

---

**LOCAL HISTORIC DISTRICT:** Wilmore

**PROPERTY ADDRESS:** 325 West Kingston Avenue

**SUMMARY OF REQUEST:** Addition

**APPLICANT/OWNER:** Shelly Hughes

---

**Details of Proposed Request**

*Existing Conditions*

The existing structure is a one story Bungalow style house constructed in 1938. Exterior features include a hipped roof, wide eaves and brick exterior. Adjacent structures are on to two story residential structures.

*Proposal*

The proposal is a two story addition that begins behind the front façade and new brick porch columns. The new height from finished floor is approximately 23'. The siding material proposed is Hardie Artisan lap siding and brick. The addition includes a covered rear patio. Trim materials are wood and cementitious where noted on the elevations. Windows are wood or aluminum clad.

**Design Guidelines-Additions, page 7.2**

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

Continued on page 2.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

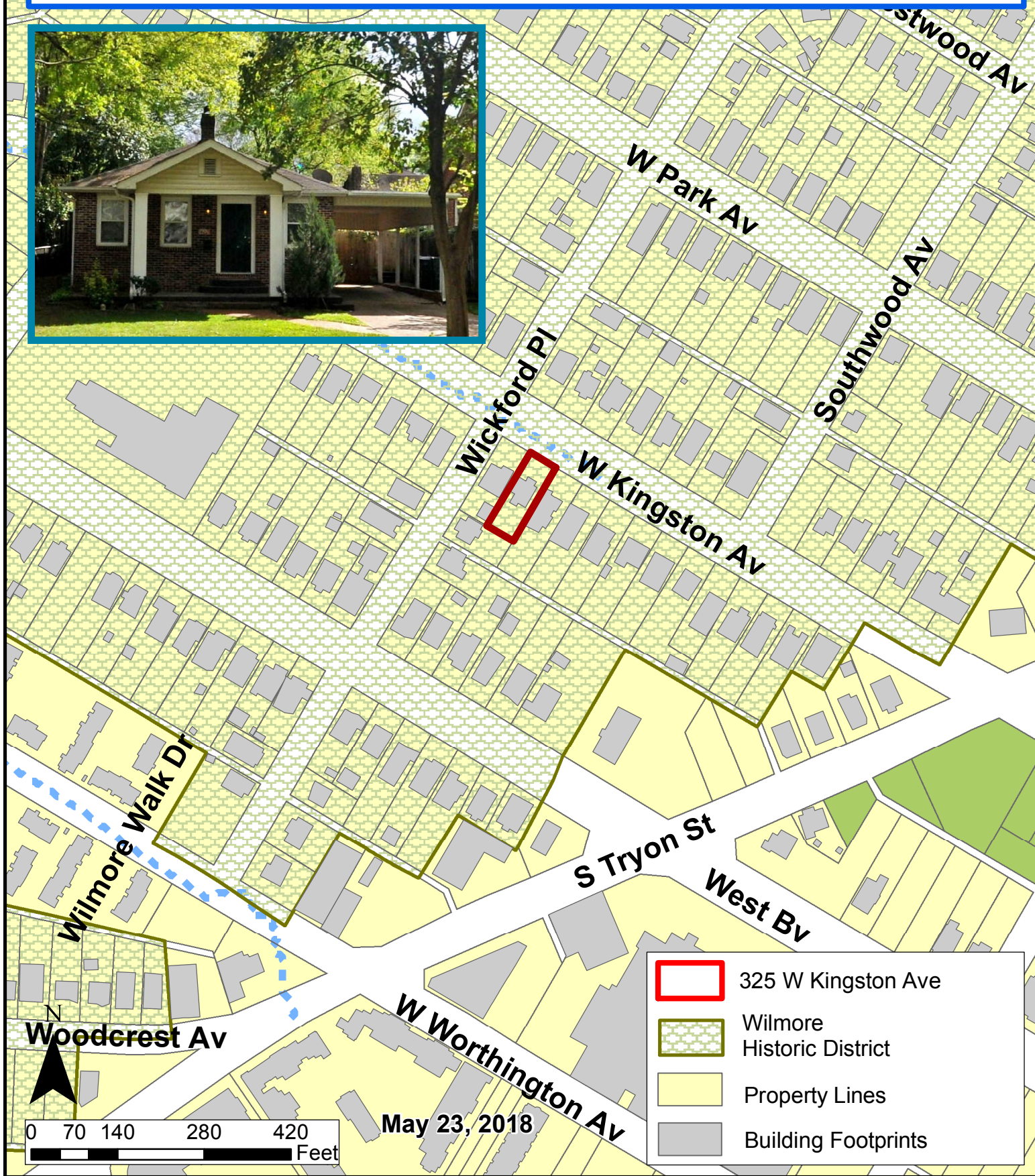
*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

