
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 300 East Worthington Avenue

SUMMARY OF REQUEST: New construction and detached accessory building

APPLICANT/OWNER: Allen Brooks/Ken and Lucy Raynor

The application was continued for the following items: 1) Restudy of the turret windows with and expression of structure between and more information on the rear elevation, and 2) Provide more detail on the security enclosure.

Details of Proposed Request

Existing Conditions

The site is at the edge of the Dilworth Local Historic District and within the South End Transit Overlay District. The existing building is a 1.5 story Bungalow style structure constructed in 1930. The property is zoned B-1 which also allows residential development. The site slopes from front to rear approximately 8-10 feet. Adjacent structures are a mix of 1 and 2 story residential buildings, mixed use and institutional buildings. A 365-Day Stay of Demolition was placed on the structure June 14, 2017.

Proposal

The proposal is a new two story Queen Anne style single family house and detached garage. The height from grade to ridge is approximately 25.6'. Details include wood siding, windows and trim, 8'd. front porch, 16' d. rear porch, round tapered columns and brick foundation. The accessory building is approximately 24' in height and secondary to the house in size and scale with materials and details to match the house. The applicant has provided examples of design precedents in the District and historic references for the proposed architectural style.

Revised Proposal – September 12

1. The turret windows have been resized.
2. Details of the security enclosure have been included.

Design Guidelines for Accessory Buildings, page 8.9

1. Retain and repair historic outbuildings. Do not demolish existing historic outbuildings.
2. Place new outbuildings, such as garages or sheds, to the rear of lots that are large enough to accommodate them, following the applicable zoning requirements. New outbuildings cannot be located in front or side yards.
3. Design new outbuildings to be compatible with the style and character of the primary historic building on the site, especially in scale, elements and roof form. Any new outbuilding must be clearly secondary to the main structure on the site.
4. Stamped metal and vinyl doors are considered to be inappropriate materials for outbuildings, and are discouraged. For more information on appropriate new construction see Chapter 6.
5. Prefabricated outbuildings that are not in keeping with the historic character of the district are not allowed where visible from the public street.

Continued on page 2.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The proposal is not incongruous with the District and meets the guidelines for new construction.
2. Minor revisions may be reviewed by staff.

Charlotte Historic District Commission Case 2018-275
HISTORIC DISTRICT: DILWORTH
NEW CONSTRUCTION



-  300 E Worthington Av
-  Dilworth Historic District
-  Property Lines
-  Building Footprints

HDC 2018-275
HDC MEETING DATE:
SEPT 12, 2018

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Designed Exclusively For the:
RAYNOR RESIDENCE
300 East Worthington Avenue, Charlotte, NC 28203

PROJECT #: 17053
ISSUED: 15 AUGUST 2018
REVISIONS:

EXISTING CONDITIONS

A-1.0
OF:



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

EXISTING STRUCTURE TO BE DEMOLISHED - HDC
APPROVAL ON 06/14/2017 HDC 2017-351 DEMOLITION



312 E. WORTHINGTON AVE.



308 E. WORTHINGTON AVE.



304 E. WORTHINGTON AVE.



300 E. WORTHINGTON AVE.
(SUBJECT PROPERTY
STRUCTURE TO BE REMOVED)



EXISTING STRUCTURE TO BE DEMOLISHED - HDC
APPROVAL ON 06/14/2017 HDC 2017-351 DEMOLITION

SIMILAR CHARACTERISTICS ON BERKELEY:

1. 1714 CLEVELAND AVENUE - BAY FEATURE
2. 1508 CLEVELAND AVENUE - 1 1/2 STORY HOME WITH ENGAGED FRONT PORCH.

ADDITIONAL PROPERTIES RELEVANT TO PROJECT:

1. 1600 THE PLAZA - ENTIRE HOUSE



1829 CLEVELAND AVE.



315 E. WORTHINGTON AVE.



319 E. WORTHINGTON AVE.



321 E. WORTHINGTON AVE.



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HDC 2018-275
HDC MEETING DATE:
SEPT 12, 2018

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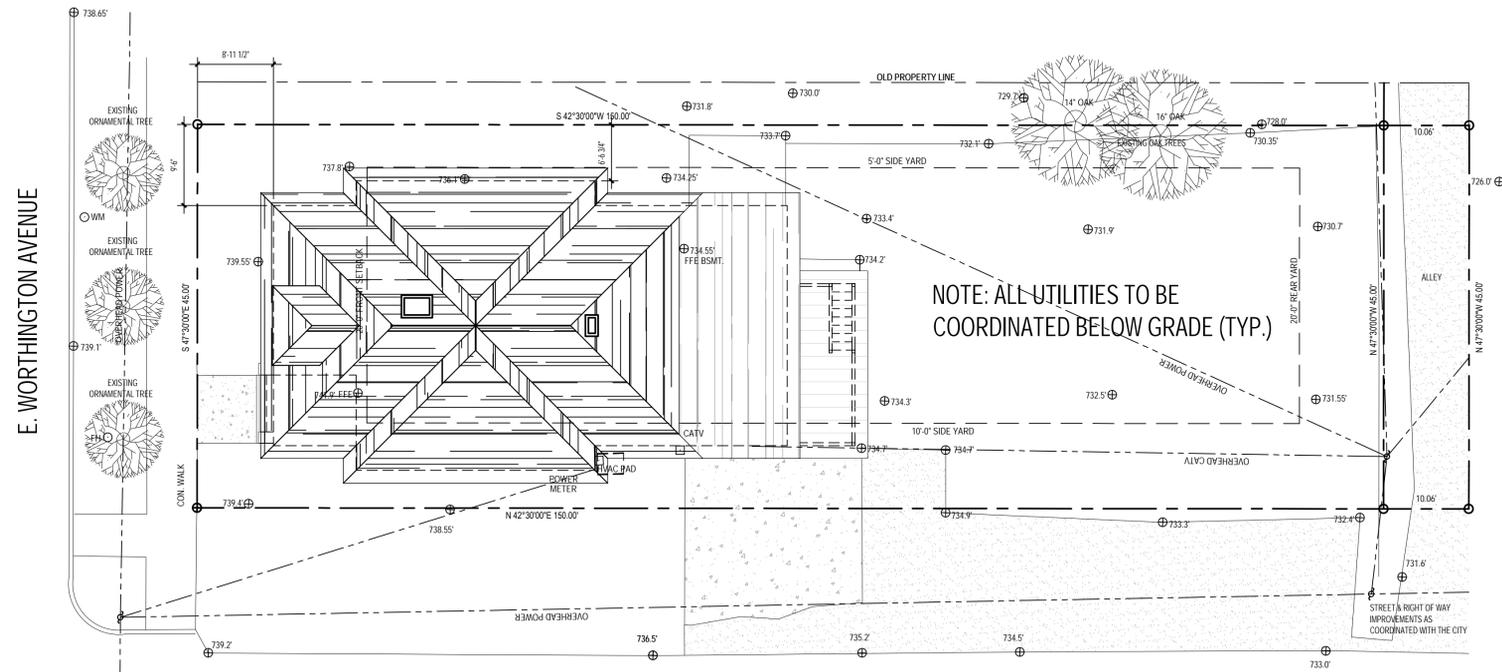
Designed Exclusively For the:
RAYNOR RESIDENCE
300 East Worthington Avenue, Charlotte, NC 28203

