

LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1525 Wilmore Drive

SUMMARY OF REQUEST: New construction

APPLICANT/OWNER: Jason Murphy

Details of Proposed Request

Existing Conditions

The existing site is a vacant single family parcel 50'x150'. Adjacent residential structures are 1 and 1.5 story single family houses. There are no trees on the lot.

Proposal

The proposal is a new 1.5 story single family house. The front setback is approximately 43' from ROW. The height from finished floor to ridge is approximately 22'. Exterior materials are wood lap siding, wood trim and brick. Windows are wood double hung on the front and side elevations.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The proposal is not incongruous with the District and meets the guidelines for new construction.
2. Minor revisions may be reviewed by staff.

Charlotte Historic District Commission Case 2018-272

HISTORIC DISTRICT: WILMORE

NEW CONSTRUCTION



-  1525 Wilmore Dr
-  Wilmore Historic District
-  Property Lines
-  Building Footprints



500-598 Larch St

1500-1528 Wilmore Dr

1530-1598 Wilmore Dr

1500-1524 S Mini St

400-498 Westwa

11909804

11909802

11908220

11909704

11909707

11908222

11908218

11908225

11908224

11908223

11908226

11908227

11908229

11908228

11908207

11908314

11908201

11908233

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11908231

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11908202

11908203

11908204

11908207

11908301

11908411

11908303

11908304

508

1538

1525

1521

400

404

1508

401

403

1501

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1517

1523

1525

1529

1537

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1545

1549

1553

1557

1565

1562

1558

1550

1554

1546

1542

1536

1530

600

608

1514

1518

1520

0732635

07326235

400-498 W Summit Av

500-598 W

09711

11909710

11909709

11909706

11909705

11909703

11909702

11908201

11908202

500-598 W

11908304

11908303

11908316

11908315

11908317

11908317

11908207

11908223

11908222

11908220

11909802

11909804

11909801

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11909705

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ABBREVIATIONS

A	Amperage	DEPT	Department	HP	High Point	NA	Not Applicable	SCH	Schedule
AB	Anchor Bolt	DET	Detail	HST	High Strength	NAT	Natural	SECT	Section
A/C	Air Conditioning	DF	Drinking Fountain	HS	Hand Sink	NEG	Negative	SEL	Select
ABV	Above	DIAG	Diagonal	HT	High Tension	NF	Noise Frequency	SEP	Separate
ACT	Acoustical Ceiling Tile	DIM	Dimension	HTR	Heater	NIC	Not In Contract	SER	Serial
ACT	Actual	DIV	Divide	HTS	High Tensile Strength	NO	Number	SF	Smooth Faced
ADH	Adhesive	DL	Dead Load	HVAC	Heating, Ventilation & Air Conditioning	NOM	Nominal	SF	Square Feet
ADJ	Adjacent	DN	Down	HW	Hot Water	NP	Nickel Plated	SGL	Single
AFF	Above Finish Floor	DOZ	Dozen	HWY	Highway	NRC	Noise Reduction Coefficient	SIM	Similar
AGGR	Aggregate	DR	Drain	HYDR	Hydrant	NS	Near Side	SK	Sink
AL	Aluminum	DP	Dampproofing	ID	Inside Diameter	NTS	Not To Scale	SM	Small
ALLOW	Allowance	DR	Drain	IJ	Isolation Joint	OC	On Center	SOG	Slab on Grade
ALT	Alternate	DS	Double Strength	ILLUM	Illuminate	OCT	Octagonal	SOL	Solid
ALUM	Aluminum	DS	Downspout	IMPG	Impregnate	OD	Outside Diameter	SP	Soil Pipe
APPX	Approximate	DUP	Duplicate	INC	Incorporated	OFF	Offset	SP	Stand Pipe
APT	Apartment	E	East	INCL	Included	OPNG	Office	SPEC	Specification
ARCH	Architectural	E	Each	INDL	Industrial	OPN	Opening	SPKR	Speaker
ASPH	Asphalt	EAF	Each Face	INF	Infinite	OPT	Opposite	SPKR	Spinkler
ASSN	Association	EIFS	Exterior Insulation and Finish System	INFO	Information	ORIG	Original	SQ	Square
AUTO	Automobile	EJ	Expansion Joint	INR	Impact Noise Rating	OUT	Outlet, Outside	SS	Single Strength
AVE	Avenue	EL	Elevation	INST	Institute	OV	Over	SSK	Soil Stack
AVG	Average	ELEC	Electric	INSL	Installed	OVHD	Overhead	ST	Street
B / (B.O.)	Bottom of	ELEV	Elevation	INTL	International	PART	Part	ST	Street
BC	Bottom Chord	ELEV	Elevator	INT	Interior	PC	Partition	STAG	Staggered
BD	Bottom Chord	EMB	Embedment	INTL	International	PCT	Pieces	STATN	Stationary
BDY	Board	ENAM	Enamel	IPS	Iron Pipe Size	PER	Percent	STD	Standard
BL	Boundary	ENGR	Engineer	J	Joist	PERF	Pedestal	STL	Steel
BLDG	Building Line	ENTR	Entrance	JB	Junction Box	PERM	Perforated	STN	Stone
BLW	Below	EQUIP	Equipment	JCT	Junction	PERP	Permanent	STOR	Storage
BM	Beam	EST	Estimated	JR	Junior	PH	Perpendicular	STR	Straight
BOT	Bottom	EW	Each Way	JT	Joint	PL	Phase	STRM	Strength
BR	Bedroom	EXC	Excavate	K	Kips (Kilopounds)	PL	Plate	STRM	Storeroom
BRC	Beating	EXH	Exhaust	KD	Kin Dried	P-LAM	Property Line	STRUC	Structural
BTWN	Between	EXP	Exposed	KD	Knock Down	PLG	Plastic Laminated	SUB	Substitute
C/C	Center to Center	FAB	Fabricate	L	Left	PLUMB	Plumbing	SURF	Surface
CAB	Cabinet	FAB	Fabricate	L	Left	PLYWD	Plane	SUSP	Suspended
CAP	Capacity	FB	Floor Bar	LAB	Laboratory	PMP	Plywood	SWM	Storm Water Management
CB	Catalog	FDN	Foundation	LAM	Laminate	PNL	Pump	SYM	Symmetrical
CF	Circuit Breaker	FFE	Finish Floor Elevation	LAQ	Laqueur	PNT	Panel	SYS	System
CF	Cubic Feet	FIG	Figure	LAV	Lavatory	PORT	Port	T / (T.O.)	Top of
CI	Circular	FL	Floor	LF	Low Frequency	POS	Portable	T&G	Tongue & Groove
CL	Control Joint	FLDG	Folding Flange	LG	Large	PR	Positive	TC	Top Chord
CLG	Clearance	FLG	Flooring	LGTH	Length	PREFAB	Prefabricated	TD	Trench Drain
CLKC	Centerline	FLUR	Fluorescent	LH	Left Hand	PRELIM	Preliminary	TECH	Technical
CLK	Caulking	FO	Face of	LIC	Licensed	PREP	Preparation	TEL	Telephone
CLOS	Closet	FP	Freezing Point	LIN	Linear	PRGM	Program	TEMP	Temperature, Temporary
CLR	Clear	FRP	Fiber Reinforced Plastics	LINO	Lineoleum	PRL	Program	THK	Thickness
CMPT	Computer	FRP	Fiber Reinforced Plastics	LINO	Lineoleum	PROP	Property	THRES	Threshold
CMU	Concrete Masonry Unit	FRP	Fiber Reinforced Plastics	LQ	Liquid	PT	Part	THRU	Through
CNCL	Concealed	FRT	Fire Retardant Treated	LLH	Long Leg Horizontal	PTD	Pointed	TOL	Tolerance
CND	Conduit	FS	For Side	LLV	Long Leg Vertical	PT	Part	TOS	Top of Steel
CO	Change Order	FTG	Footing	LNTL	Lintel	PTD	Pointed	TOT	Total
CO	Cleanout	FURN	Furnished	LP	Low Point	PVC	Polyvinyl Chloride	TRANS	Transverse
COM	Company	FUT	Future	LT	Light	PWR	Power	TRANSV	Transverse
COMB	Common	GA	Gage	LTD	Limited	QC	Quality Control	TV	Television
COMP	Composition	GA	Gage	LVL	Level	QT	Quarry Tile	TYP	Typical
CONC	Concrete	GAR	Garage	LWC	Light Weight Concrete	QTR	Quarter	UNF	Unfinished
CONSTR	Construction	GFRC	Glass Fiber Reinforced Concrete	MAINT	Maintenance	QTY	Quantity	UNGD	Underground
CONT	Continuous	GFRC	Glass Fiber Reinforced Concrete	MAN	Manual	QUAL	Quality	UNO	Unless Noted Otherwise
CONTR	Contractor	GI	Gypsum	MANUF	Manufacturer	R/RAD	Radius	UNTRD	Untreated
CORP	Corporation	GOVT	Government	MAS	Masonry	R/W	Right of Way	UPR	Upper
CORR	Corrugated	GWB	Gypsum Wall Board	MATL	Material	RBR	Rubber	UV	Ultra Violet
CPM	Critical Path Method	GWT	Glazed Wall Tile	MAX	Maximum	RCPT	Receptacle	V	Voltage
CR	Cold Rolled	GYP	Gypsum	MBR	Member	RCVD	Received	VAR	Variable/Varies
CSK	Countersink	HB	Hose Bib	MECH	Mechanical	RD	Receivable	VENT	Ventilation
CT	Ceramic Tile	HD	Hard	MED	Medium	RECT	Rectangular	VERT	Vertical
CTD	Coated	HD	Head	MEMBR	Membrane	REF	Refrigerator	VIB	Vibrate
CTR	Center	HDWR	Hardware	MEMO	Memorandum	REIN	Reinforcement	VOL	Volume
CV	Cubic	HEX	Hexagonal	MFG	Manufacturing	REL	Relative	VS	Versus
CW	Check Valve	HGT	Height	MGR	Manager	REM	Remove	W	West
°	Degree	HML	Hollow Metal	MIN	Minimum	REPL	Replace	W/	With
D	Diameter	HMDR	Hollow Metal Door	MISC	Miscellaneous	REPRO	Reproduce	W/C	Water Closet/Watercloser
DAT	Datum	HNDRL	Handrail	MOLDG	Molding	REQD	Required	WD	Wood
DB	Dry Bulb	HOL	Hollow	MOD	Modification	REV	Revision	WDW	Window
DCL	Door Closer	HOR	Horizontal	MP	Melting Point	RFG	Roofing	WH	Waterheater
DEG	Degree	HOSP	Hospital	MRK	Mark	RH	Rough	WM	Wire Mesh
		HP	High Performance	MSW	Master Switch	RM	Room	W/O	Without
				MT	Marble Threshold	RQ	Rough Opening	WP	Waterproofing
				MTG	Mounting	RPR	Repair	WP	Working Point
				ML	Multiple	RTN	Return	WRG	Wiring
				MULT	Multiple	RVS	Reverse	WT	Weight
				N	North	S	South	WWF	Welded Wire Fabric
						SAN	Sanitary	WWM	Welded Wire Mesh