### **Staff Analysis**

The proposed addition is inconsistent with the following guidelines for additions:

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

*Charlotte Historic District Commission Case 2018-264*  
**HISTORIC DISTRICT: WILMORE**  
**ADDITION**









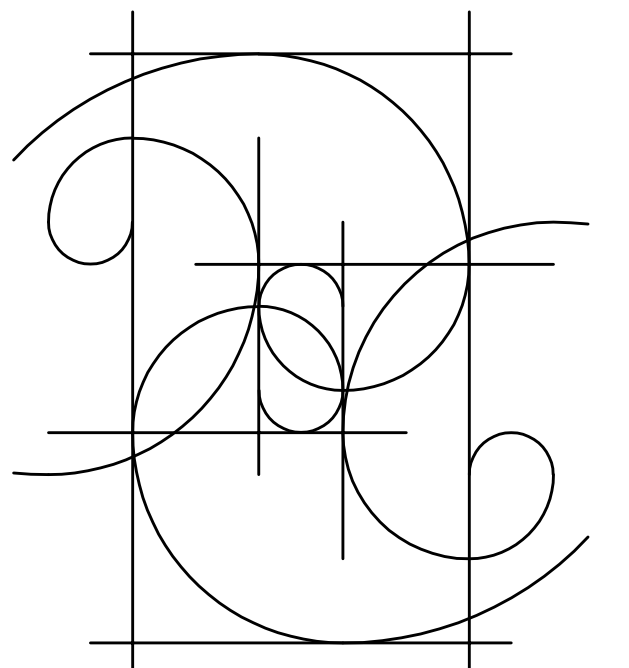
# 325 W. KINGSTON AVE.