PROJECT #: 17053
ISSUED: 15 AUGUST 2018
REVISIONS:

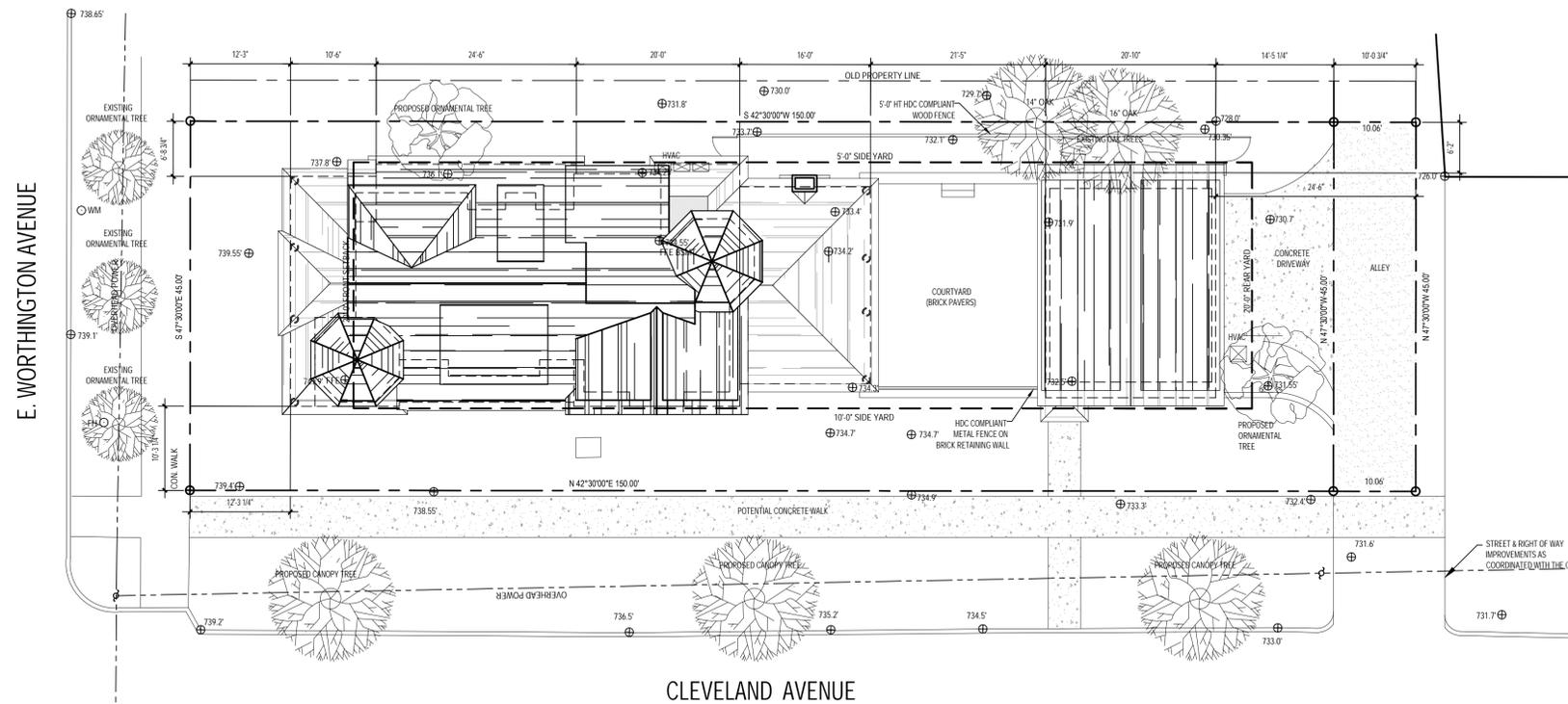
CONTEXT/ADJACENT
STRUCTURES

A-2.0

OF:



EXISTING STRUCTURE TO BE DEMOLISHED - HDC APPROVAL ON 06/14/2017 HDC 2017-351 DEMOLITION



NOTE:

CONCRETE	[Pattern]
GRAVEL	[Pattern]
RETAINING WALL	[Pattern]
PAVER SYSTEM	[Pattern]

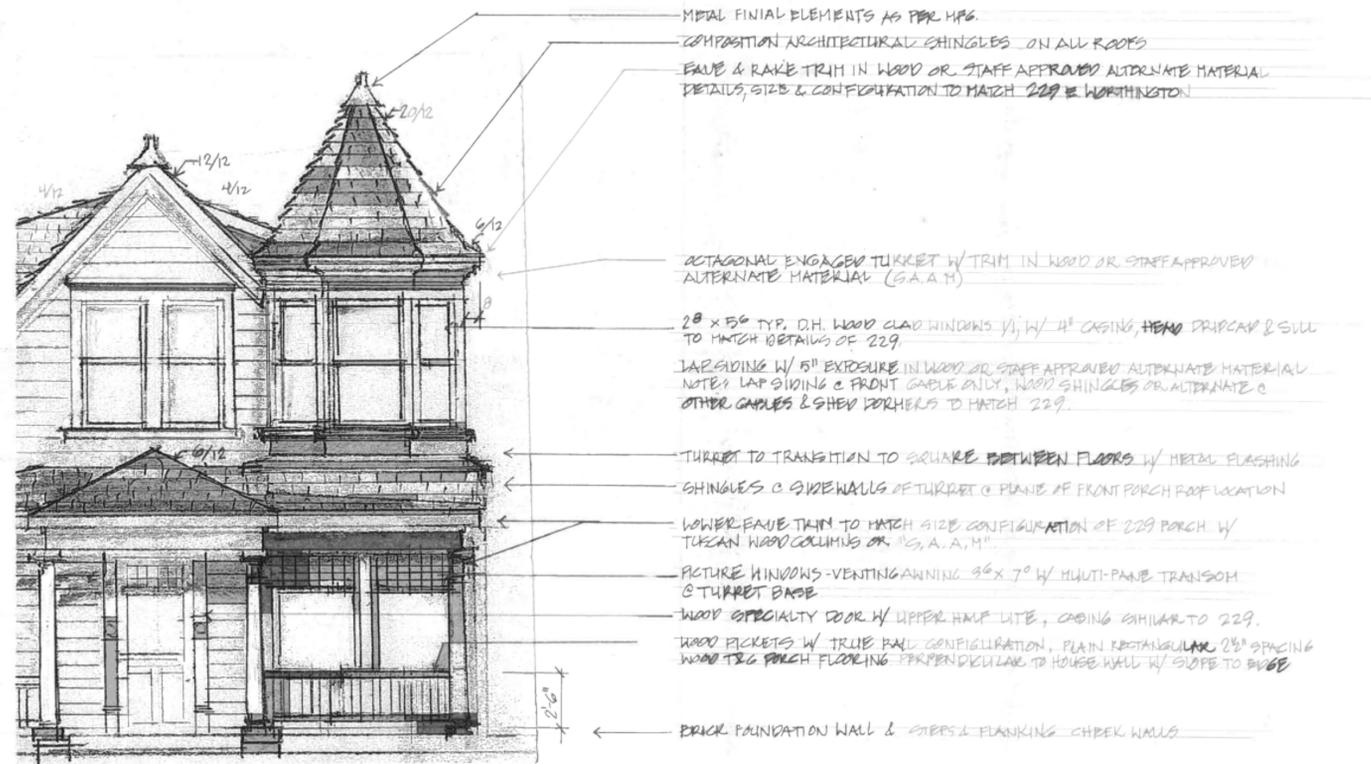
KEY:

WALL TO BE REMOVED	[Pattern]
ITEM TO BE REMOVED	[Symbol]

LEGEND:

BOUNDARY LINE:	[Line Style]
OVERHEAD UTILITIES:	[Line Style]
FENCE (TYPE NOTED):	[Symbol]
UTILITY POLE:	[Symbol]
R/W: RIGHT OF WAY	[Symbol]
E.P.: EDGE OF PAVEMENT	[Symbol]
C.L.: CENTERLINE	[Symbol]





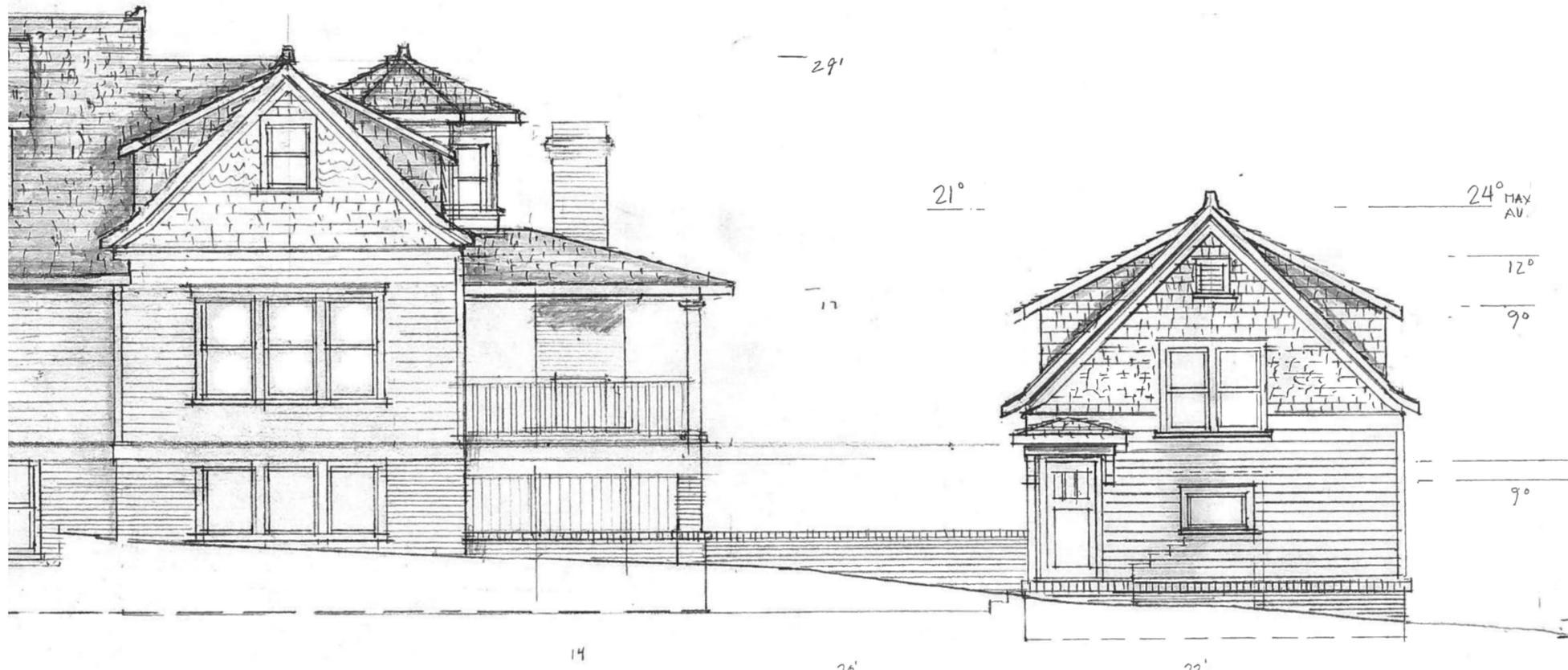
② MATERIAL NOTES
1/4" = 1'-0"



① PROPOSED FRONT ELEVATION
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"





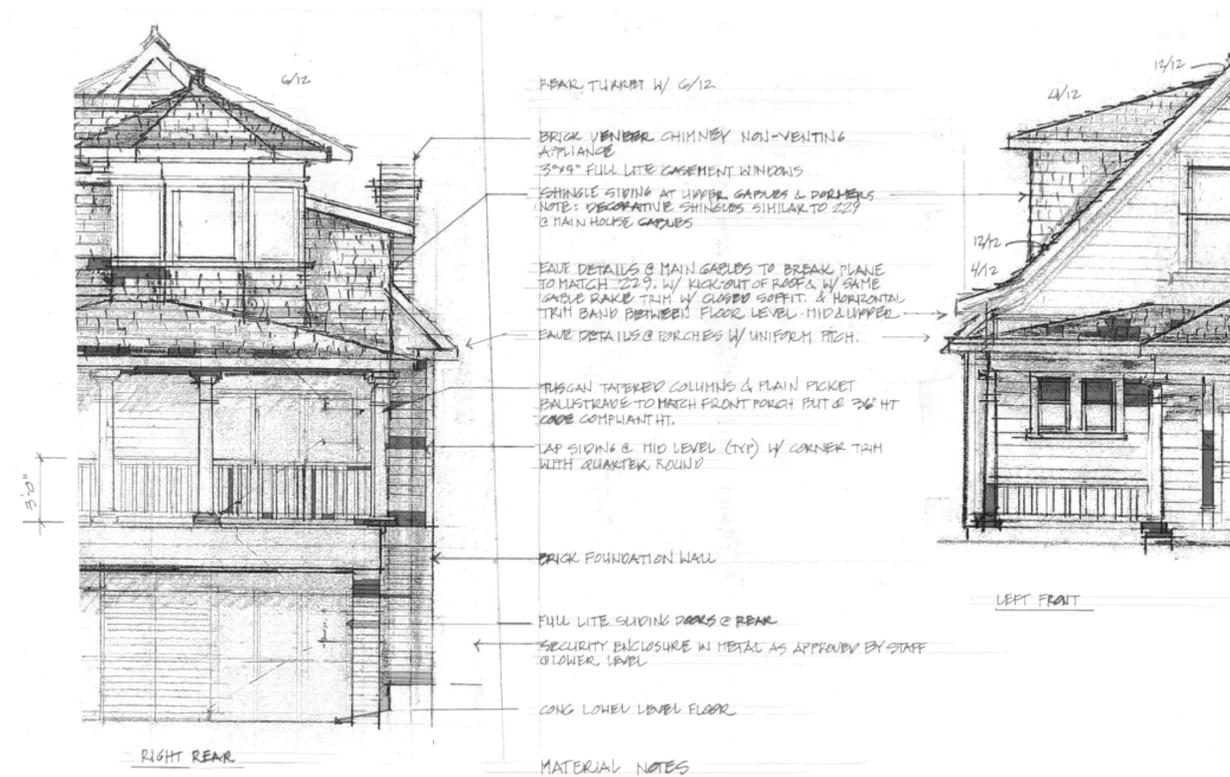
② PROPOSED PARTIAL RIGHT ELEVATION
1/4" = 1'-0"