WILMORE DR RESIDENCE

1525 WILMORE DR. CHARLOTTE, NC

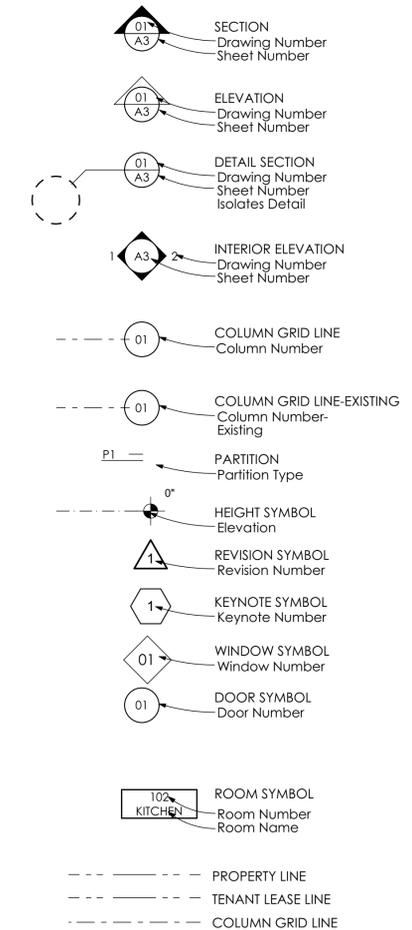


DRAWINGS

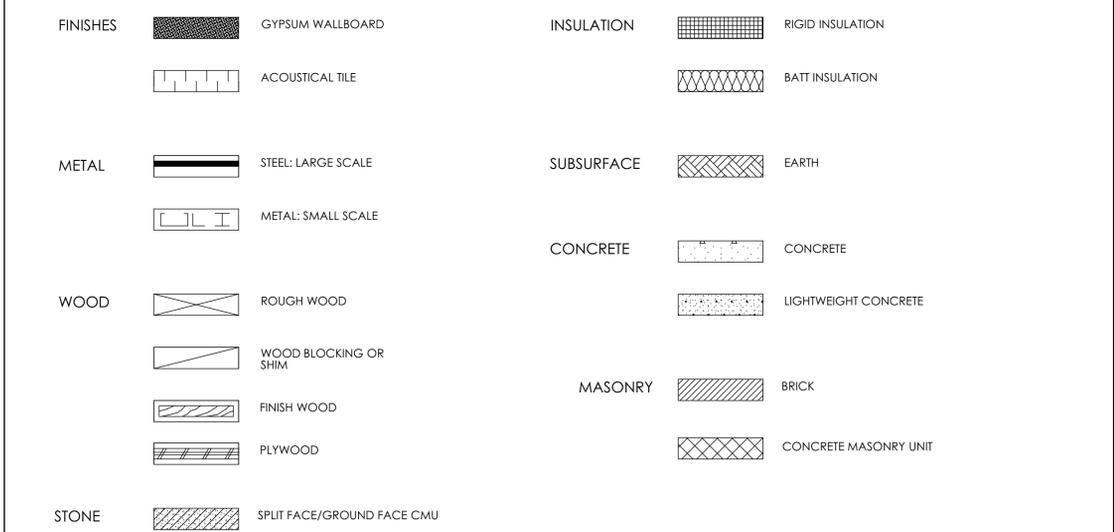
SHEET INDEX

ID	Name	3-21-18							
A-001	COVER SHEET	<input checked="" type="checkbox"/>							
A-101	SITE PLAN	<input checked="" type="checkbox"/>							
A-102	NEIGHBORHOOD MAP	<input checked="" type="checkbox"/>							
A-103	FLOOR PLAN	<input checked="" type="checkbox"/>							
A-104	FLOOR PLANS	<input checked="" type="checkbox"/>							
A-201	ELEVATIONS	<input checked="" type="checkbox"/>							
A-301	INTERIOR ELEVATIONS	<input type="checkbox"/>							
A-401	DETAILS	<input checked="" type="checkbox"/>							
A-501	SPECIFICATIONS	<input type="checkbox"/>							

