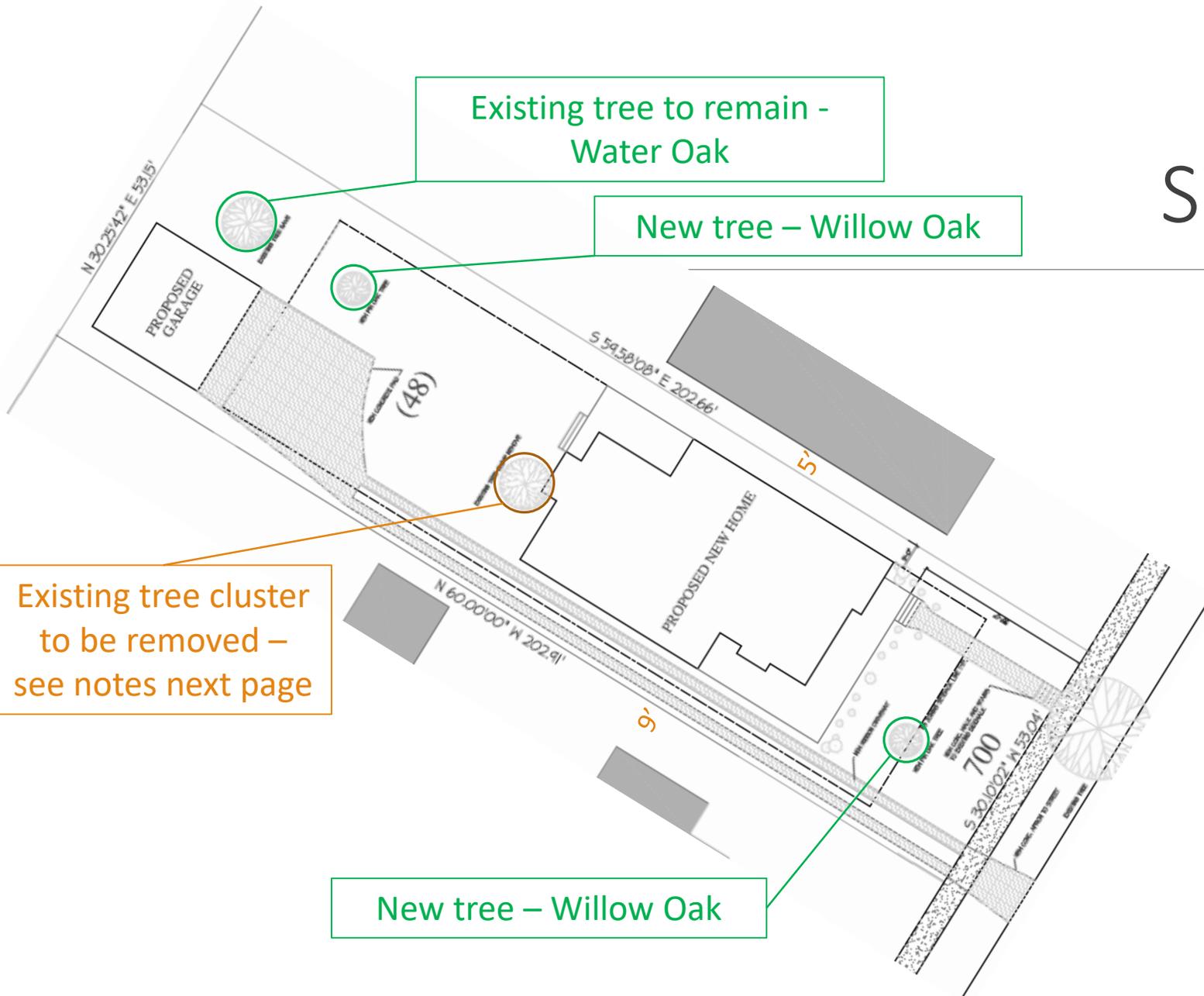


700 S SUMMIT —
CRAFTSMAN

Site Plan - Existing



Site Plan - Proposed



- ❖ Right side yard is 5', Left side yard is 10'
- ❖ Adjacent right - 632 Grandin side yard is 5'
- ❖ Adjacent left - 704 Grandin side yard is 9'
- ❖ Front of home is placed 35' from front property line, consistent with adjacent homes
- ❖ Rear garage is 5' from rear and left side setbacks
- ❖ New **Willow Oaks** to be planted in front & rear yards

Spacing between Homes on Grandin Rd

- There is no deed restriction or applicable covenant on this lot that requires a 7' Side Yard
- Spacing at 5' side yard on the right and 9' on the left is not incongruous with the neighborhood

PROPOSED

Left Adresses	Space b/w homes (Approx.)	Right Address
632 Grandin Road	13'	630 Grandin Road
630 Grandin Road	10'	624 Grandin Road
700 Grandin Road	10'	632 Grandin Road
704 Grandin Road	18'	700 Grandin Road
708 Grandin Road	18'	704 Grandin Road
708 Grandin Road	5'	712 Grandin Road
624 Grandin Road	10'	620 Grandin Road

Existing Tree Cluster



FRONT VIEW OF LOT

TREE CLUSTER

- Located 93' from rear of property
- Unsightly and unkept
- One small Pecan
- One larger Water Oak
- One smaller Water Oak
- One smaller unidentified

Due to the nature of the tree clustering and proximity to new structure, it is not possible nor recommended to salvage this growth



Front Elevation & Rendering

- ❖ This rendering shows the front view of the proposed new home and relationship to the detached rear garage
- ❖ This rendering also shows the proposed site plan and relationships of the driveway, new front tree and front walkway



Closed rake returns
to be used, not
“Bird Box” returns

Other Elevations



FRONT ELEVATION



REAR ELEVATION

Elevations show
closed rake returns

RIGHT ELEVATION

November



LEFT ELEVATION



DECEMBER

Other Elevations

RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



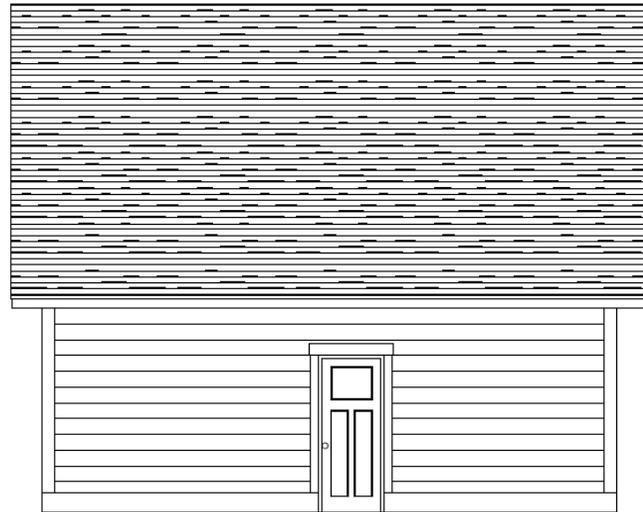
REAR ELEVATION





FRONT ELEVATION DETAIL
SCALE: 1/4" = 1'0"

Ridge Height on
Garage dropped to
20'6" from 24'

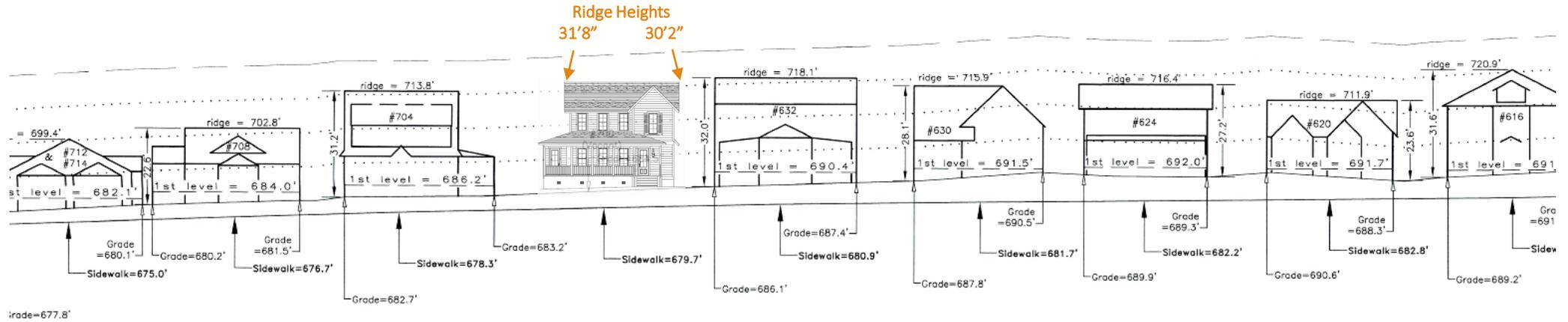


RIGHT ELEVATION DETAIL
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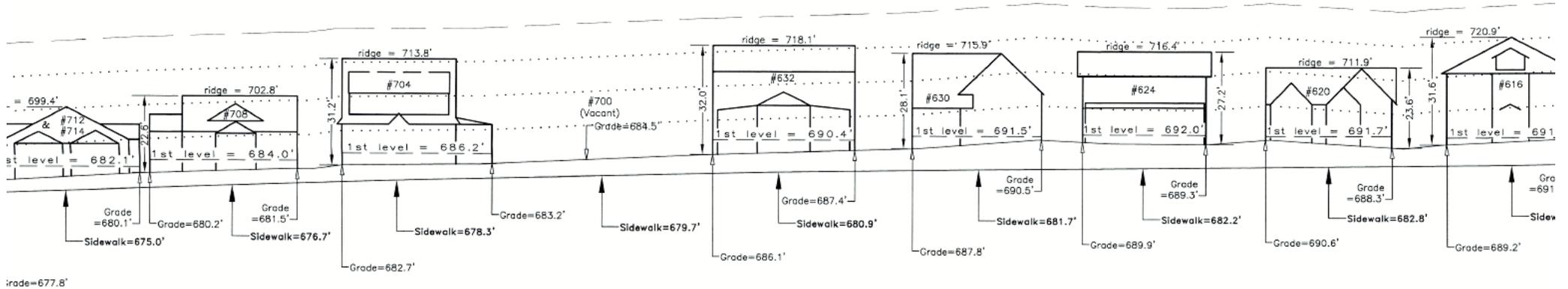
Rear Detached Garage