① PROPOSED PARTIAL RIGHT ELEVATION
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"

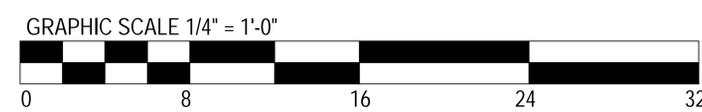




② MATERIAL NOTES
1/4" = 1'-0"



① PROPOSED REAR ELEVATION
1/4" = 1'-0"

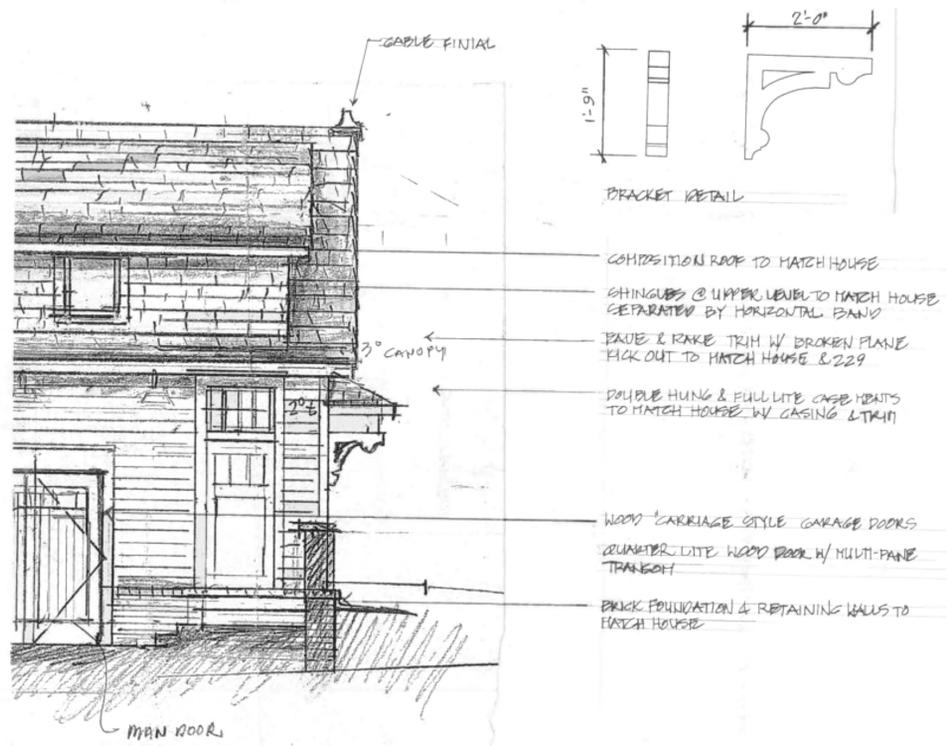




① PROPOSED RIGHT ELEVATION
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"





③ MATERIAL NOTES
1/4" = 1'-0"



② PROPOSED GARAGE ELEVATION
1/4" = 1'-0"



① PROPOSED GARAGE ELEVATION
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



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PROJECT #: 17053
ISSUED: 15 AUGUST 2018
REVISIONS:

FIRST REVIEW & REVISED
PROPOSED RIGHT
ELEVATION

A-5.1
OF:



② ORIGINAL RIGHT ELEVATION JULY
1/4" = 1'-0"



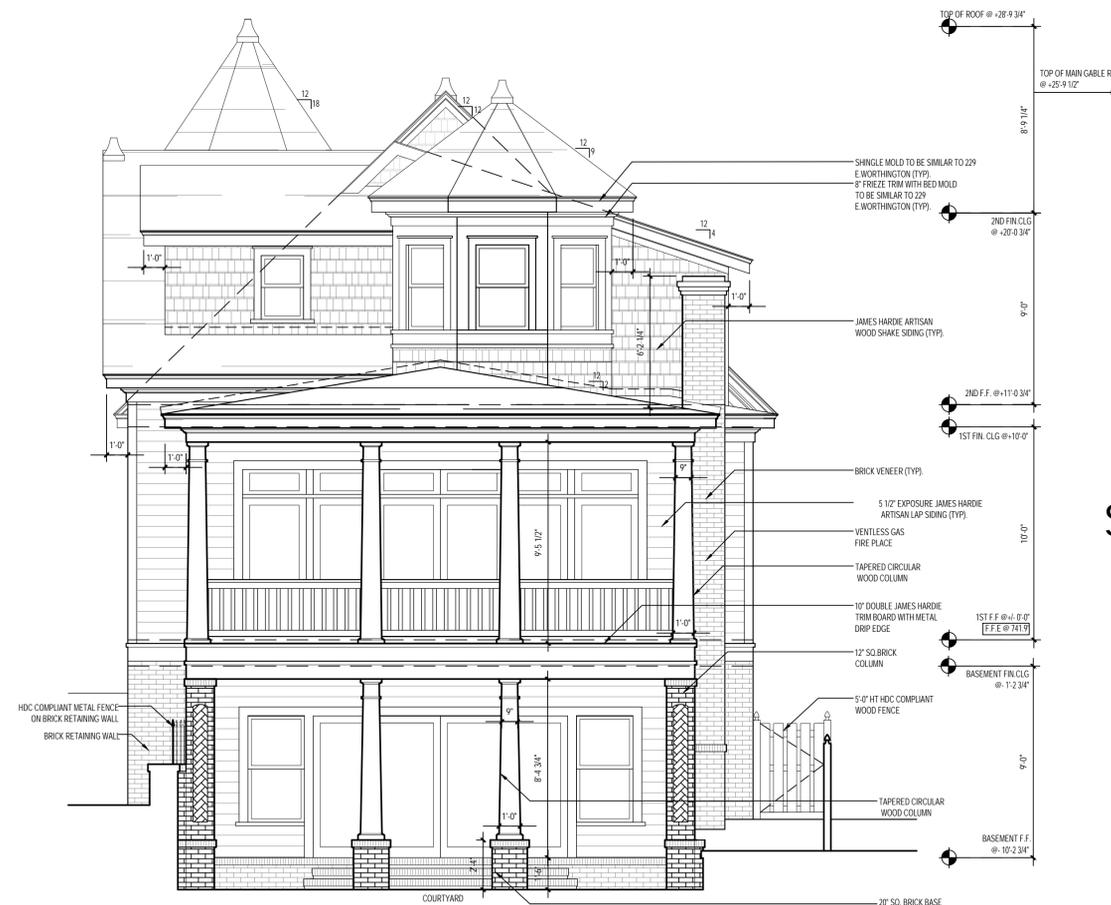
① REVISED RIGHT ELEVATION SEPTEMBER
1/4" = 1'-0"