SYMBOLS



MATERIAL SYMBOLS



GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE LIFE SAFETY CODE, ALL LOCAL AND STATE FIRE CODES AND CURRENT BUILDING CODES.
- THE CONTRACTOR SHALL COMPLY WITH ANY EXISTING STATE AND APPLICABLE COUNTY OR CITY REGULATIONS AND LEGISLATION REGARDING THE CONTROL OF POLLUTION AS IT APPLIES TO THE WORK.
- CODES: ALL MATERIALS, CONSTRUCTION TECHNIQUES, AND PRACTICES IN ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL WORK SHALL CONFORM TO THE APPLICABLE CODES AND REGULATIONS OF THE STATE AND ITS LOCAL JURISDICTION AND ALL INDUSTRY STANDARDS.
- CLARIFICATION: IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PART OF THE PROJECT WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND STANDARDS TO INSURE THE SAFETY OF ALL PERSONS ON THE SITE.
- THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

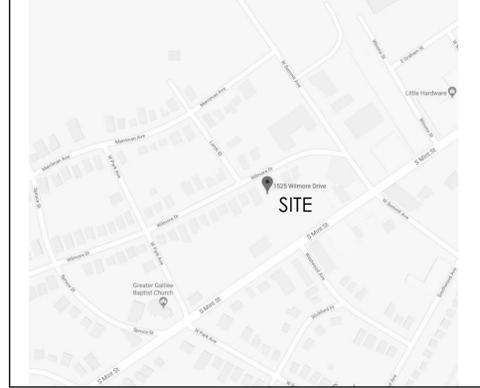
BUILDING INFORMATION

CODES: North Carolina Residential Code 2012

AREA: First Floor: 1422 SQ. FT.
Second Floor: 689 SQ. FT.
TOTAL: 2111 SQ. FT.

BUILDING USE: RESIDENTIAL

VICINITY MAP



ISSUED FOR CONSTRUCTION

JBA
JENNIFER BENSON
ARCHITECTURE, PLLC
735 MATTHEWS TOWNSHIP PKWY
MATTHEWS, NC 28105
980-245-8447
980-225-0449 FAX
www.jbenonarch.com



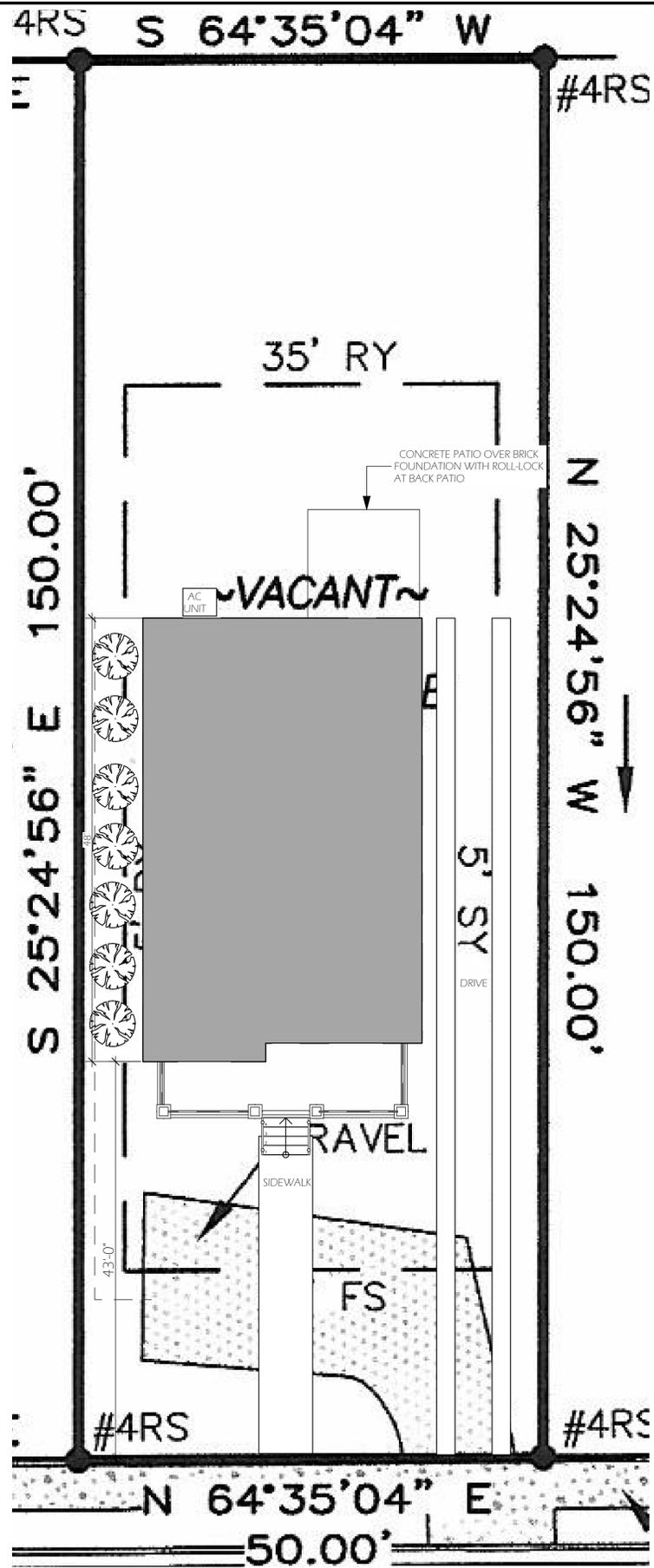
WILMORE DR RESIDENCE
1525 WILMORE DR.
CHARLOTTE, NC

Date:	Revision:
6/5/2018	JAB

THE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF JENNIFER BENSON ARCHITECTURE. USE OF THIS DRAWING IS LIMITED TO A SPECIFIED PROJECT FOR THE PERSONS NAMED HEREON AND FOR THE CONSTRUCTION OF ONE BUILDING. ANY USE OR REUSE OF SAID DRAWING IS STRICTLY PROHIBITED WITHOUT PERMISSION FROM JENNIFER BENSON ARCHITECTURE.

CHECKED BY: JENNIFER BENSON	DRAWN BY: JAB
SHEET TITLE: COVER SHEET	PROJECT NO: 18.510
SHEET NUMBER:	

A-001



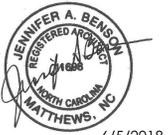
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SITE PLAN

SCALE: 1/8" = 1'-0"



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WILMORE DR RESIDENCE
 1525 WILMORE DR.
 CHARLOTTE, NC

0	Date:	Revision:

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DATE: 6/5/2018	DRAWN BY: JAB
SCALE:	PROJECT NO: 18.510

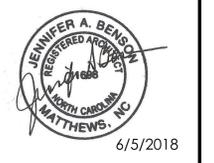
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JENNIFER BENSON

SHEET TITLE:
SITE PLAN

SHEET NUMBER:

A-101

ISSUED FOR CONSTRUCTION



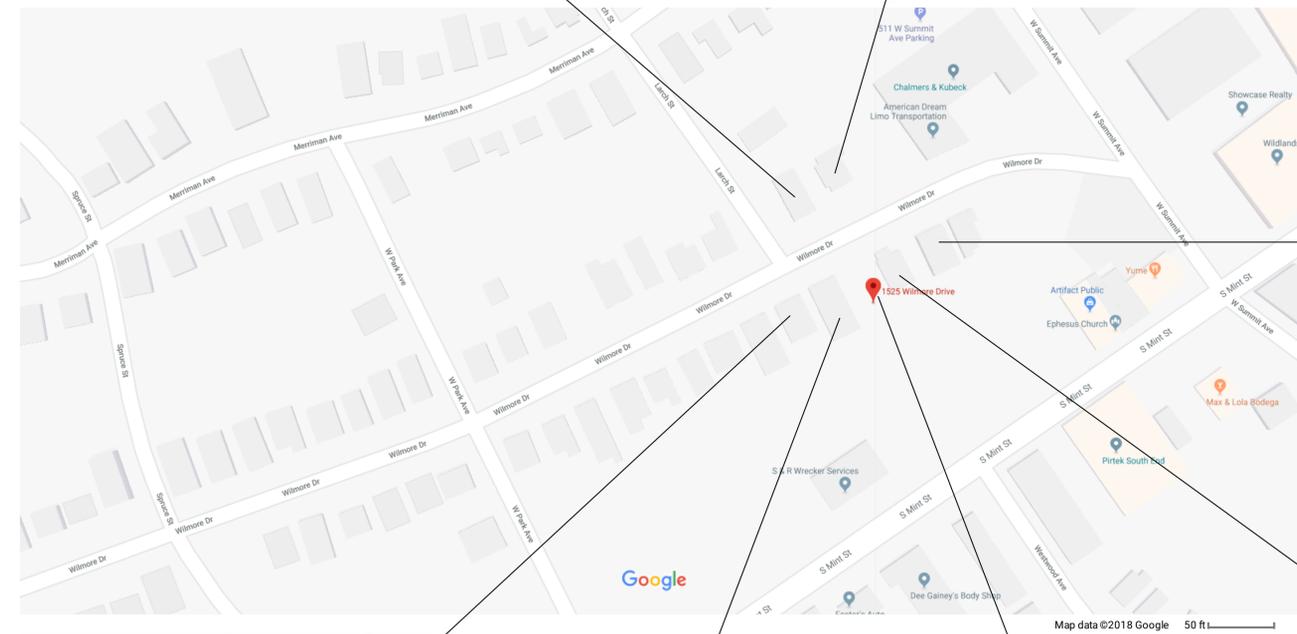
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CHARLOTTE, NC



600 LARCH ST.



1520 WILMORE DR.



1 **MAP**
 SCALE: 1:0.51



1517 WILMORE DR.



1523 WILMORE DR.



1533 WILMORE DR.



1529 WILMORE DR.



1525 WILMORE DR.
 SUBJECT PROPERTY

Date:	Revision:

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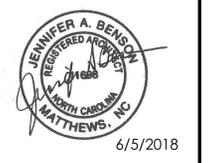
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6/5/2018	JAB
SCALE:	PROJECT NO:
	18.510

CHECKED BY:
 JENNIFER BENSON

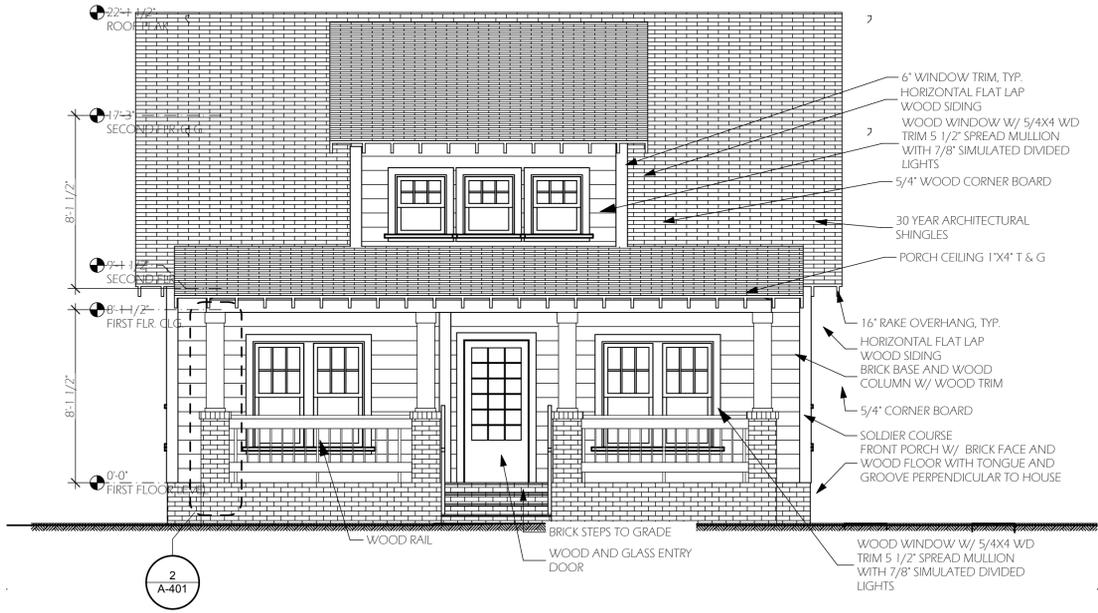
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 NEIGHBORHOOD MAP

SHEET NUMBER:

A-102



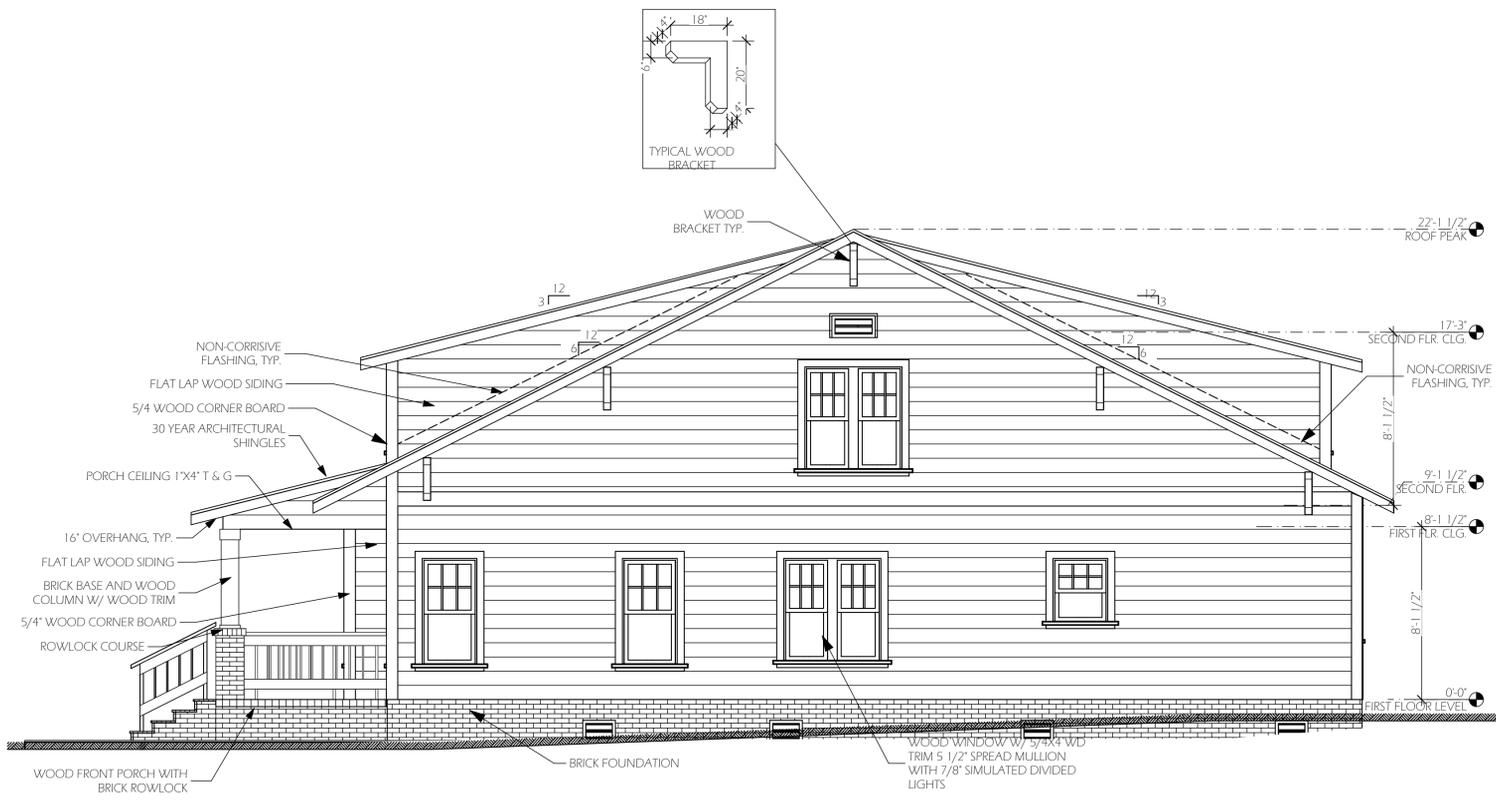
WILMORE DR RESIDENCE
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 CHARLOTTE, NC