- ✓ Garage dimensions are 23'8 wide by 24'0 deep
- ✓ Garage will feature the same exterior finishes as the main home
- ✓ Garage will be placed 5' from rear and left setbacks
- ✓ A concrete ribbon driveway with center grass strip will run from the entrance pad to the garage pad
- ✓ Garage door design to appear as two separate doors

Grandin Road Street Scape



The proposed ridge height would stand 1' 10" shorter than the adjacent house to the right at 632 Grandin Road (30' 2" as compared to 32' 0")



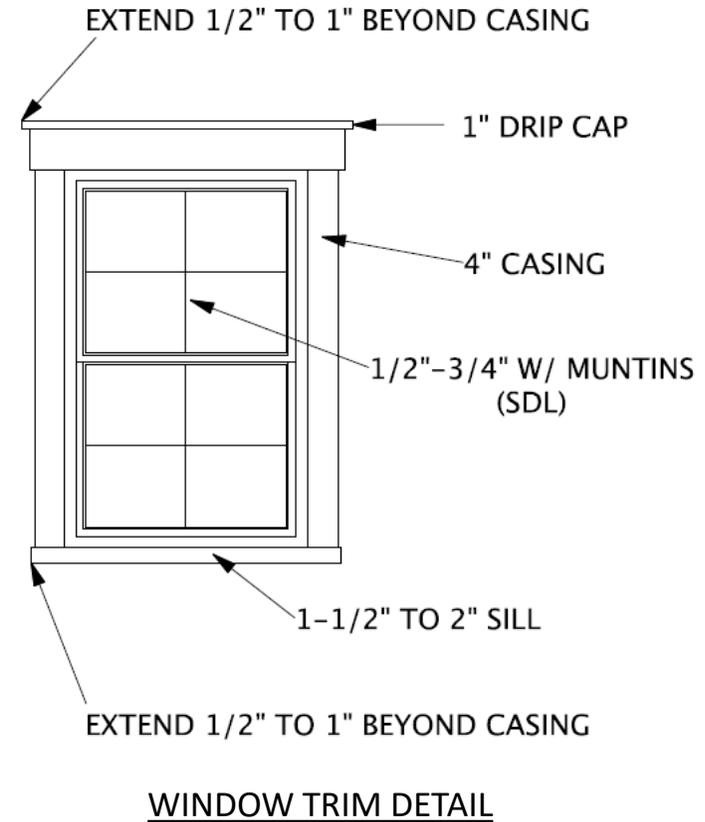
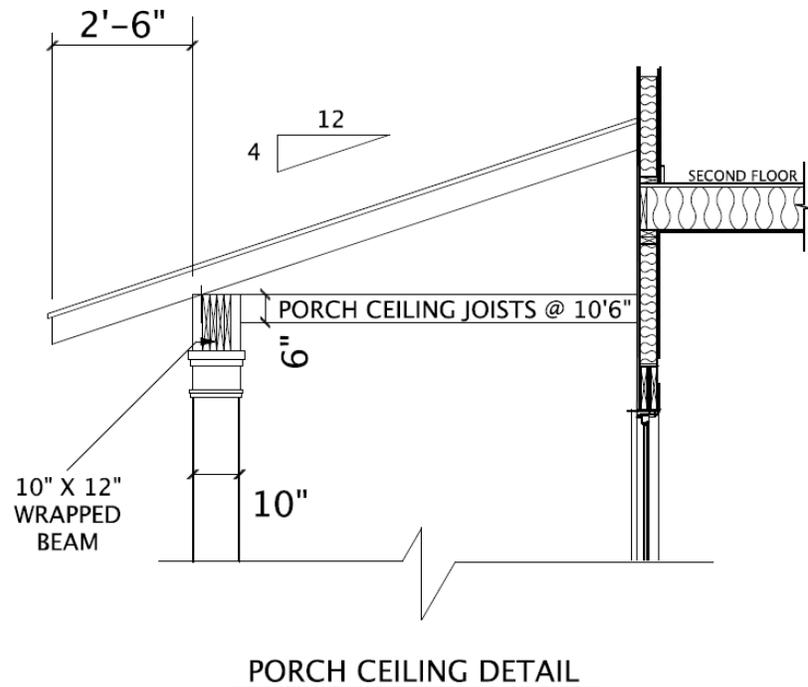
Existing Street Scape with vacant lot

Foundation Height to Finished 1st Floor

PROPOSED

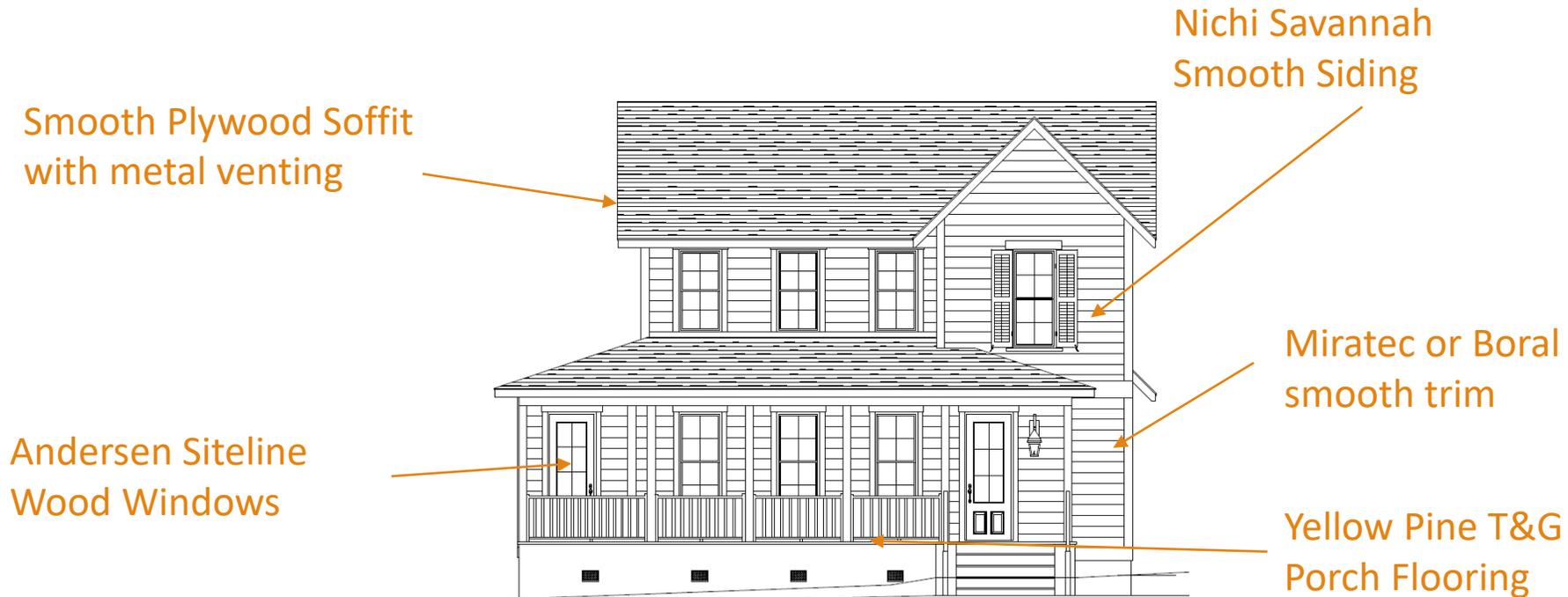
Adjacent Adresses	Low Side	High Side	Lot Slope
632 Grandin Road	3' 0"	4' 3"	1' 3"
704 Grandin Road	3' 0"	3' 6"	0' 6"
700 Grandin Road	2' 2"	3' 8"	1' 6"
708 Grandin Road	2' 6"	3' 10"	1' 4"
712 Grandin Road	2' 0"	4' 4"	2' 4"

Architectural Details



Materials and Finishes

We intend to use previously approved finishes for the exterior of the home





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N 30.25'42" E 53.15'

PROPOSED GARAGE



EXISTING TREE SAVE



NEW PIN OAK TREE

NEW CONCRETE PAD

(47)

(48)

(49)

N 60.00'00" W 202.91'

S 54.58'08" E 202.66'

EXISTING TREE CLUMP REMOVE



PROPOSED NEW HOME

NEW RIBBON DRIVEWAY



NEW PIN OAK TREE

NEW CONC. WALK AND STAIRS TO EXISTING SIDEWALK

700

S 30.10'02" W 53.04'

NEW CONC. APRON TO STREET

EXISTING TREE



GRANDIN RD.