## CHARLOTTE, NC 28203

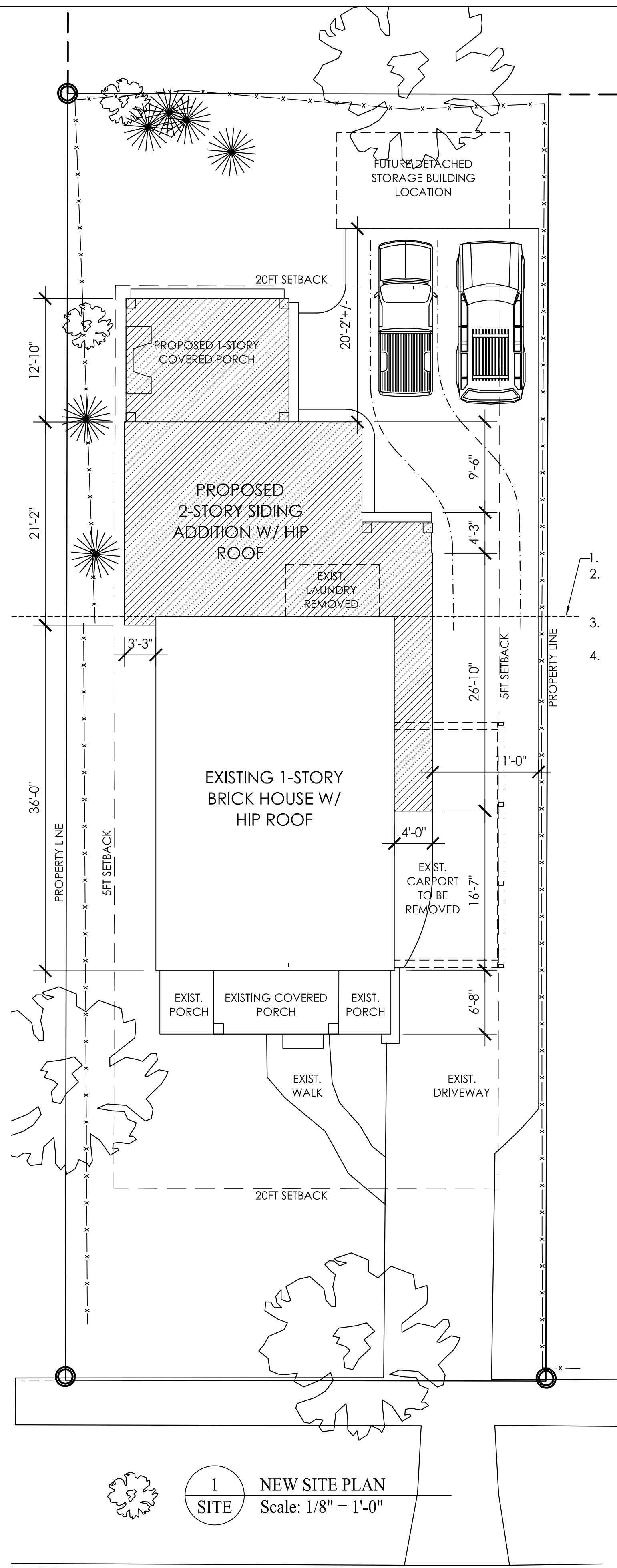
All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.

Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

SHELLEY HUGHES  
DESIGN, LLC



704.575.9594



1. EXISTING REAR YARD = 2721 SF
2. MAX COVERAGE OF NEW ADDITION PER HISTORIC GUIDELINES = 50% (1360 SF)
3. ADDITION & NEW REAR PORCH = 770 SF [28% COVERAGE]
4. PROPOSED DRIVEWAY = 670 SF (SOME OF THIS COULD BE PERMIABLE)

### TABLE OF CONTENTS

SITE	COVER SHEET/SITE PLAN
1.1	FIRST FLOOR PLAN (EXISTING & NEW)
1.2	SECOND FLOOR PLAN (EXISTING & NEW)
1.3	ROOF PLAN (EXISTING & NEW)
2.1	FRONT & REAR ELEVATION
2.2	RIGHT ELEVATION (DRIVEWAY SIDE)
2.3	LEFT ELEVATION & STAIR SECTION