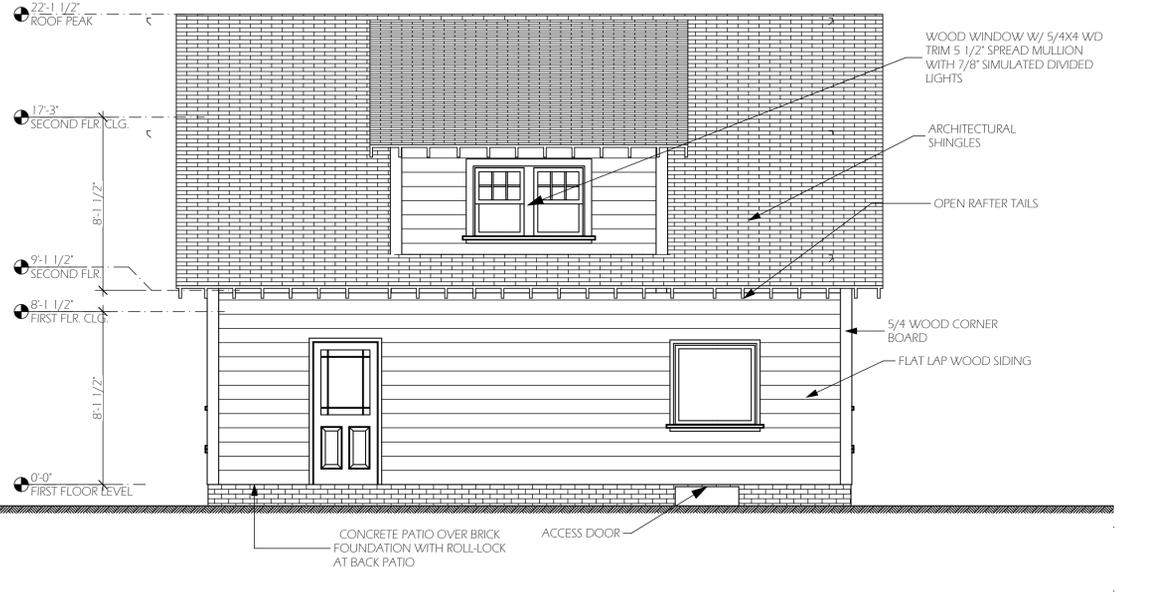
1 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



3 RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
 SCALE: 1/4" = 1'-0"

0	Date:	Revision:

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DATE:	DRAWN BY:
6/5/2018	JAB
SCALE:	PROJECT NO:
	18.510

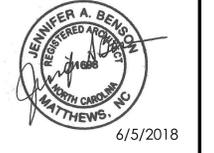
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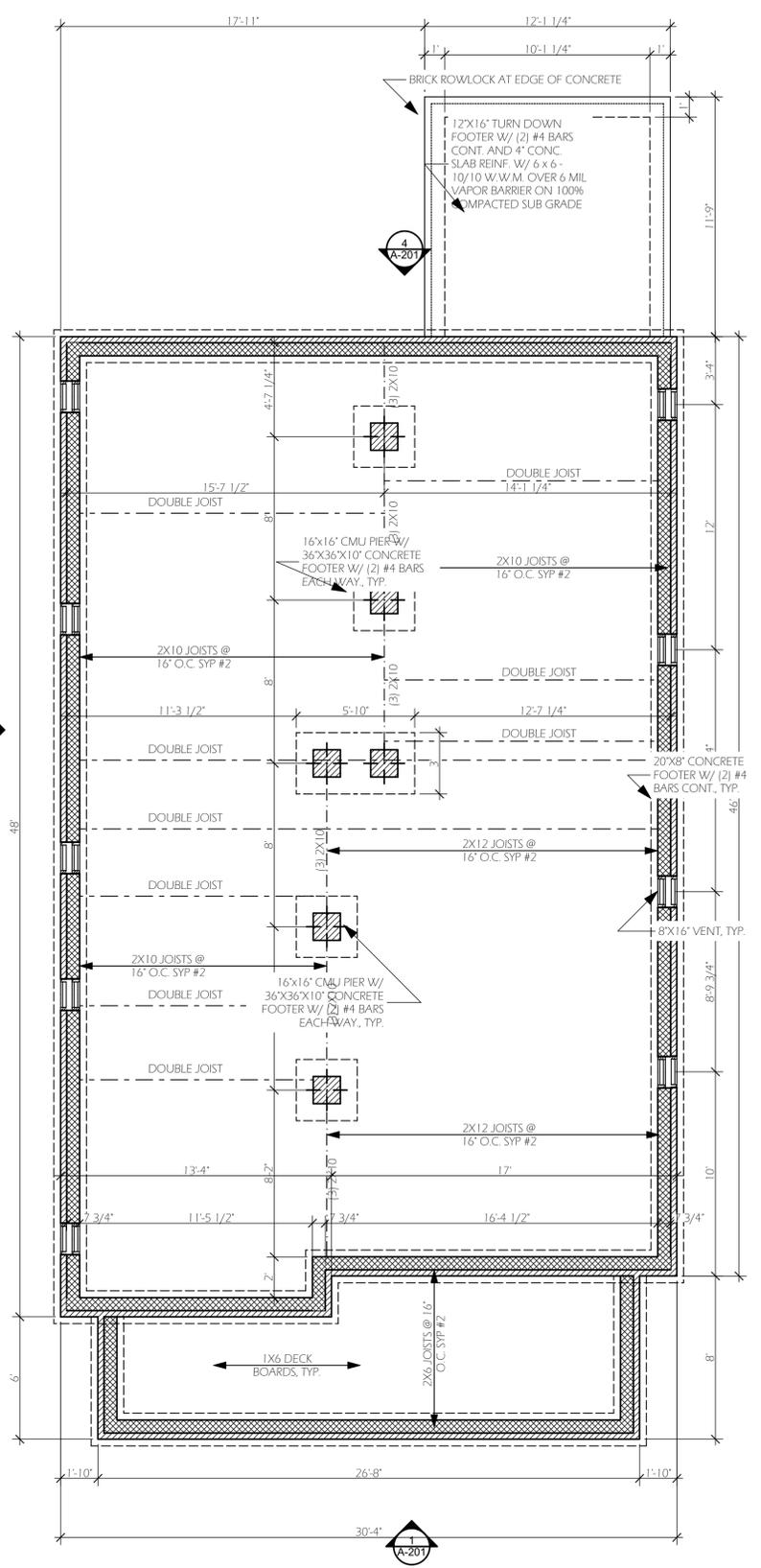
A-201