PLAN FOR BUILD AT
700 GRANDIN ROAD
CHARLOTTE, NC
LAGNIAPPE BUILDERS LLC

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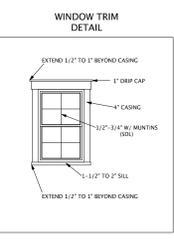
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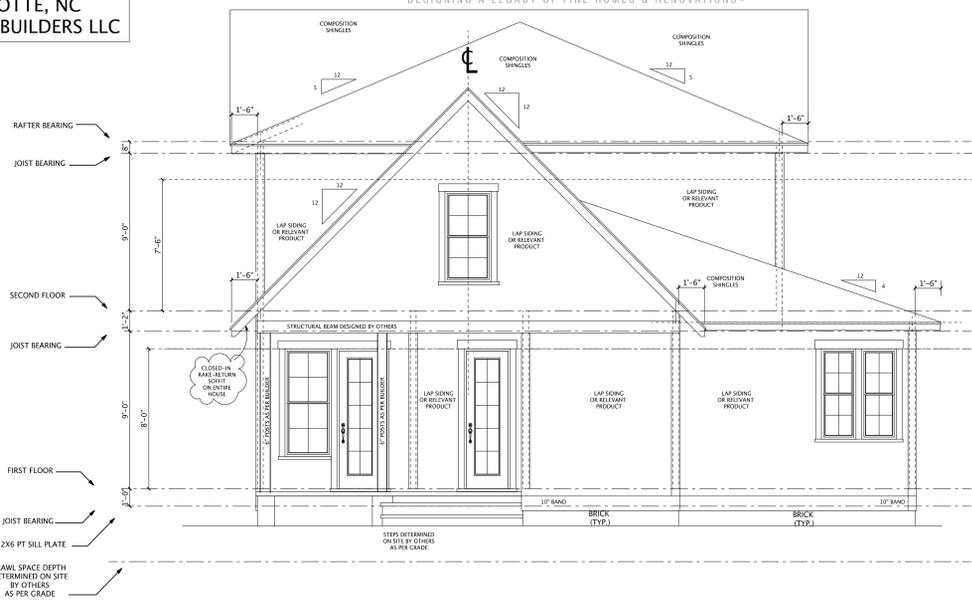


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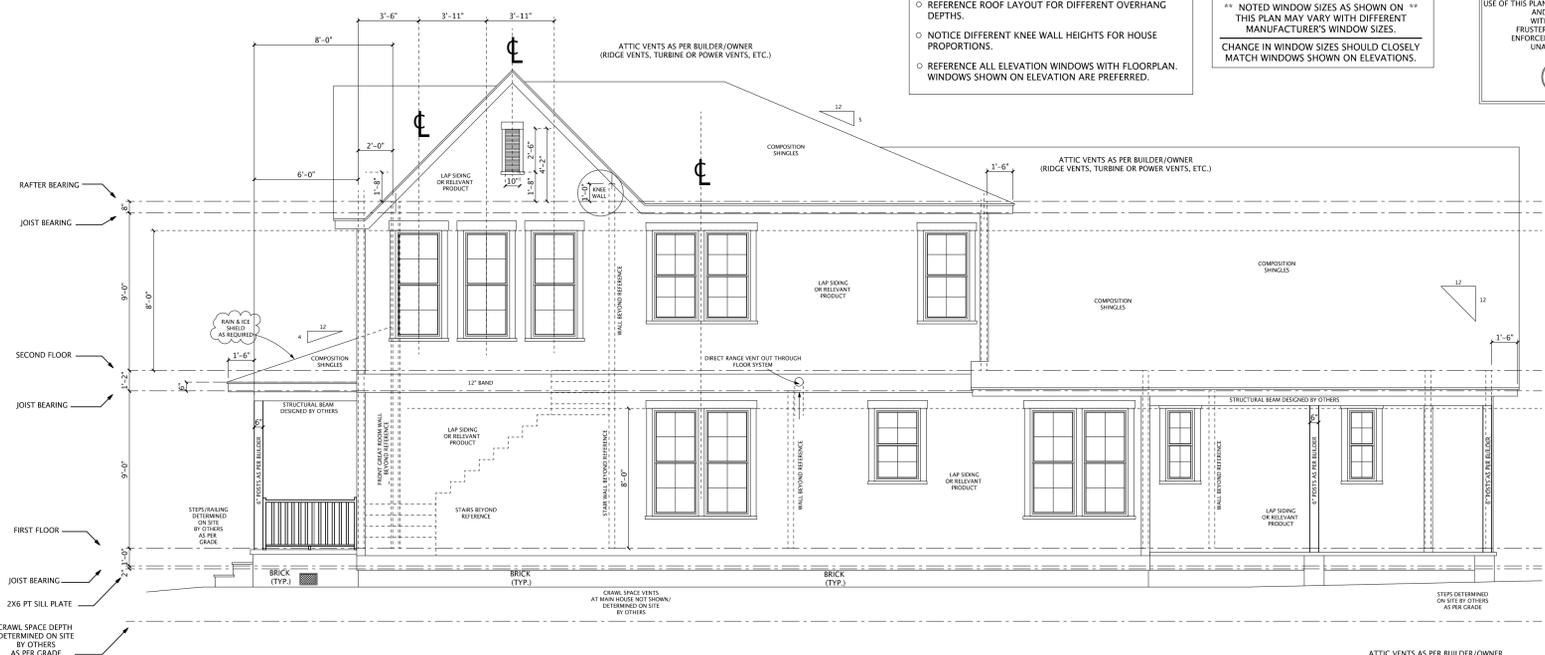
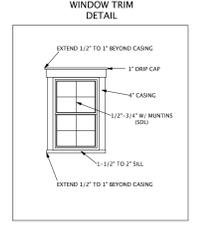
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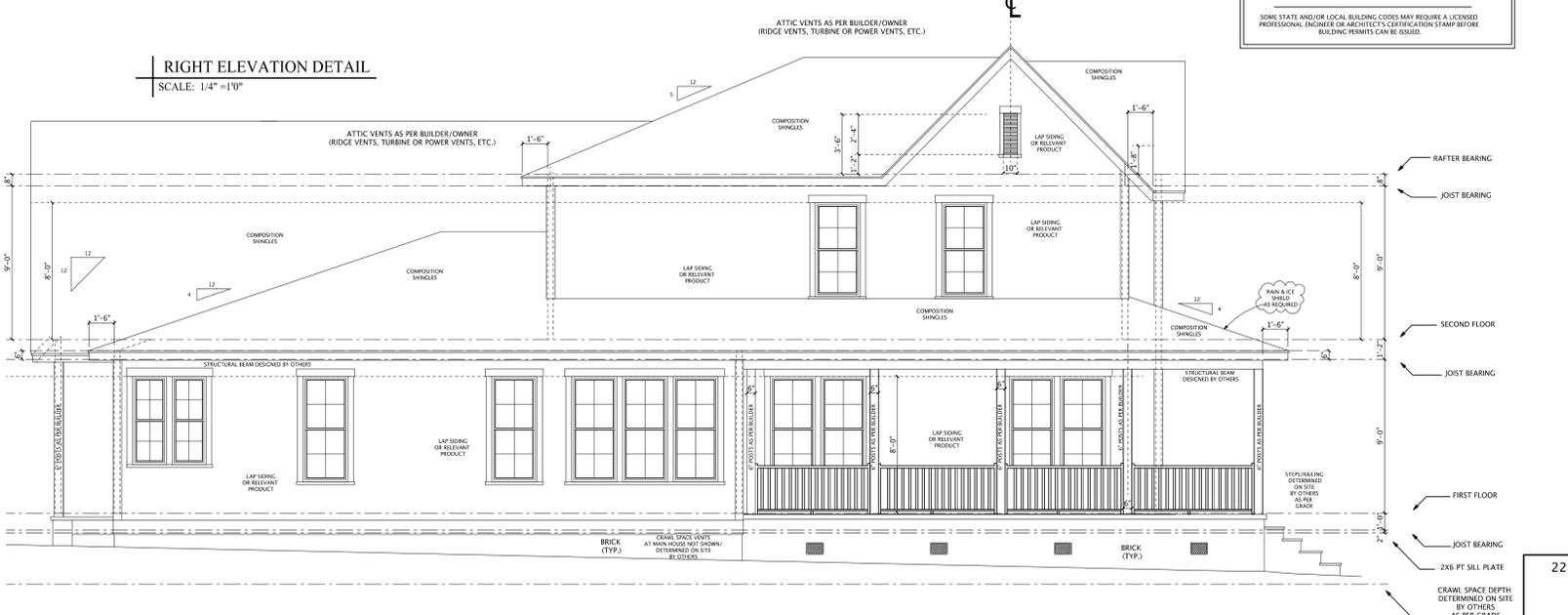
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LEFT ELEVATION DETAIL
SCALE: 1/4"=1'-0"

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AMERICAN INSTITUTE OF BUILDING DESIGN
PROFESSIONAL MEMBER

CUSTOM HOME DOCUMENTS FOR:
LAGNIAPPE BUILDERS LLC
700 GRANDIN ROAD
CHARLOTTE, NC

frusterio

DESIGN DATE: DECEMBER 05, 2018
PLOTTING TIME: 09:45 AM

2282-2187-0318

JOB # 2282-2187-0318

FEDERAL COPYRIGHT REGISTERED
BUILDING PERMIT
COPYRIGHT WARNING



LEFT ELEVATION DETAIL
SCALE: 1/4" = 1'-0"