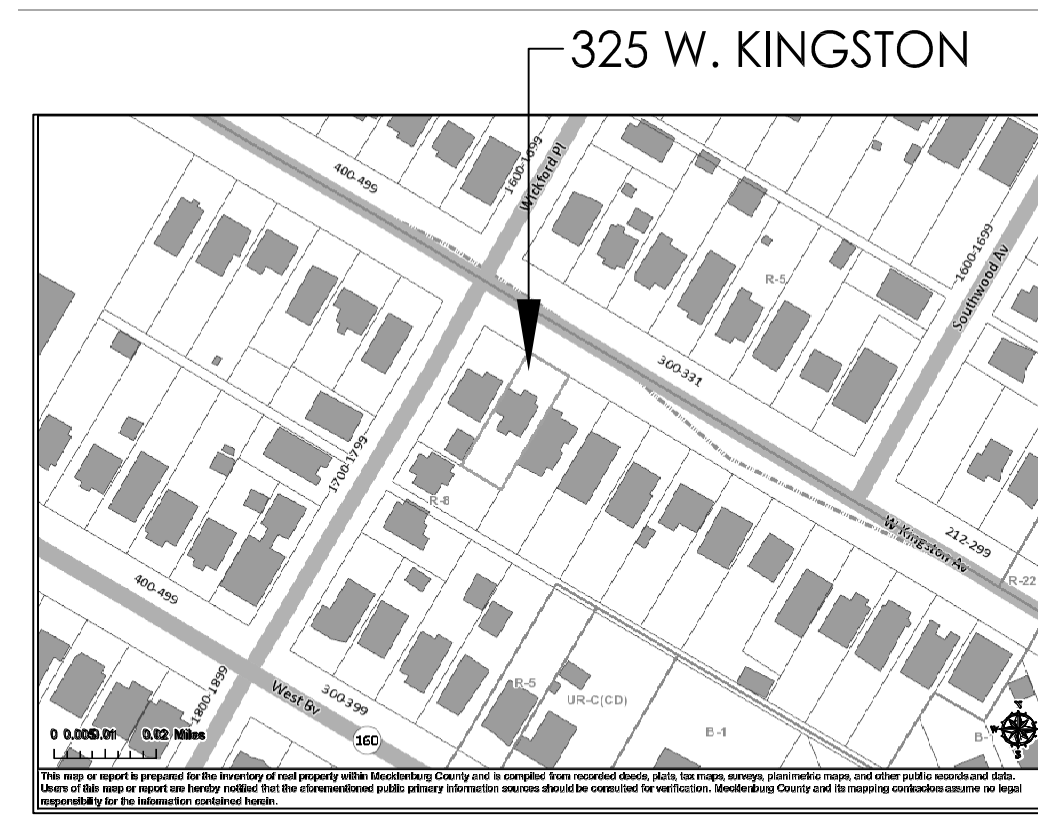
### SQUARE FOOTAGES

TOTAL FOOTPRINT (TO OUTSIDE OF WALLS)	
EXISTING 1ST FLOOR (FOOTPRINT) =	968 SF
EXISTING FRONT PORCH =	158 SF
TOTAL (FOOTPRINT) =	1126 SF

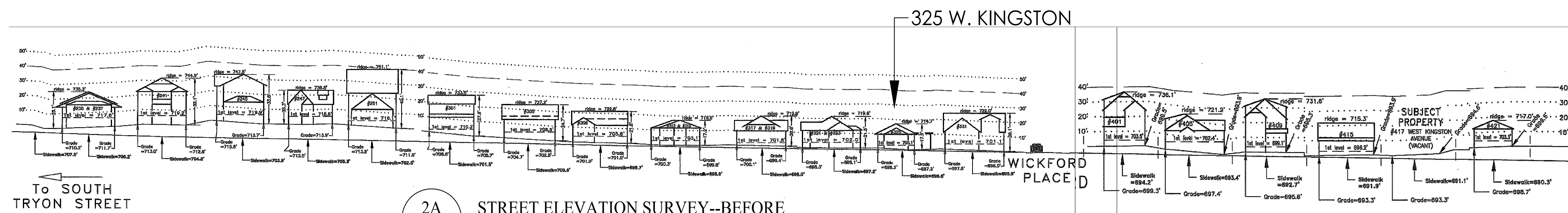
1ST FLOOR (FOOTPRINT) =	1549 SF
MUDROOM PORCH =	23 SF
REAR PORCH =	217 SF
TOTAL FOOTPRINT (W/PORCHES) =	3338 SF

ZONING =	R-8
MAX LOT COVERAGE =	50%
LOT SIZE =	6700 SF
MAX F.A.R. @ 50% =	3350 SF
HOUSE + PORCHES =	3338 SF
TOTAL LOT COVERAGE =	0.49 %