② ORIGINAL REAR ELEVATION
1/4" = 1'-0"

JULY

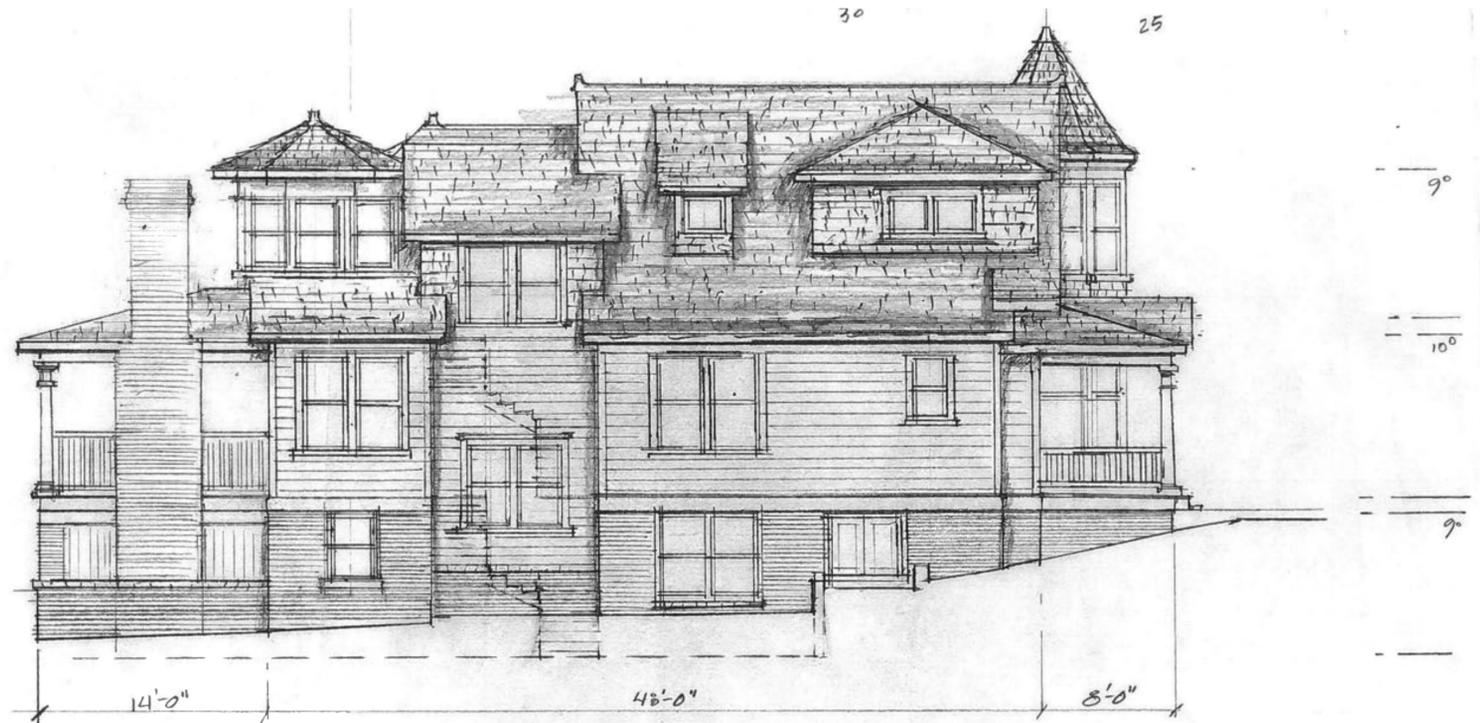


① REVISED REAR ELEVATION
1/4" = 1'-0"

SEPTEMBER

GRAPHIC SCALE 1/4" = 1'-0"





② ORIGINAL LEFT ELEVATION
1/4" = 1'-0"

JULY

NEIGHBOR SIDE

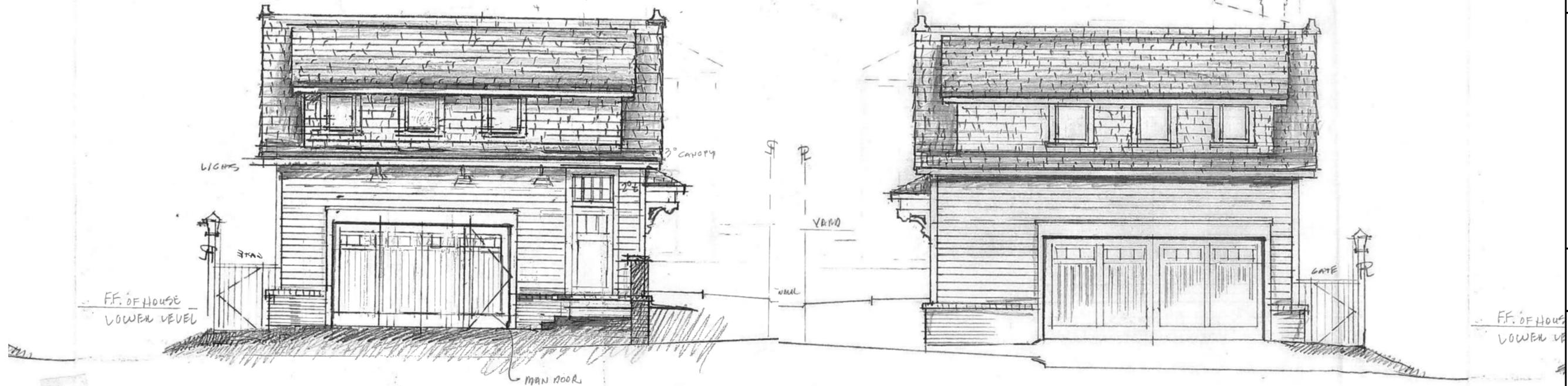


① REVISED LEFT ELEVATION OF HOUSE & GARAGE
3/16" = 1'-0"

SEPTEMBER

BETOND

HOUSE BETOND



④ ORIGINAL COURTYARD ELEVATION
1/4" = 1'-0"