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PLEASE READ CAREFULLY
**** BEFORE STARTING CONSTRUCTION ******

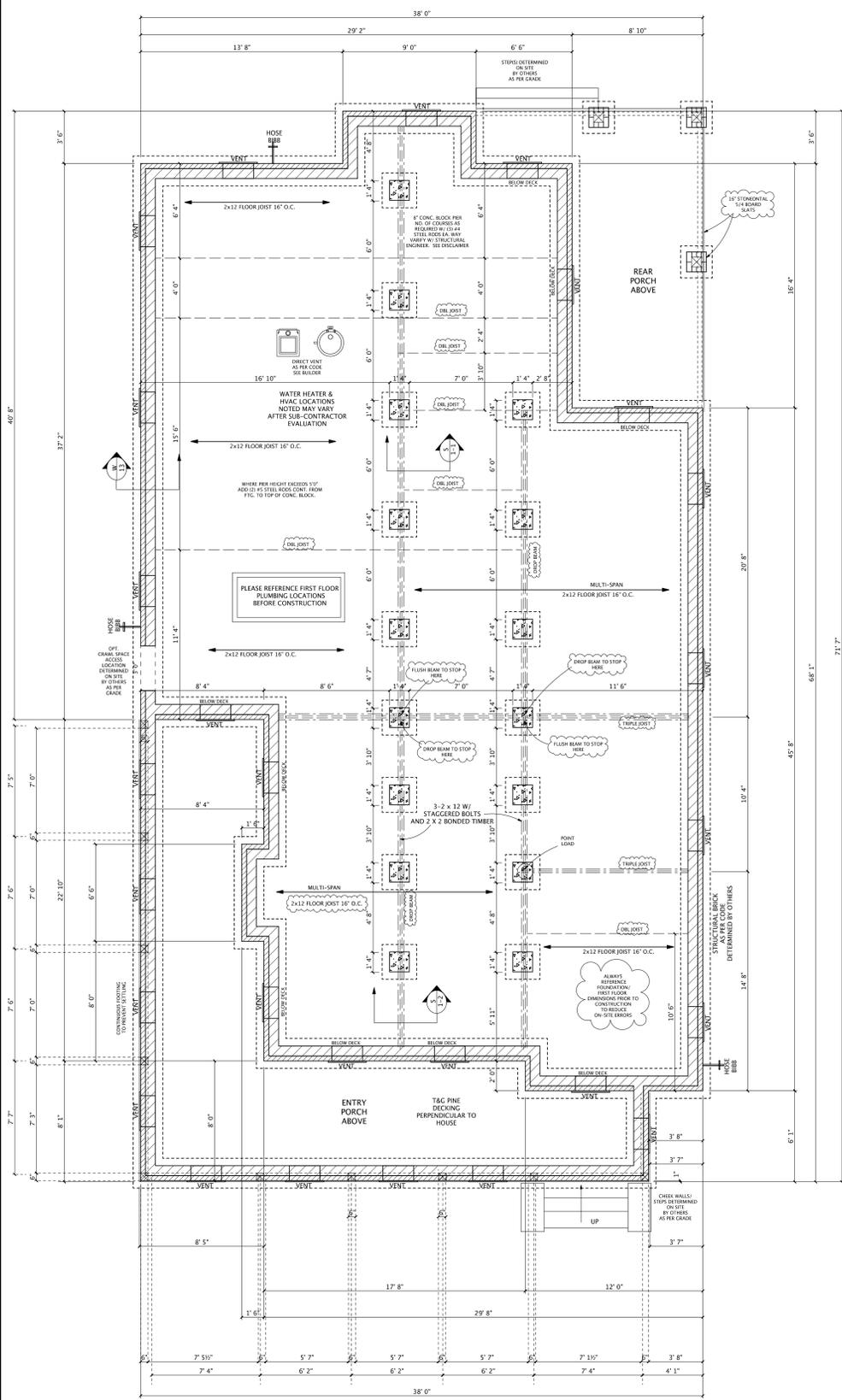
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GENERAL FOUNDATION NOTES:

REQUIRED GRADE BEAM LOCATIONS DETERMINED BY OTHERS
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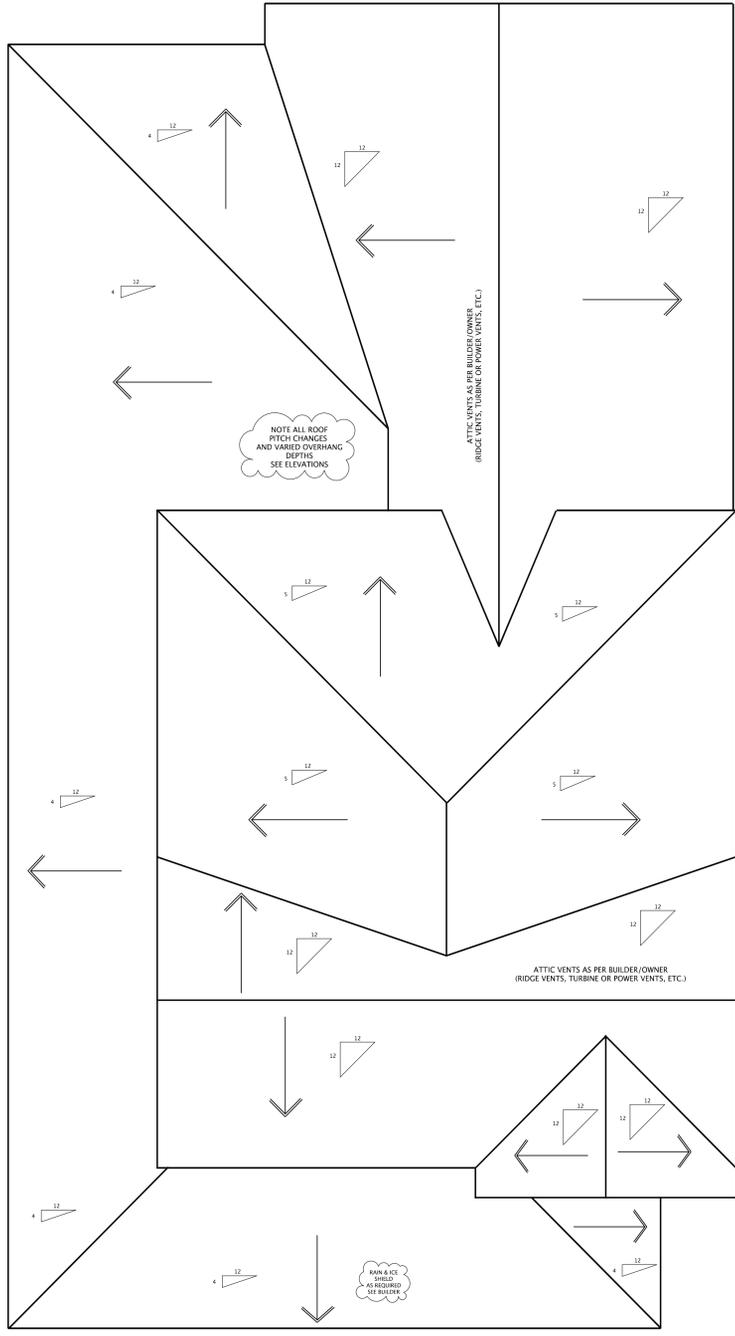
OUTER EDGES OF FOOTINGS SHALL NOT BE POURED WITHIN 2'-0" OF THE EDGE OF ANY FULL SLOPE. BOTTOM OF ALL FOOTINGS SHOULD BE 3" BELOW GRADE OR MEET ALL LOCAL BUILDING CODE REQUIREMENTS.

ENCAPSULATED CRAWL SPACE RECOMMENDED

PLAN FOR BUILD AT 700 GRANDIN ROAD CHARLOTTE, NC LAGNIAPPE BUILDERS LLC

IMPORTANT CARPENTER NOTES:

- SET ALL DORMERS, KNEE WALLS AND ROOF RAFTERS BEFORE FRAMING INTERIOR ATTIC ROOMS. A MINIMUM WALL HEIGHT OF 5' 0" IS REQUIRED. SLOPE UP TO 9' 0" FLAT CEILING UNLESS OTHERWISE INDICATED.
- DOUBLE JOIST ALL NON-LOAD BEARING WALLS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.
- BASEMENT WALLS SUPPORTING LOADS FROM THE FIRST AND SECOND FLOOR MUST BE CONSTRUCTED TO MEET INTERNATIONAL RESIDENTIAL CODES.
- ENGINEERED LAMINATED BEAMS AND FLOOR SYSTEMS SHOULD BE DESIGNED, ENGINEERED AND MANUFACTURED BY GEORGIA-PACIFIC, BOISE CASCADE, OR OTHER ENGINEERED PRODUCT MANUFACTURER.
- REFERENCE NOTED DISCLAIMERS AND RECOMMENDATIONS
- IMPORTANT: REFERENCE ALL EXTERIOR FRAMING WITH "FRONT PROPORTION & DETAIL" SHEET FOR ELEVATION PROPORTIONS.
- PLACE ALL HEADERS AT THE TOP AND SCAB DOWN TO WINDOW HEIGHT.
- PLEASE NOTE DOUBLE WALLS AND DOUBLE 2x4 STUD WALLS. ALSO NOTE ANY KNEE WALLS FOR CORRECT FRONT PROPORTIONS.
REFERENCE ALL WINDOWS FROM PLAN W/FRONT ELEVATIONS.
- FLASH ALONG ALL BRICK CHIMNEY STACKS AT ROOF AGAINST FRAMING STACK AND BRICK ABOVE FLASHING.



LIMITED CONSTRUCTION LICENSE
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AMERICAN INSTITUTE OF BUILDING DESIGN
A I B D
PROFESSIONAL MEMBER

CUSTOM HOME DOCUMENTS FOR:
LAGNIAPPE BUILDERS LLC
700 GRANDIN ROAD
CHARLOTTE, NC

frusterio
DESIGNER OF FINE HOMES & RENOVATIONS

DESIGN DATE: OCTOBER 29, 2018
PLOTTING TIME: 08:46 AM

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2282-2187-0318

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IMPORTANT NOTES:

SCALE ALL STUCCO DETAILS FROM THE ELEVATION DRAWINGS.

REFERENCE ROOF LAYOUT FOR DIFFERENT OVERHANG DEPTHS.