ISSUED FOR CONSTRUCTION

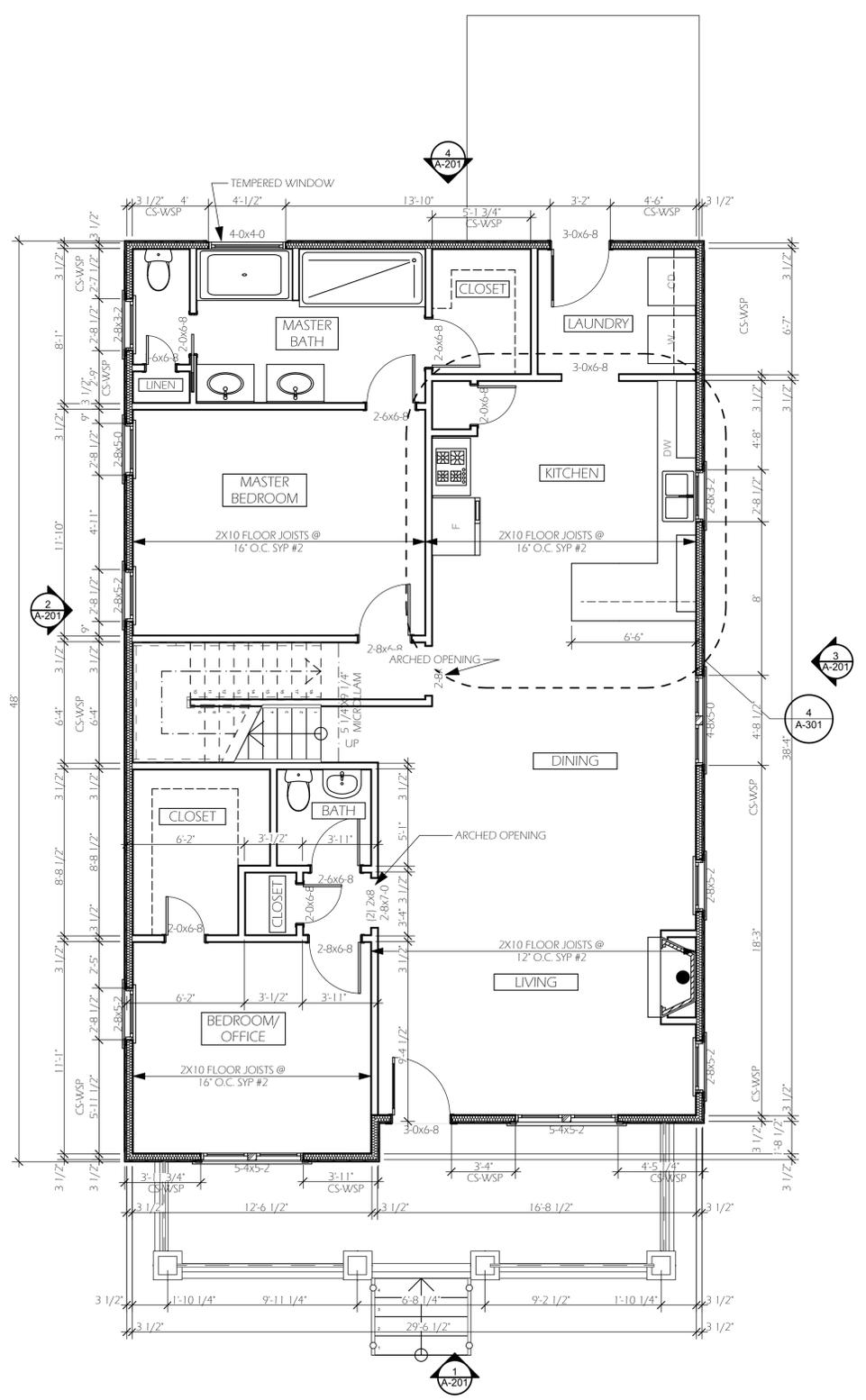
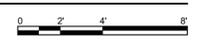


WILMORE DR RESIDENCE
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 CHARLOTTE, NC

- NOTES:
1. ALL DIMENSIONS ARE TO THE FACE OF STUD.
 2. ALL INTERIOR WALLS TO BE 2X4 WOOD STUDS @ 16" O.C. - SYP # 2 W/ 1/2" G.W.B. EA. SIDE
 3. ALL EXTERIOR WALLS TO HAVE 7/16" CONTINUOUS OSB.
 4. EXTERIOR WALLS TO BE 1/2" GWB, 2X6 WD STUDS @ 16" O.C. - SYP # 2, R-15 BATT INSULATION, 7/16" OSB, TYVEK BUILDING WRAP OR SIM. AND EXTERIOR FINISH AS NOTED ON ELEVATIONS.
 5. PROVIDE WOOD STRUCTURAL PANELS (CS-WSP) WHERE NOTED ON PLANS FOR WALL BRACING. PROVIDE 6d NAILS 6" FROM EDGED AND 12" O.C. IN FIELD.
 6. PROVIDE (2) 2X8 HEADERS FOR ALL WINDOW AND DOOR OPENINGS TO 4'-6" AND (2) 2X10 HEADERS TO OPENINGS TO 6'-0"
 7. PROVIDE (2) JACK STUDS EA. SIDE AT ALL WINDOW AND DOOR LOCATIONS.
 8. PROVIDE DOUBLE JOISTS AT ALL WALL LOCATIONS ABOVE.
 9. PROVIDE TEMPERED GLAZING IN THE WINDOW WITHIN 36" OF THE WALKING SURFACE OF A STAIR LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING AREA, AND LESS THAN 60" FROM THE TUB OR SHOWER AND LESS THAN 60" ABOVE THE FLOOR.
 10. JACK AND KING STUDS. THE NUMBER OF JACK AND KING STUDS INSTALLED ON EACH SIDE OF A HEADER SHALL COMPLY WITH TABLE R603.7(1). KING, JACK AND CRIPPLE STUDS SHALL BE THE SAME DIMENSION AND THICKNESS AS THE ADJACENT WALL STUDS. HEADERS SHALL BE CONNECTED TO KING STUDS IN ACCORDANCE WITH TABLE R603.7(2).
 11. PROVIDE GRADE #1 FOR SYP GIRDERS AND HEADERS, TYP.
 12. R703.11.3 WHERE THE PROPERTY LINE IS LESS THAN 1'0" FROM THE BUILDING FACE AND THE SOFFIT MATERIAL IS VINYL OR ALUMINUM, THE SOFFIT MATERIAL SHALL BE SECURELY ATTACHED TO THE FRAMING MEMBERS AND SHALL USE UNDERLAYMENT MATERIAL OR EITHER FIRE RETARDANT TREATED WOOD, 23/32" WOOD SHEATHING, OR 5/8" GYPSUM BOARD. VENTING REQUIREMENTS SHALL APPLY TO BOTH SOFFIT AND UNDERLAYMENT AND SHALL BE PER SECTION R806



1 FOUNDATION
 SCALE: 1/4" = 1'-0"



2 1st FLOOR PLAN
 SCALE: 1/4" = 1'-0"