③ ORIGINAL ALLEY ELEVATION
1/4" = 1'-0"

JULY



② REVISED COURTYARD ELEVATION
1/4" = 1'-0"



① REVISED ALLEY ELEVATION
1/4" = 1'-0"

SEPTEMBER

GRAPHIC SCALE 1/4" = 1'-0"



HDC 2018-275
HDC MEETING DATE:
SEPT 12, 2018

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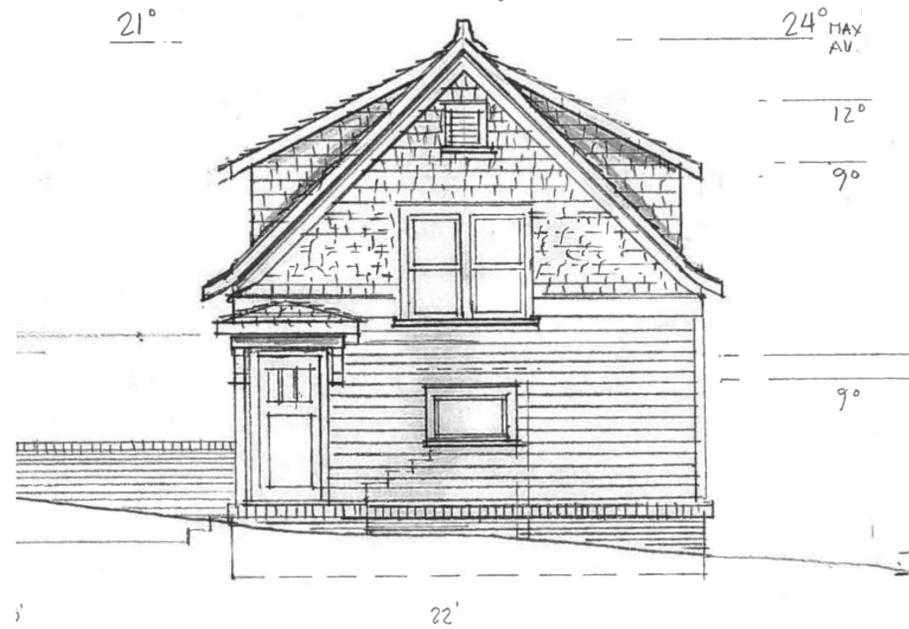
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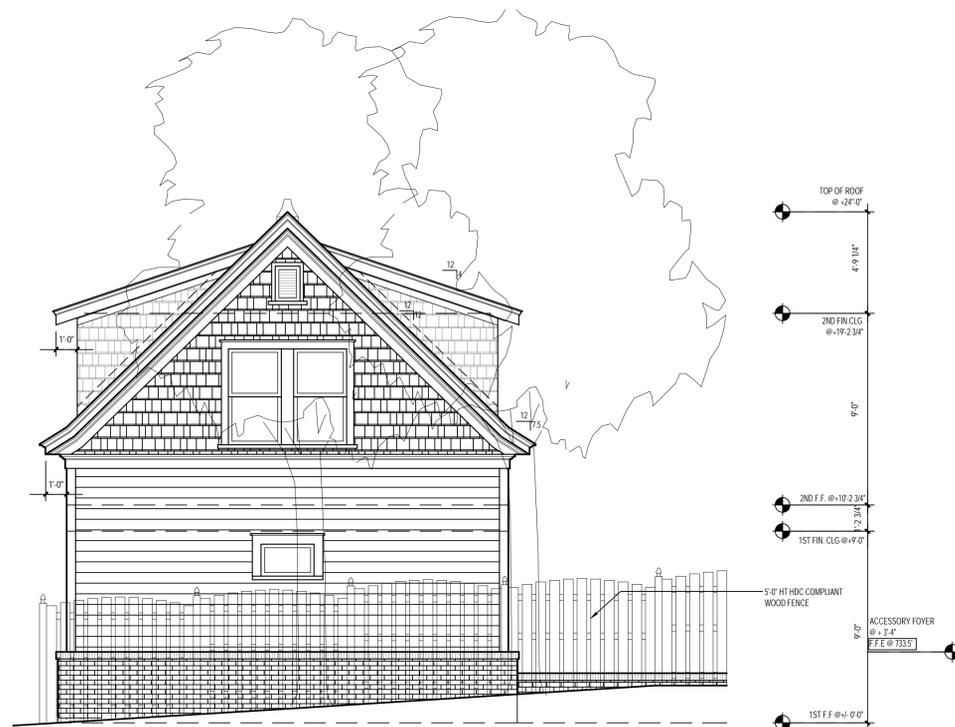
FIRST REVIEW & REVISED
PROPOSED GARAGE
ELEVATIONS

A-6.1

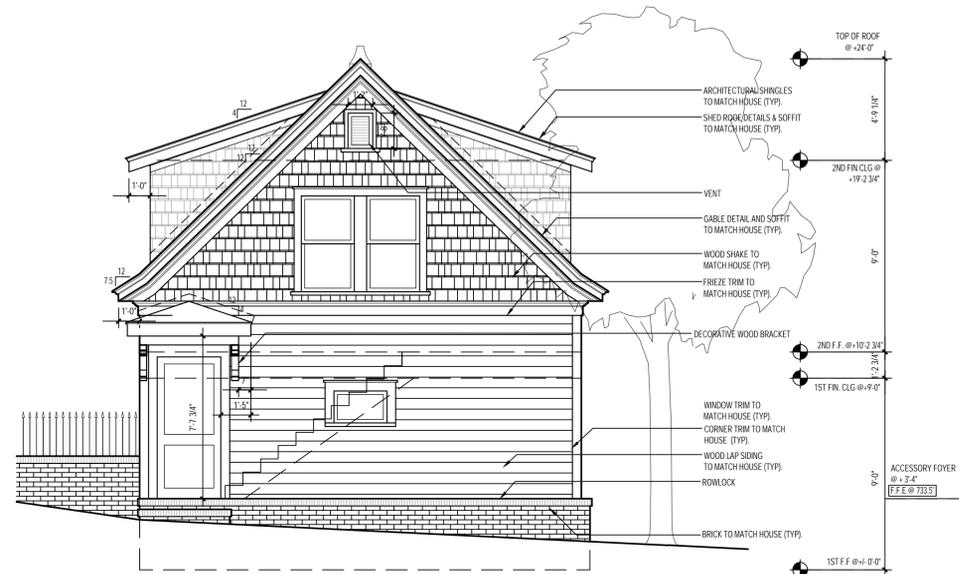
OF:



③ ORIGINAL CLEVELAND AVE. ELEVATION JULY
1/4" = 1'-0"