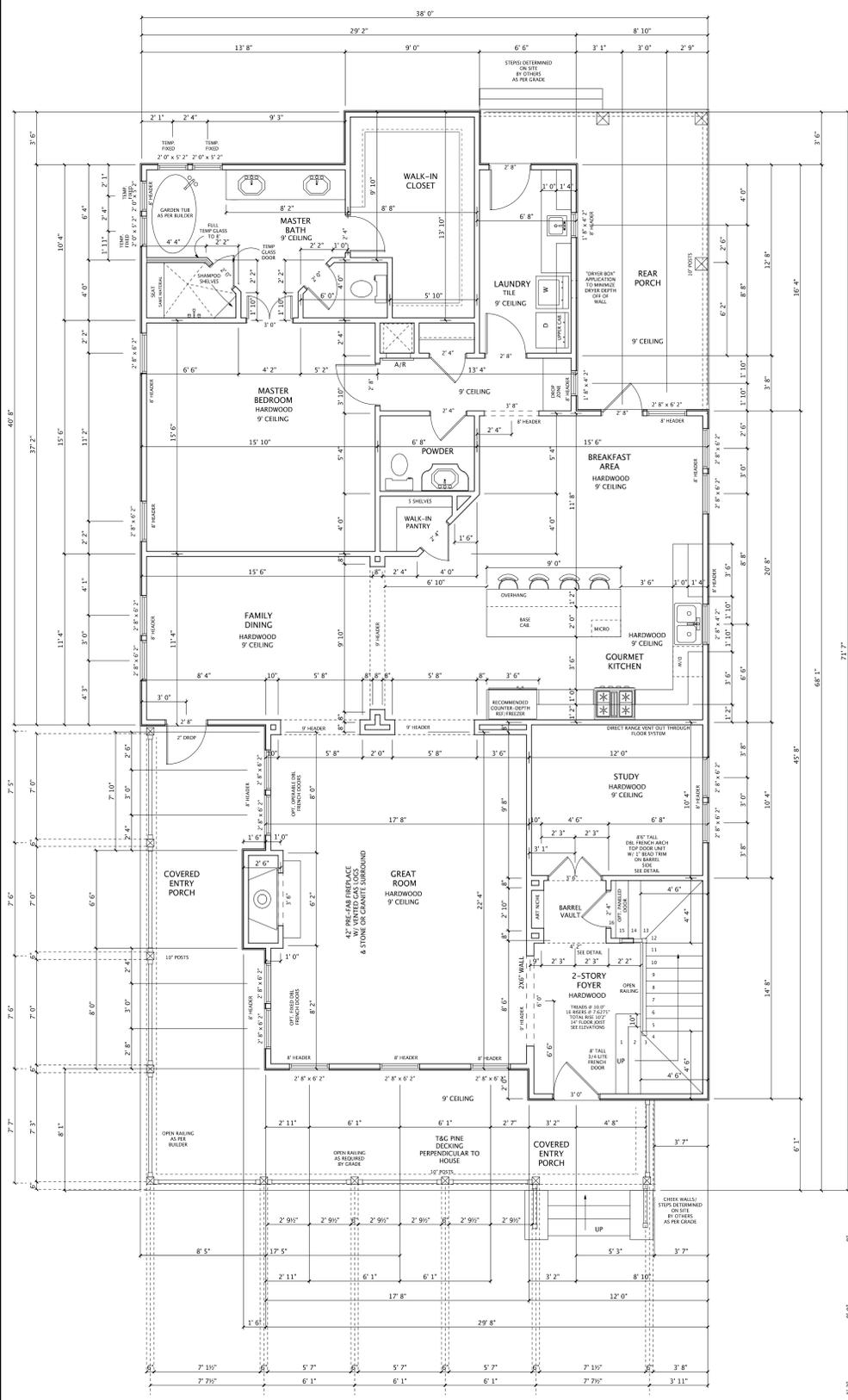
NOTICE DIFFERENT KNEE WALL HEIGHTS FOR HOUSE PROPORTIONS.

REFERENCE ALL WINDOWS ON FLOORPLAN WITH ELEVATIONS & NOTIFY OWNER AND/OR DESIGNER OF ANY DISCREPANCIES BEFORE ORDERING WINDOW PACKAGE.

** NOTED WINDOW SIZES AS SHOWN ON THIS PLAN MAY VARY WITH DIFFERENT MANUFACTURER'S WINDOW SIZES.

CHANGE IN WINDOW SIZES SHOULD CLOSELY MATCH WINDOWS SHOWN ON ELEVATIONS.

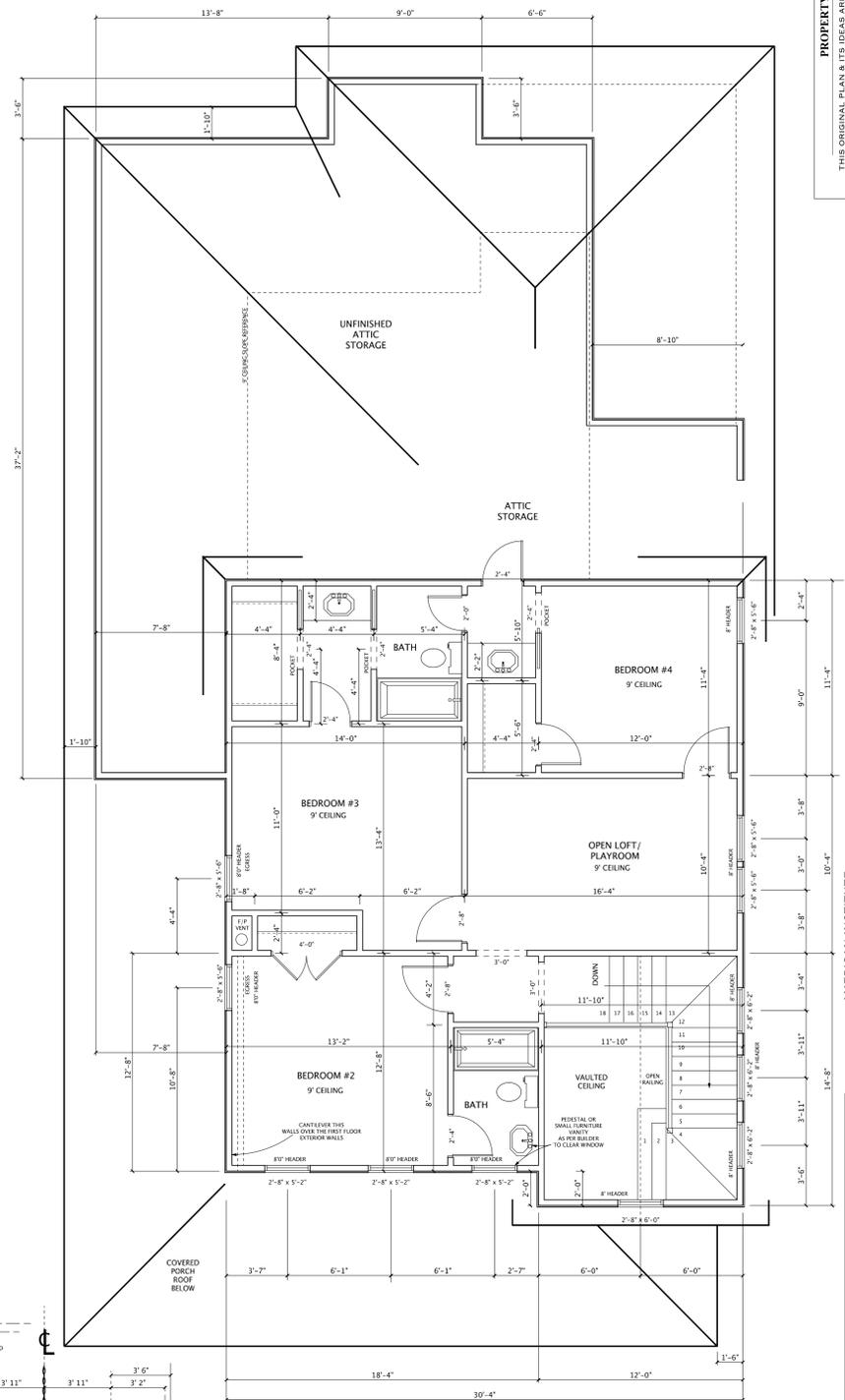
**PLAN FOR BUILD AT
700 GRANDIN ROAD
CHARLOTTE, NC
LAGNIAPPE BUILDERS LLC**



FIRST FLOOR DETAIL CONSTRUCTION SHEET
SCALE: 1/4" = 1'-0"

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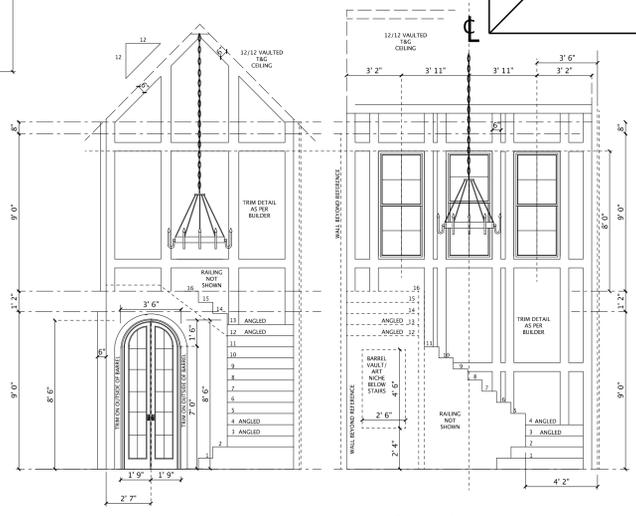
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SECOND FLOOR DETAIL CONSTRUCTION SHEET
SCALE: 1/4" = 1'-0"