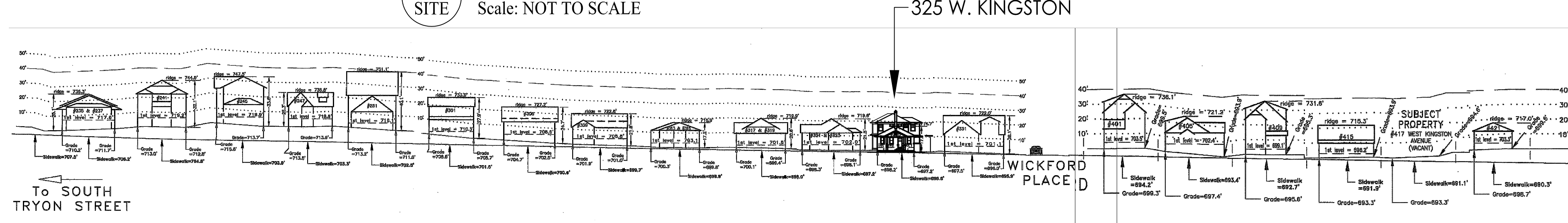
TOTAL HEATED SQUARE FEET (TO INSIDE OF WALLS)	
NEW FIRST FLOOR =	1440 SF
NEW SECOND FLOOR =	1155 SF
TOTAL (FOOTPRINT) =	2595 SF



3 LOCATION/CHAR-MECK GIS Map  
SITE NOT TO SCALE



2A STREET ELEVATION SURVEY--BEFORE  
SITE Scale: NOT TO SCALE



2B STREET ELEVATION SURVEY--AFTER  
SITE Scale: NOT TO SCALE

1 NEW SITE PLAN  
SITE Scale: 1/8" = 1'-0"

W. KINGSTON AVE.

**BURDI RESIDENCE**  
 CONSTRUCTION  
 Concept Only  
 325 W. KINGSTON AVE.  
 CHARLOTTE, NC  
 RENOVATION/ADDITION

06.04.2018-REAR YARD CALCS AND ADDED TO STREET ELEV. REVISIONS

SHEET TITLE  
SITE PLAN

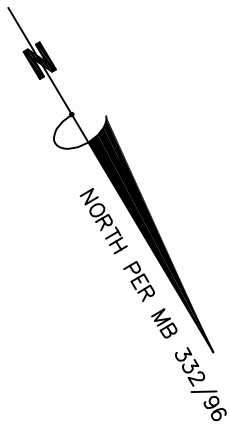
ISSUE DATE  
MAY 1st, 2018

SHEET NUMBER

**SITE**

THIS IS TO CERTIFY THAT ON THE 15th DAY OF FEBRUARY 2018, AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON.