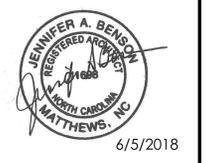
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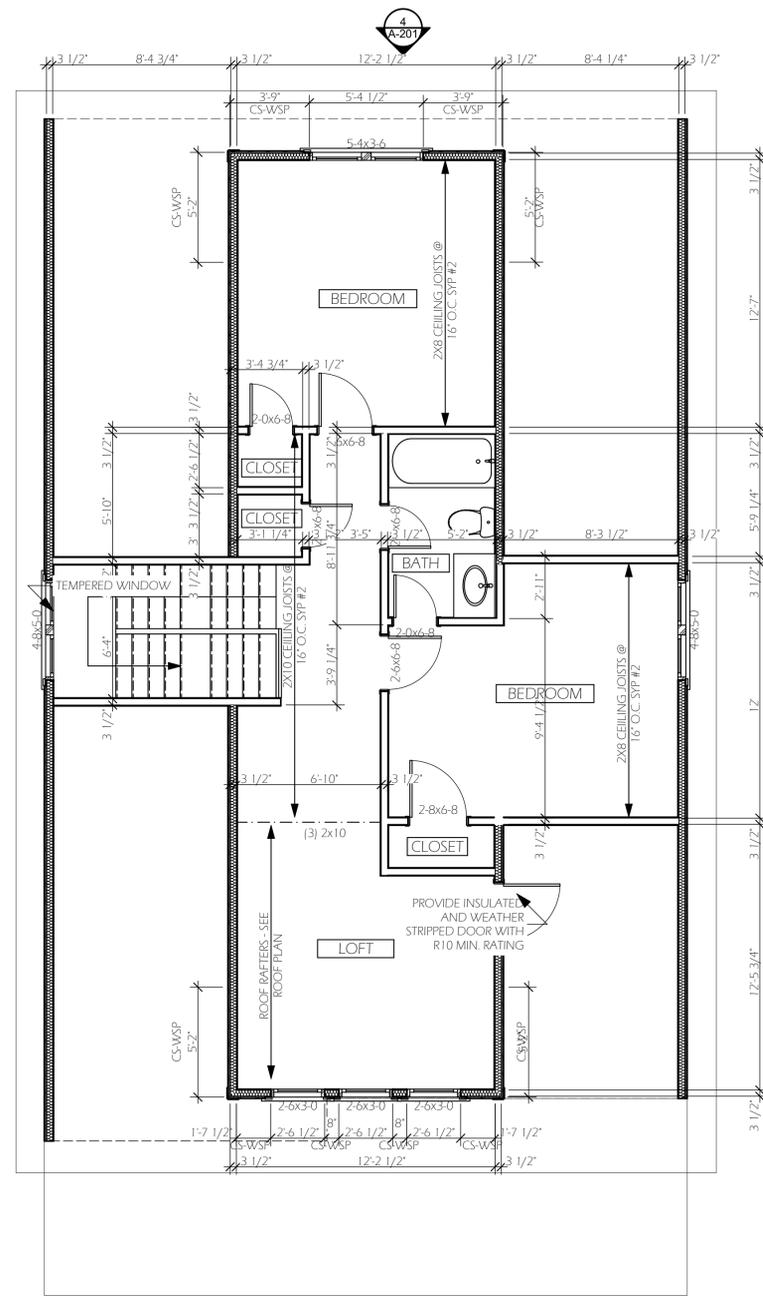
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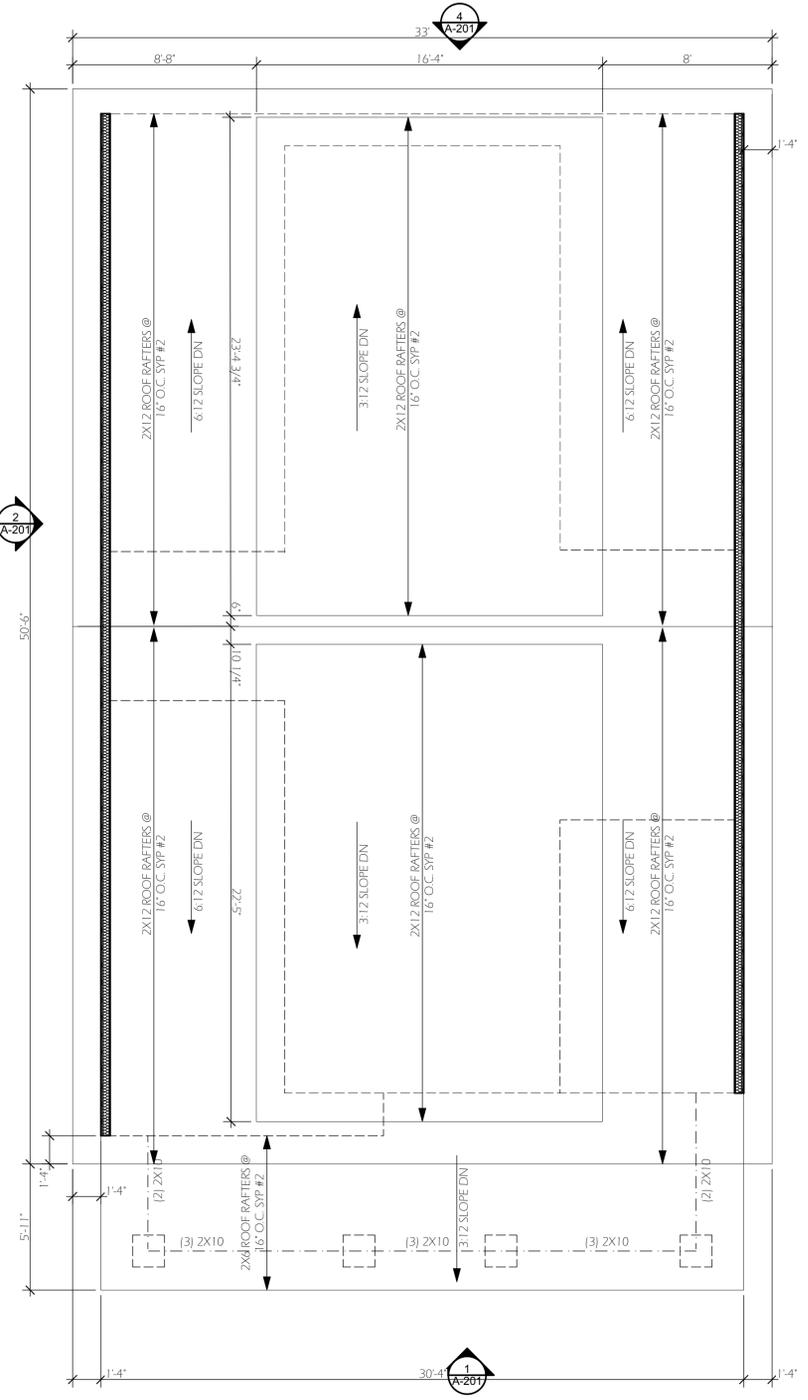
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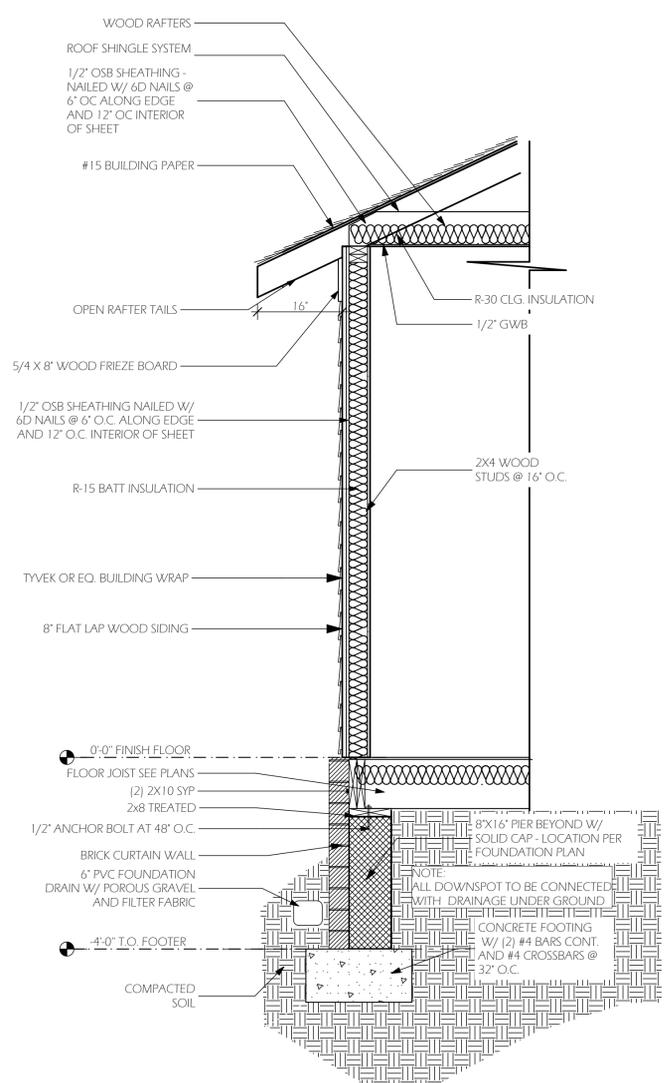