AREAS

FIRST FLOOR	2,001 sq ft
SECOND FLOOR	896 sq ft
TOTAL LIVING:	2,897 sq ft



REAR FOYER WALL ELEVATION VIEW
RIGHT FOYER WALL ELEVATION VIEW

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AMERICAN INSTITUTE OF BUILDING DESIGN
PROFESSIONAL MEMBER

AI **BD**

CUSTOM HOME DOCUMENTS FOR:
LAGNIAPPE BUILDERS LLC
700 GRANDIN ROAD
CHARLOTTE, NC

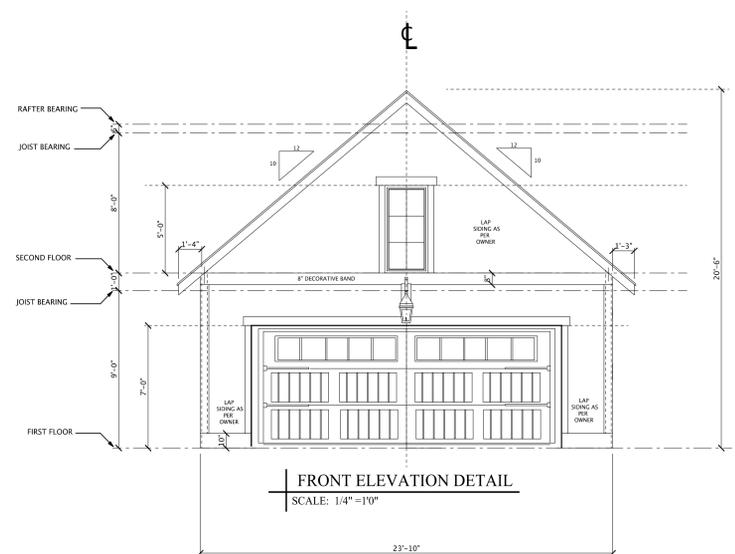
frusterio
DESIGNING A LEGACY OF FINE HOMES & RENOVATIONS®

DESIGN DATE: OCTOBER 29, 2018
PLOTTING TIME: 08:47 AM

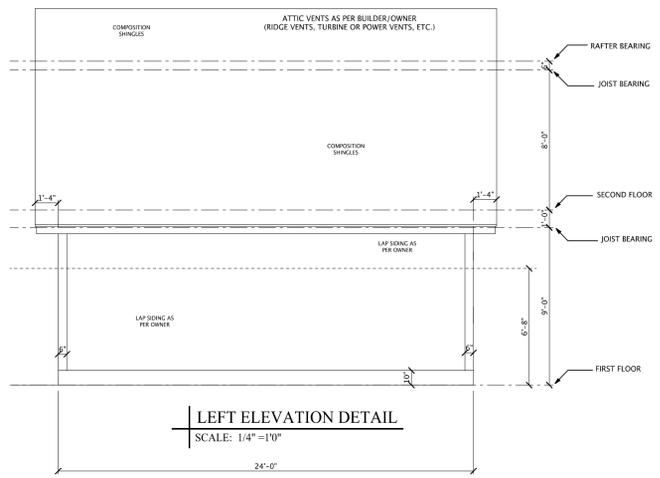
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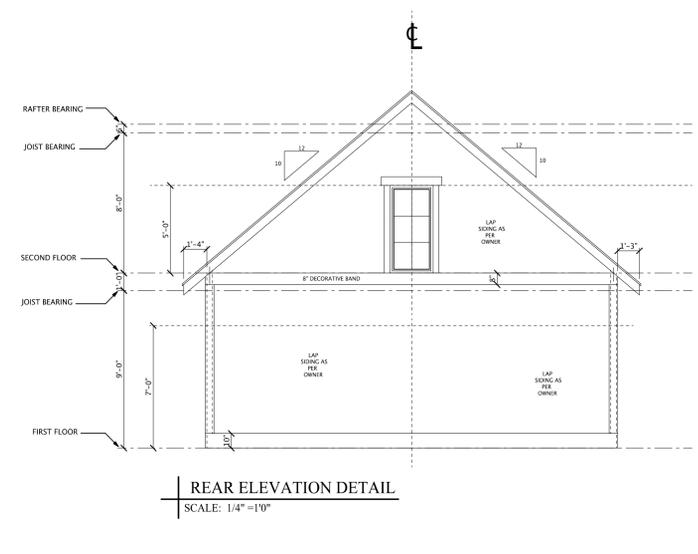
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FRONT ELEVATION DETAIL
 SCALE: 1/4"=1'0"



LEFT ELEVATION DETAIL
 SCALE: 1/4"=1'0"



REAR ELEVATION DETAIL
 SCALE: 1/4"=1'0"

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 700 GRANDIN ROAD
 CHARLOTTE, NC
 LAGNIAPPE BUILDERS LLC

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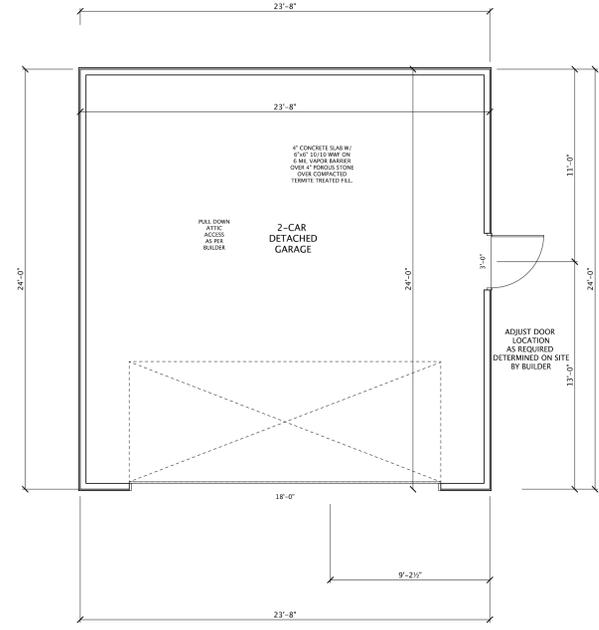
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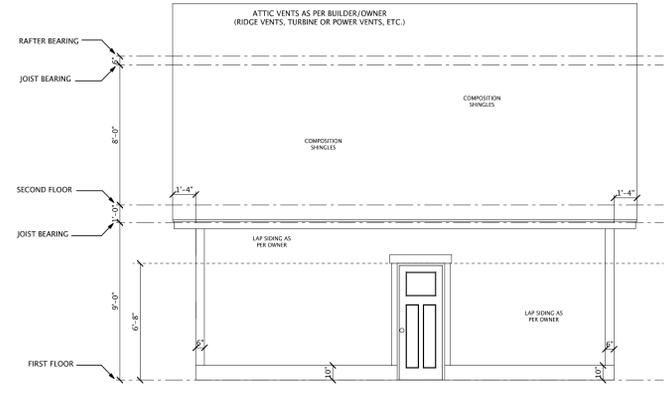
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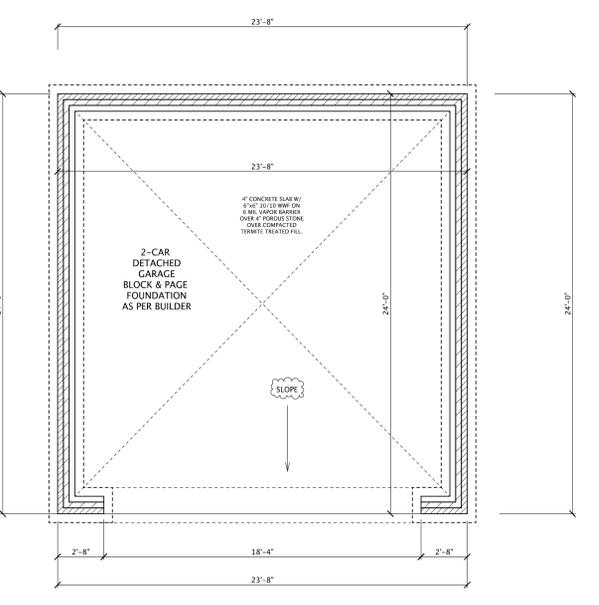
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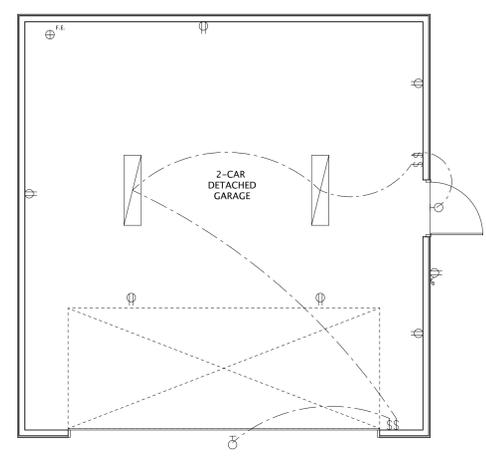
DETACHED GARAGE DETAIL CONSTRUCTION SHEET
 SCALE: 1/4"=1'0"



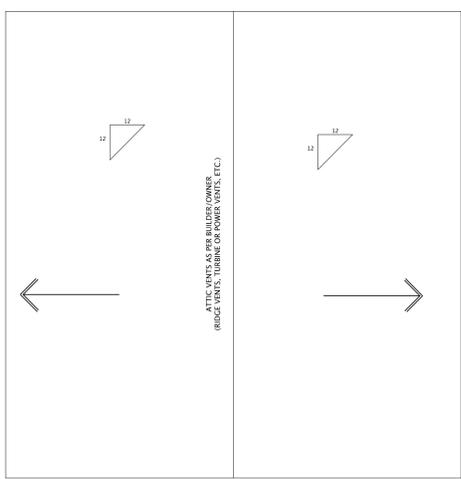
RIGHT ELEVATION DETAIL
 SCALE: 1/4"=1'0"



DETACHED GARAGE FOUNDATION DETAIL CONSTRUCTION SHEET
 SCALE: 1/4"=1'0"



FIRST FLOOR ELECTRICAL SHEET
 SCALE: 1/4"=1'0"



DETACHED GARAGE ROOF DETAIL CONSTRUCTION SHEET
 SCALE: 1/4"=1'0"

ELECTRICAL LEGEND

	STANDARD LIGHT BOX
	GROUND FAULT INTERRUPTER
	220 V CONV. OUTLET
	110 V CONV. OUTLET
	WATER-PROOF 110 OUTLET
	THREE-WAY SWITCH
	TWO-WAY SWITCH
	SMOKE DETECTOR
	CARBON MONOXIDE
	FIRE EXTINGUISHER
	BATH FAN/LIGHT COMBO
	FLOOD LIGHTS
	CEILING FAN / NO LIGHT
	CEILING FAN / LIGHT
	WALL MOUNT LIGHT FIXTURE
	RECESSED FIXTURE
	TV OUTLET
	PHONE OUTLET
	MULTI-TUBE FLUORESCENT
	UNDER CABINET FLUORESCENT

ELECTRICAL DISCLAIMER
 THE ELECTRICAL PLAN IS A GENERAL LAYOUT. THE HOME OWNER RESERVES THE RIGHT TO MAKE ADDITIONS AND/OR CHANGES TO THE PLAN. IT IS THE RESPONSIBILITY OF BOTH ELECTRICAL CONTRACTOR & BUILDER TO MAKE NECESSARY CHANGES TO MEET ELECTRICAL CODE REQUIREMENTS.