SIGNED \_\_\_\_\_  
PROFESSIONAL LAND SURVEYOR



~ NOW OR FORMERLY ~  
WACE PROPERTY HOLDINGS LLC  
DB 28108/849

~ NOW OR FORMERLY ~  
ELLIS AND ELLIS INVESTING LLC  
DB 32437/943

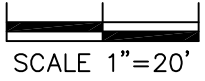
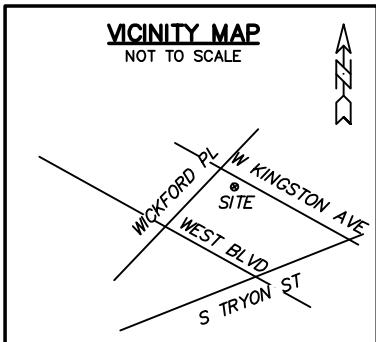
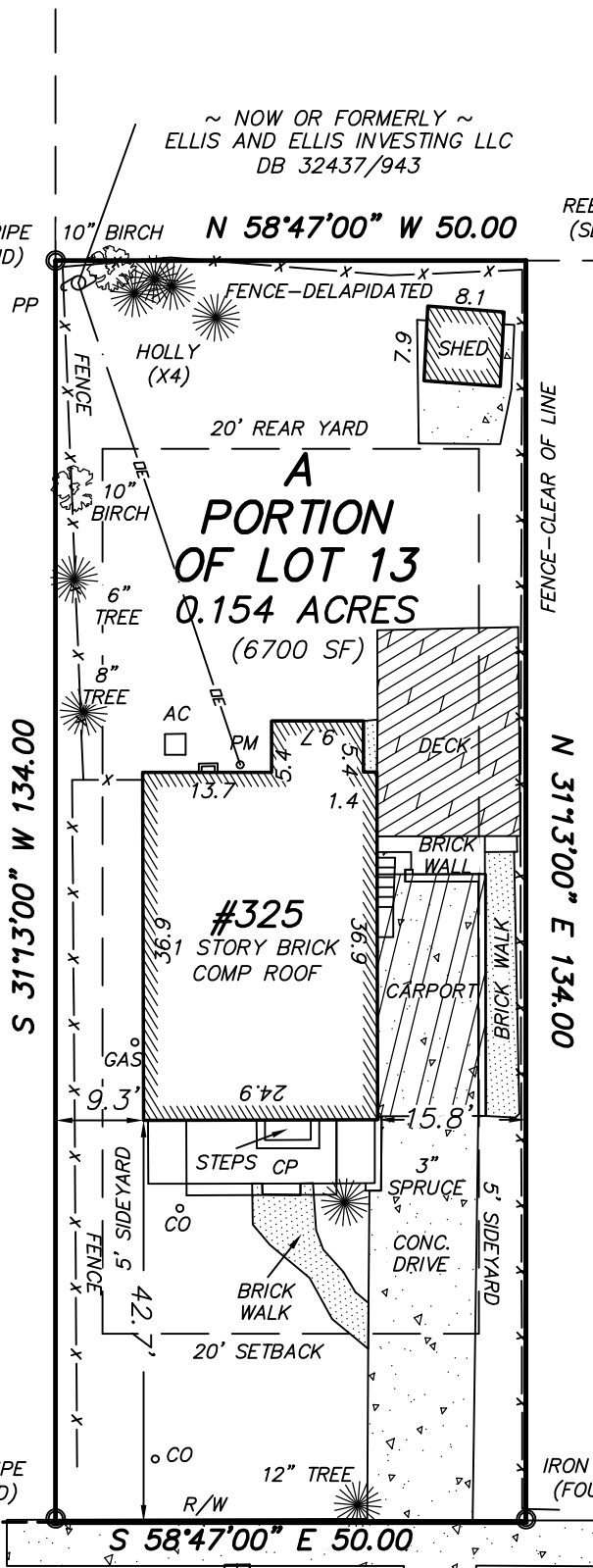
~ NOW OR FORMERLY ~  
CAROLYN HUNTER  
DB 19932/983

**NOTES:**

1. PID 11907918
2. THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL RECORDED OR UNRECORDED EASEMENTS, SETBACKS, BUFFERS, RIGHTS-OF-WAY, OR RESTRICTIVE COVENANTS, OTHER THAN SHOWN.
3. THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP (FIRM) NO. 3710454300K, WITH A DATE OF IDENTIFICATION OF 03/02/2009.
4. SURVEY MADE WITHOUT THE BENEFIT OF A TITLE EXAMINATION.
5. PROPERTY ZONED: R-8 SETBACKS SHOWN ARE PER CURRENT ZONING CLASSIFICATION AND ARE SUBJECT TO INTERPRETATION BY THE PROPER ZONING ADMINISTRATION.

**LEGEND:**

- PM = POWER METER
- GAS = GAS METER
- AC = AIR CONDITIONING
- WM = WATER METER
- R/W = RIGHT OF WAY
- PP = POWER POLE
- CO = SEWER CLEAN OUT
- BC = BACK OF CURB
- OE = OVERHEAD ELECTRICITY
- CP = COVERED PORCH



**W KINGSTON  
AVE**  
80' PUBLIC R/W  
(PER DB 29561/816)  
**PHYSICAL SURVEY**  
OF  
**A PORTION OF LOT 12, BLOCK 11  
WILMOORE**

CITY OF CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA

**DANIEL BURDI**

CAROLINA SURVEYORS, INC  
P.O. BOX 267  
PINEVILLE, N.C. 28134  
(704) 889-7601  
FAX: (704) 889-7614  
CERTIFICATE OF AUTHORIZATION  
NC-C-1242 SC: 886