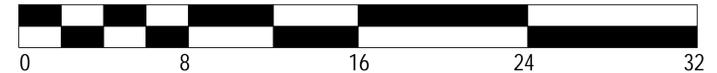


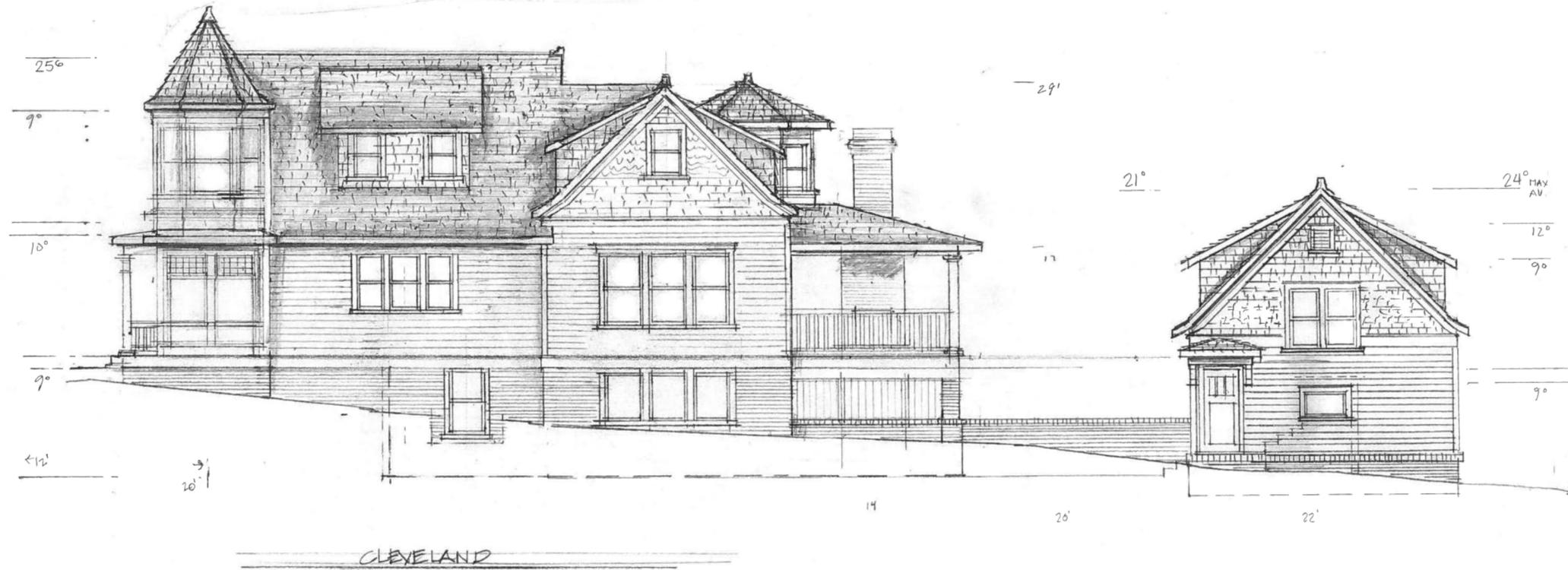
② REVISED NEIGHBORS ELEVATION
1/4" = 1'-0"



① REVISED CLEVELAND AVE. ELEVATION SEPTEMBER
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"





② ORIGINAL RIGHT ELEVATION
1/4" = 1'-0"

JULY



① REVISED RIGHT ELEVATION OF HOUSE & GARAGE
1/4" = 1'-0"

SEPTEMBER



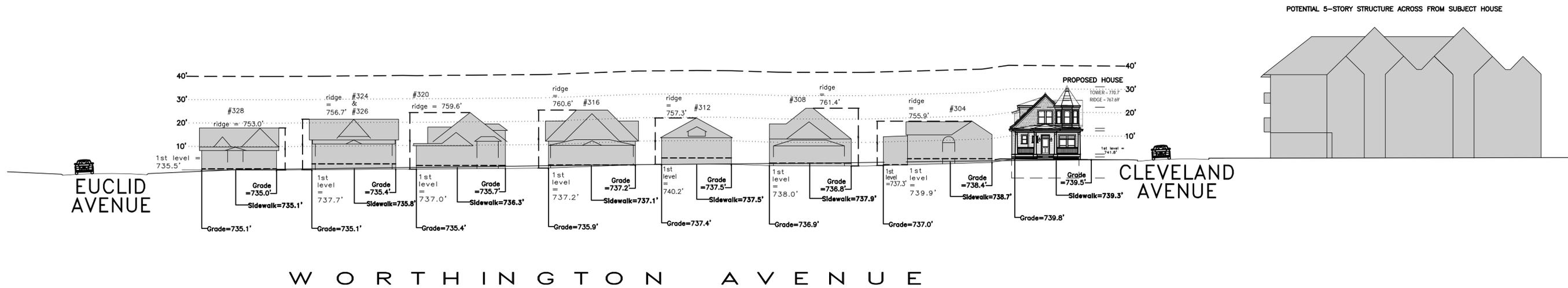
② ORIGINAL LEFT ELEVATION
1/4" = 1'-0"

JULY

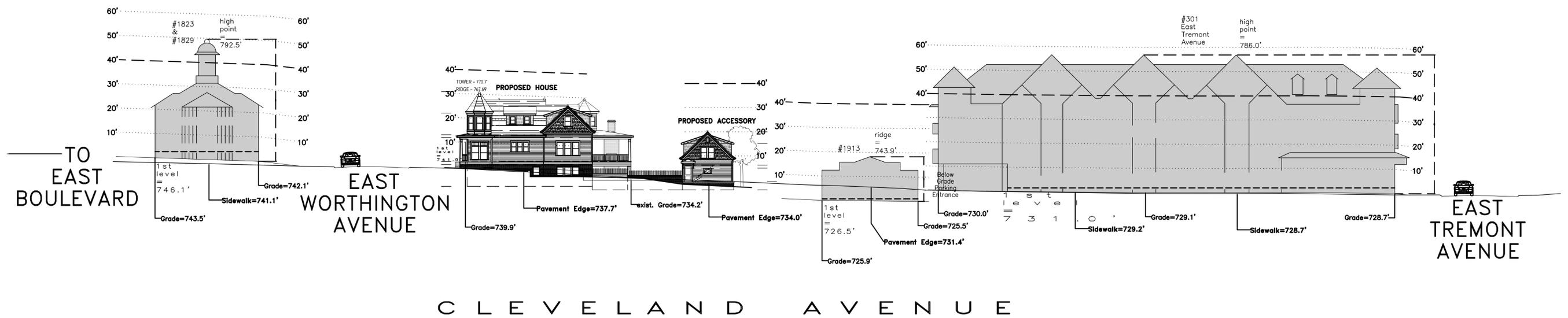


① REVISED LEFT ELEVATION
1/4" = 1'-0"