IMPORTANT: NOTES ON HOME APPEARANCE

- CONSTRUCT ALL WALLS, ROOF BEARINGS, HEADERS AND WINDOW HEIGHTS AS SHOWN FOR PROPER PROPORTION.
- SCALE ALL STUCCO DETAIL FROM ELEVATION PAGES.
- REFERENCE ROOF LAYOUT FOR DIFFERENT OVERHANG DEPTHS.
- NOTICE DIFFERENT KNEE WALL HEIGHTS FOR HOUSE PROPORTIONS.
- REFERENCE ALL ELEVATION WINDOWS WITH FLOORPLAN. WINDOWS SHOWN ON ELEVATION ARE PREFERRED.

** NOTED WINDOW SIZES AS SHOWN ON **
 THIS PLAN MAY VARY WITH DIFFERENT MANUFACTURER'S WINDOW SIZES.
 CHANGE IN WINDOW SIZES SHOULD CLOSELY MATCH WINDOWS SHOWN ON ELEVATIONS.

AMERICAN INSTITUTE
 OF BUILDING DESIGN
 PROFESSIONAL MEMBER

CUSTOM HOME DOCUMENTS FOR:
 LAGNIAPPE BUILDERS LLC
 700 GRANDIN ROAD
 CHARLOTTE, NC

frusterio
 DESIGNER OF BIRMINGHAM SOUTHERN LIVING IDEA HOUSE

DESIGN DATE: DECEMBER 08, 2018
 PLOTTING TIME: 09:43 AM

FEDERAL COPYRIGHT REGISTERED
 BUILDING PERMIT
 COPYRIGHT WARNING

JOB # 2282-2187-0318

QUESTIONS CONCERNING THIS PLAN CALL 205-533-9993

DESIGNER OF THE BIRMINGHAM SOUTHERN LIVING IDEA HOUSE

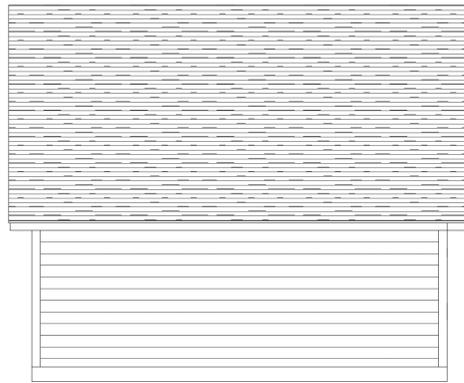
WWW.FRUSTERIO.COM

BY WISDOM A HOUSE IS BUILT, AND THROUGH UNDERSTANDING IT IS ESTABLISHED. - PROVERBS 24 : 3

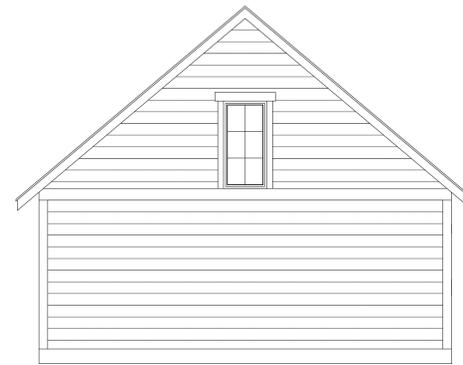
2282-2187-0318



FRONT ELEVATION DETAIL
SCALE: 1/4" = 1'0"



LEFT ELEVATION DETAIL
SCALE: 1/4" = 1'0"



REAR ELEVATION DETAIL
SCALE: 1/4" = 1'0"

PLAN FOR BUILD AT
700 GRANDIN ROAD
CHARLOTTE, NC
LAGNIAPPE BUILDERS LLC



RIGHT ELEVATION DETAIL
SCALE: 1/4" = 1'0"

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CHANGE IN WINDOW SIZES SHOULD CLOSELY
MATCH WINDOWS SHOWN ON ELEVATIONS.

IMPORTANT INFORMATION:
PLEASE READ CAREFULLY
**** BEFORE STARTING CONSTRUCTION ****

IT IS THE RESPONSIBILITY OF THE BUILDER TO COMPLY WITH AND ADAPT THIS PLAN TO SATISFY THE APPLICABLE INTERNATIONAL RESIDENTIAL CODE (IRC) AND ENERGY CODE REQUIREMENTS AS WELL AS LOCAL BUILDING CODES WHERE THIS HOME IS TO BE CONSTRUCTED AND ADAPT THIS PLAN TO ITS ACTUAL SITE LOCATION.

THIS HOME AND ITS DESIGN MUST BE CONSTRUCTED BY A LICENSED AND REPUTABLE BUILDER WITH EXPERIENCE IN CONSTRUCTING THIS TYPE OF HOME.

ALL SUB-CONTRACTORS USED IN THE CONSTRUCTION OF THIS HOME MUST BE LICENSED WITH THE STATE AND QUALIFIED TO PERFORM THE WORK REQUIRED. FRUSTERIO DESIGN, INC. ASSUMES NO LIABILITY FOR ANY ERRORS IN THIS PLAN.

IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW AND PERFORM ALL DUE DILIGENCE ON THIS PLAN AND NOTIFY FRUSTERIO DESIGN, INC. OF ANY CONCERNS PRIOR TO BEGINNING CONSTRUCTION.

THE SELECTION AND CONDITION OF LUMBER USED IN CONSTRUCTION MAY VARY WIDELY, AFFECTING THE QUALITY OF THE WORKMANSHIP. NEITHER FRUSTERIO DESIGN, INC. OR ITS MEMBERS HAVE KNOWLEDGE OF THE QUALITY OF THE WORKMANSHIP OR CONSTRUCTION METHODS AND PRACTICES USED ON ANY CONSTRUCTION PROJECT AND IS THEREFORE HELD HARMLESS FROM THE DESIGN OR PERFORMANCE OF THE LUMBER IN COMPLETED STRUCTURES.

ALL STRUCTURAL MATERIAL USED TO CONSTRUCT THIS HOME MUST MEET CURRENT IRC CODE REQUIREMENTS, CERTIFIED & DESIGNED BY THE MANUFACTURER OR BY A LICENSED STRUCTURAL ENGINEER.

ANY STRUCTURAL & FLOOR JOIST NOTATION ON THIS PLAN IS INTENDED FOR PURPOSES OF DESIGN ONLY & IN NO WAY INDICATES FINAL STRUCTURAL REQUIREMENTS FOR LOAD BEARING LOCATIONS WHICH ARE DESIGNED BY OTHERS.

ALL LOAD BEARING LOCATIONS MUST BE REVIEWED, DESIGNED & APPROVED BY LUMBER MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO THE START OF CONSTRUCTION.

EASEMENTS & SETBACKS AS DETERMINED BY A LICENSED SURVEYOR. IT IS RECOMMENDED THAT A CERTIFIED STRUCTURAL ENGINEER REVIEW THE FRAMING CONSTRUCTION TO VERIFY STRUCTURAL INTEGRITY.

THESE PLANS DO NOT SHOW OR SUGGEST FINAL REQUIRED CONSTRUCTION PRACTICES.

SITE REQUIREMENTS

THESE PLANS ARE FOR UNIVERSAL CONDITIONS & DO NOT ADDRESS SPECIFIC SITE REQUIREMENTS. IT IS RECOMMENDED THAT SOIL CONDITIONS AT SITE BE SAMPLED & TESTED BY A COMPETENT SOILS TESTING LABORATORY AND, IF NECESSARY, FOUNDATION PLANS BE MODIFIED BY A STRUCTURAL ENGINEER WHO IS FAMILIAR WITH THE BUILDING SITE CONDITIONS & BE BASED ON RECOMMENDATIONS OF THE SOILS TESTING LABORATORY.

COMPARE DIMENSIONS WITH FLOOR PLANS AND FOUNDATION TO INSURE ACCURACY PRIOR TO THE BEGINNING OF CONSTRUCTION. TO THE BEST OF HIS KNOWLEDGE, THE DESIGNER HAS PREPARED THESE PLANS TO COMPLY WITH THE CLIENT'S SPECIFICATIONS AND GENERAL BUILDING CODES AT THE TIME. ALTHOUGH EVERY REASONABLE EFFORT HAS BEEN MADE TO AVOID ERRORS, OMISSIONS, AND MISTAKES, THE CONTRACTOR AND/OR CLIENT SHALL VERIFY ALL CONDITIONS, DIMENSIONS, DETAILS AND SPECIFICATIONS PRIOR TO CONSTRUCTION. THE DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION BEGINS.