SURVEYED FOR \_\_\_\_\_  
MAP RECORDED IN BOOK 332 AT PAGE 96 DEED RECORDED BOOK 29561 PAGE 816  
DRAWN BY BC FIELD WORK MB/SH FIELD BOOK # \_\_\_\_\_

2018\BAT\W Kingston Ave #325  
2018\W\W Kingston Ave #325

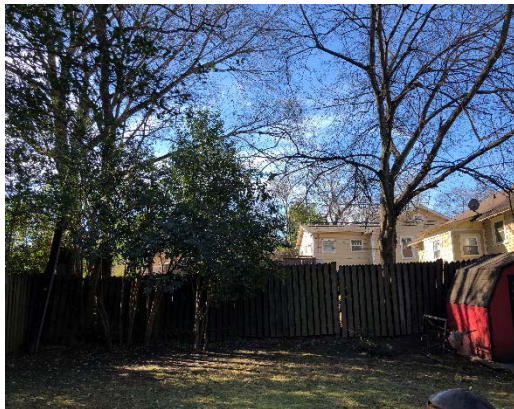


# Existing House





# Existing Lot Photos







325 W. Kingston Ave.  
Proposed Perspective View of Addition



# CONTEXT PHOTOS





# ADDITIONAL CONTEXT PHOTOS & STREET VIEWS



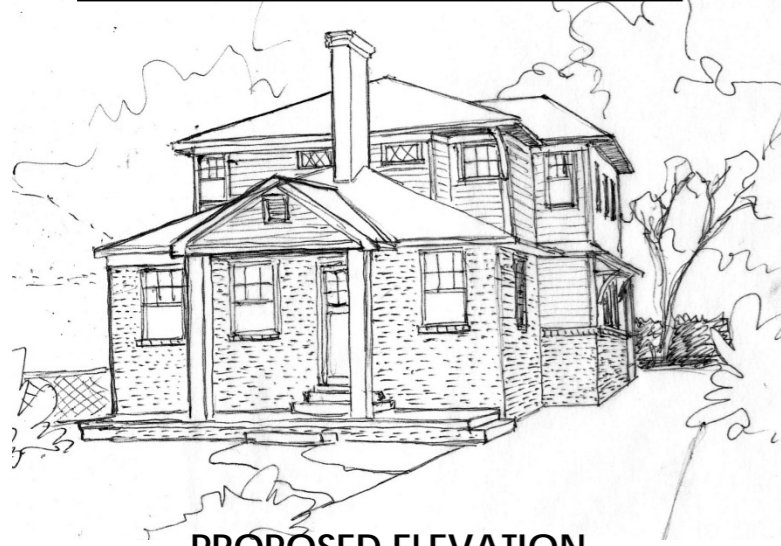
We feel there is a good argument for additional height on this house due to the size, scale, and massing of neighboring houses. 325 W. Kingston is one of the smallest houses, if not the smallest, on this side of the street. And many of the houses down the street have additional height due to grading/retaining walls at the sidewalk too.

Note: #325 also has one of the smallest lots which factors into the zoning limits for additions to this house. R8 zoning = 50% max lot coverage so adding on is limited and we must build up instead.





**OTHER HISTORIC  
EXAMPLES/STYLES**



**PROPOSED ELEVATION**

There are many examples of similar style two story options through all the historic districts in Charlotte. We would also like to propose full brick columns at the front porch similar to some of these styles. We also held the roof line of the 2<sup>nd</sup> floor back to accentuate the original house/roof line and chimney at the front.