1 2nd FLOOR PLAN
 SCALE: 1/4" = 1'-0"

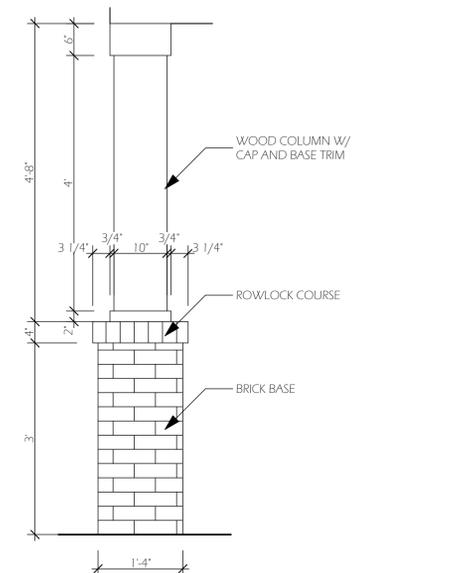


2 ROOF
 SCALE: 1/4" = 1'-0"

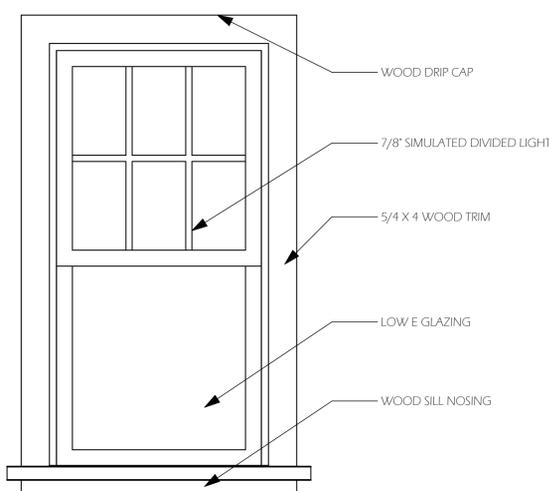




1 WALL SECTION
SCALE: 3/4" = 1'-0"

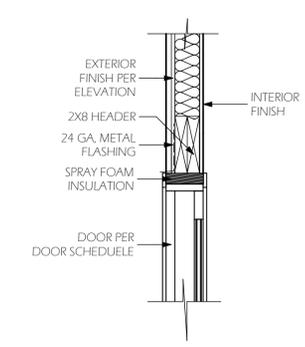


2 COLUMN DETAIL
SCALE: 3/4" = 1'-0"

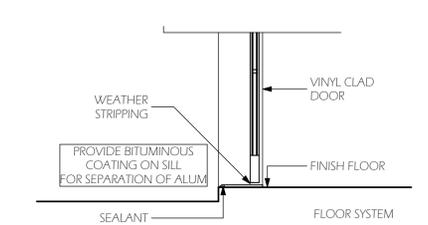


3 WINDOW DETAIL
SCALE: 1" = 1'-0"

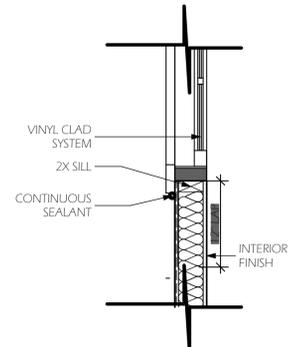
NOTE: TWIN UNITS HAVE 5 1/2" MULLION



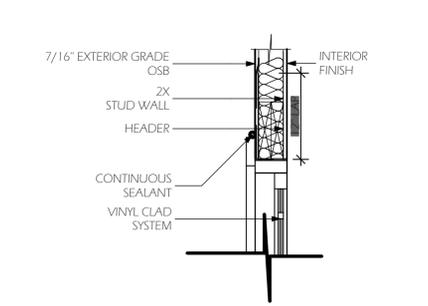
03 DOOR HEAD
SCALE: 1" = 1'-0"



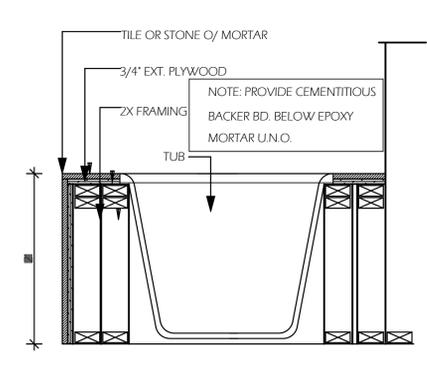
04 DOOR THRESHOLD
SCALE: 1" = 1'-0"



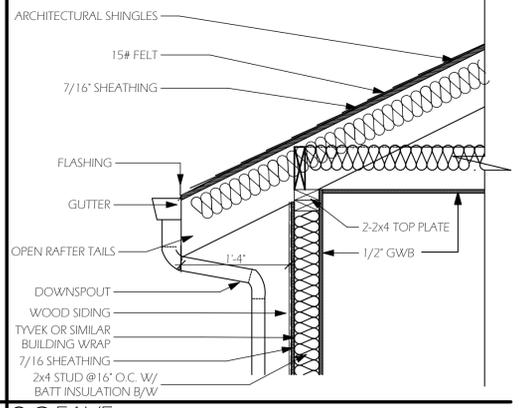
05 WINDOW SILL
SCALE: 1" = 1'-0"



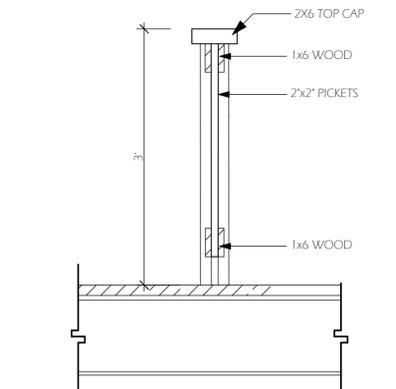
06 WINDOW HEAD
SCALE: 1" = 1'-0"



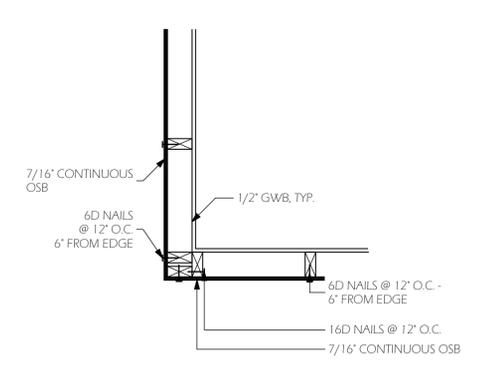
07 SHOWER TUB
SCALE: 1" = 1'-0"



08 EAVE
SCALE: 1" = 1'-0"

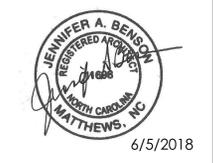


09 SHOWER TUB
SCALE: 1" = 1'-0"



10 FRAMING CORNER
SCALE: 1" = 1'-0"

JBA
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SCALE: PROJECT NO: 18.510

CHECKED BY: JENNIFER BENSON

SHEET TITLE: DETAILS

SHEET NUMBER:

A-401

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