IT IS THE RESPONSIBILITY OF THE LUMBER SUPPLIER TO DETERMINE, CALCULATE, ENGINEER, AND CERTIFY ALL LOAD BEARING LOCATIONS ON THIS PLAN AND PROVIDE THE REQUIRED LUMBER AND BEAM MATERIAL TO SUBSTANTIALLY SUPPORT THE STRUCTURAL INTEGRITY OF THIS PLAN.

FRUSTERIO DESIGN, INC. IS A RESIDENTIAL DESIGN FIRM AND ASSUMES NO LIABILITY FOR THE STRUCTURAL INTEGRITY OF THIS PLAN. CONSTRUCTION PRACTICES OR THE FINAL PLACEMENT OF THIS HOME ON ITS SITE.

SOME STATE AND/OR LOCAL BUILDING CODES MAY REQUIRE A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT'S CERTIFICATION STAMP BEFORE BUILDING PERMITS CAN BE ISSUED.

LIMITED CONSTRUCTION LICENSE
UPON CONSTRUCTION OF THIS HOME, THE PLAN PURCHASER AGREES TO THE FOLLOWING TERMS:
THIS PLAN PURCHASER HEREBY GRANTS A LIMITED, NON-EXCLUSIVE AND NON-TRANSFERABLE LICENSE TO BUILD ONE (1) AND ONLY ONE (1) HOME DEPICTED IN THIS PLAN, USE OF THIS PLAN TO BUILD MORE THAN ONE (1) HOME OR ANY MODIFIED AND/OR ALTERED VERSION OF THIS HOME PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF FRUSTERIO DESIGN, INC. IS STRICTLY PROHIBITED AND IS ENFORCED AND PROTECTED BY FEDERAL COPYRIGHT LAW. UNAUTHORIZED USERS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.
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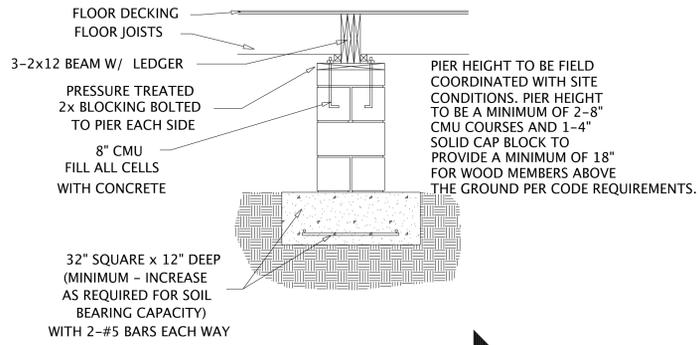
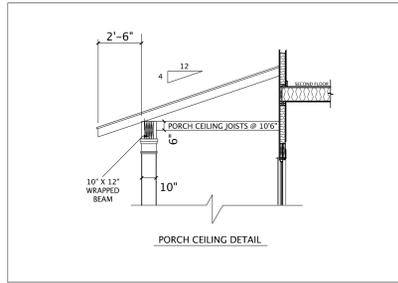
CUSTOM HOME DOCUMENTS FOR:
LAGNIAPPE BUILDERS LLC
700 GRANDIN ROAD
CHARLOTTE, NC

frusterio
DESIGNING FINE HOMES AND RENOVATIONS

DESIGN DATE:
DECEMBER 05, 2018
PLOTTING TIME:
09:40 AM

THIS PLAN AND ITS DESIGN COMPOSITION IS PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ENFORCED BY COPYRIGHT ATTORNEYS SIROTE & PERMUTT P.C., BIRMINGHAM, ALABAMA

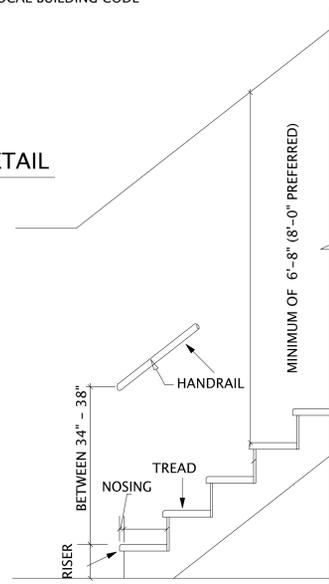
charles michael
frusterio
DESIGNING FINE HOMES AND RENOVATIONS



SECTION AT PIER S
 SCALE 3/4" = 1'-0"

FIELD VERIFY SOIL BEARING CAPACITIES AND ADJUST FOOTING SIZE PER LOCAL BUILDING CODE

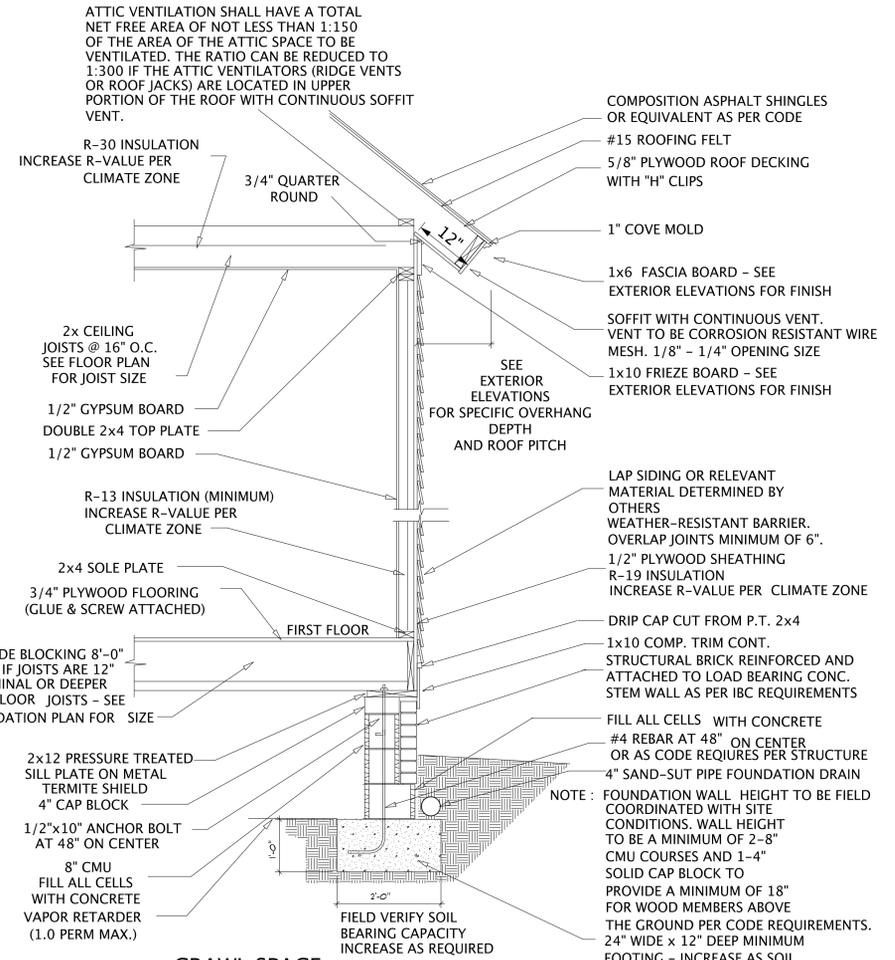
TYPICAL STAIR DETAIL
 SCALE 3/4" = 1'-0"



STAIR NOTES:

THE MAXIMUM HEIGHT OF ANY RISER SHALL BE 7 3/4". MAXIMUM VARIATION BETWEEN TWO ADJOINING RISERS SHALL BE 3/16" AND NOT MORE THAN 3/8" BETWEEN THE SMALLEST OR LARGEST RISER. THE MINIMUM DEPTH OF THE TREAD IS 10" WITH A 1" NOSING. MAXIMUM RADIUS OF THE LEADING EDGE OF THE TREAD IS 9/16". WINDER TREADS SHALL BE MINIMUM DEPTH OF 10" MEASURED 12" FROM THE NARROWER SIDE AND MINIMUM TREAD DEPTH OF 6" AT ANY POINT. MAXIMUM VARIATION BETWEEN TWO ADJOINING TREADS SHALL BE 3/16" AND NOT MORE THAN 3/8" BETWEEN THE SMALLEST OR LARGEST TREAD. HANDRAILS SHALL BE INSTALL A MINIMUM OF 34" AND MAXIMUM OF 38" ABOVE THE LEADING EDGE OF A TREAD. HANDRAIL SHALL HAVE A DIAMETER BETWEEN 1-1/4" AND 2". NON-CIRCULAR HANDRAILS SHALL HAVE A PERIMETER BETWEEN 4" AND 6-1/4" WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2-1/4".

VERIFY AND REFER TO THE INTERNATIONAL RESIDENTIAL CODE (IRC), ENERGY CODES AND LOCAL CODES FOR SPECIFIC CODE REQUIREMENTS AND ANY UPDATES / REVISIONS



CRAWL SPACE TYPICAL WALL SECTION
 SCALE 1/4" = 1'-0"

FIELD VERIFY SOIL BEARING CAPACITIES AND ADJUST FOOTING SIZE PER LOCAL BUILDING CODE.
 VERIFY ALL BUILDING COMPONENT WITH LOCAL BUILDING CODES, SEISMIC DESIGN CATEGORY, AND ENERGY CODES.

CRAWL SPACE SECTION / DETAILS W
 13

VERIFY AND REFER TO THE INTERNATIONAL RESIDENTIAL CODE (IRC), ENERGY CODES AND LOCAL CODES FOR SPECIFIC CODE REQUIREMENTS AND ANY UPDATES / REVISIONS