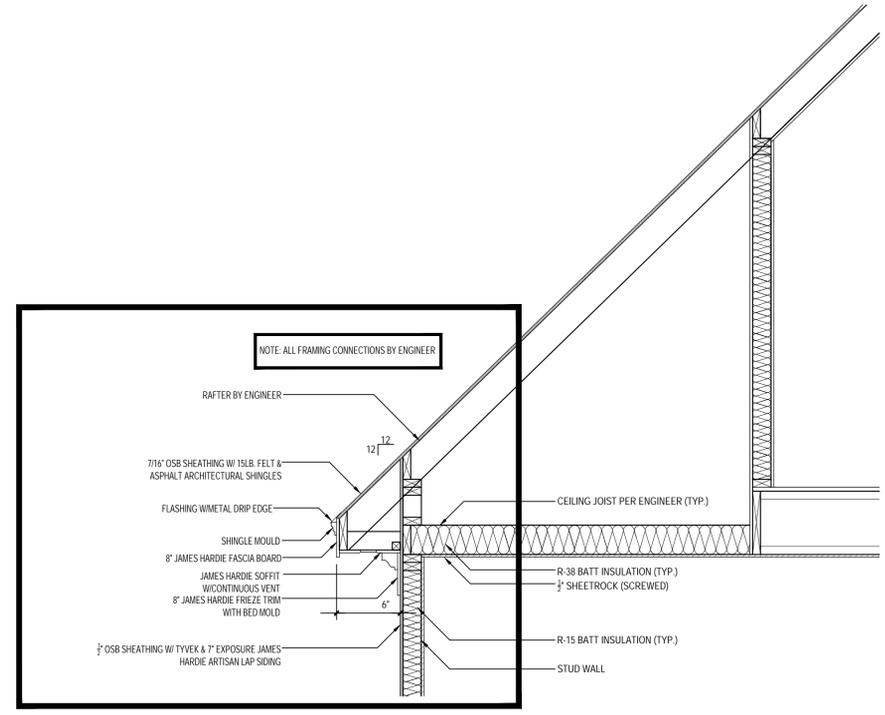
SEPTEMBER



② STREET WITH PROPOSED HOUSE
N.T.S.

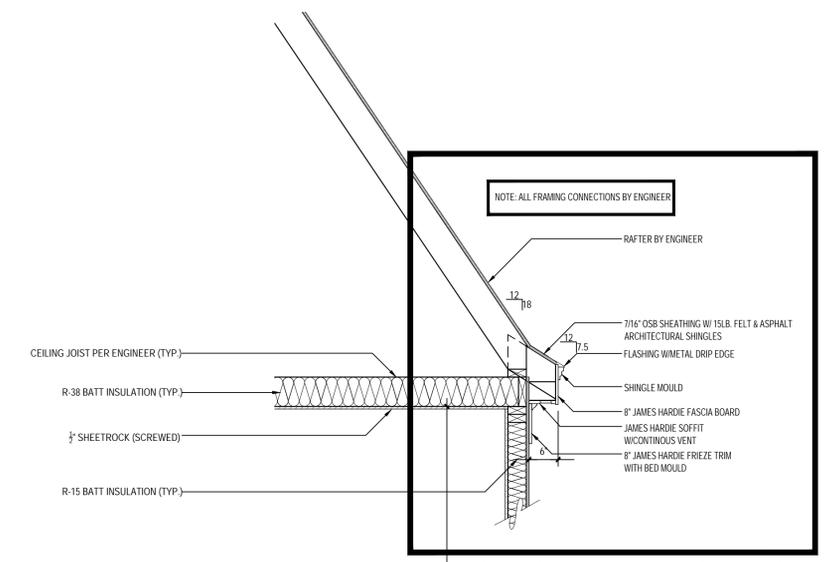


① STREET WITH PROPOSED HOUSE
N.T.S.

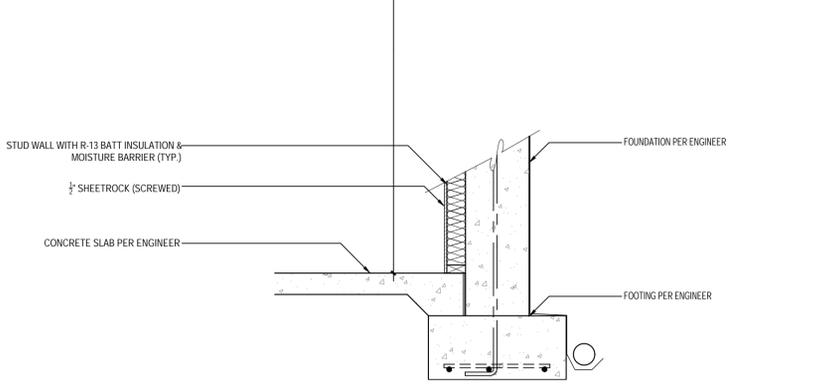
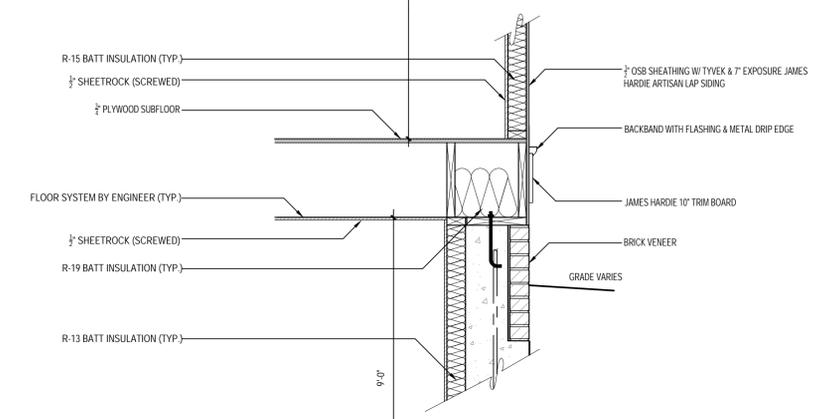
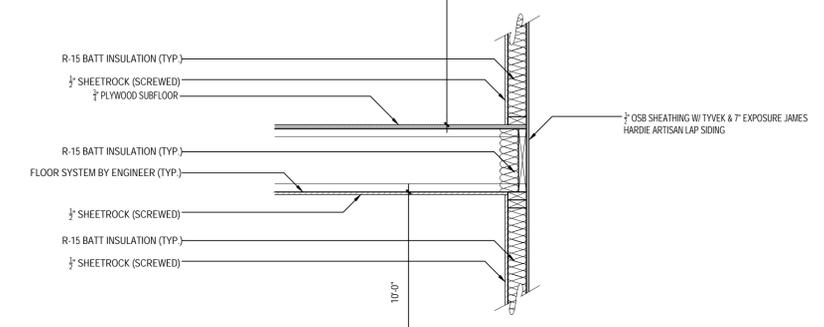


TYPICAL STRAIGHT EAVE DETAIL TO BE SIMILAR TO 229 E. WORTHINGTON

② TYPICAL STRAIGHT EAVE DETAIL
3/4" = 1'-0"



TYPICAL BROKEN EAVE & SOFFIT DETAIL TO BE SIMILAR TO 229 E. WORTHINGTON



① TYPICAL WALL DETAIL
3/4" = 1'-0"