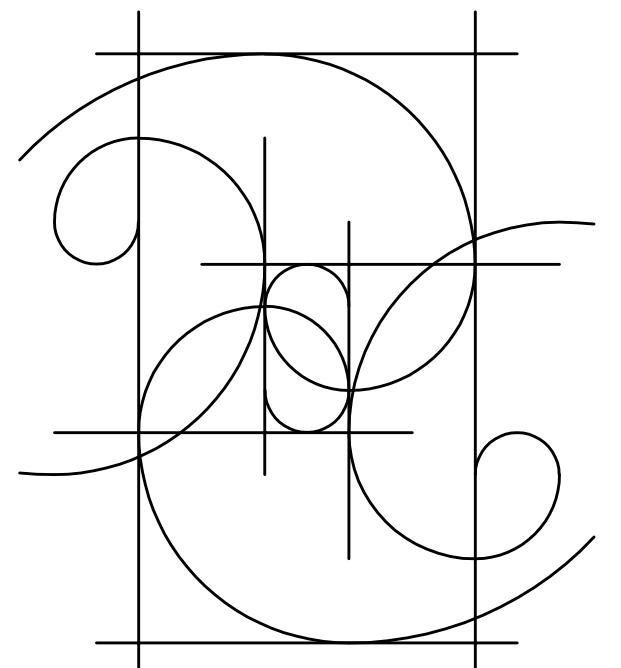




All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.

Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

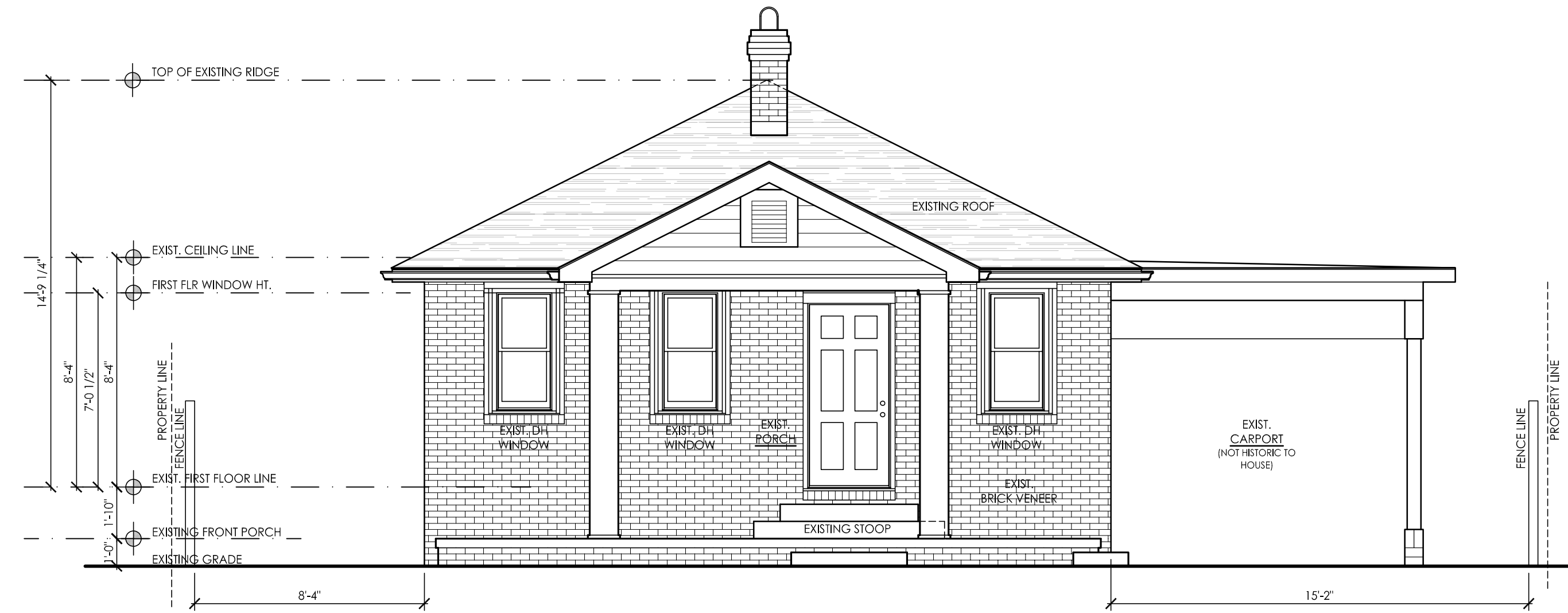
SHELLEY HUGHES  
DESIGN, LLC



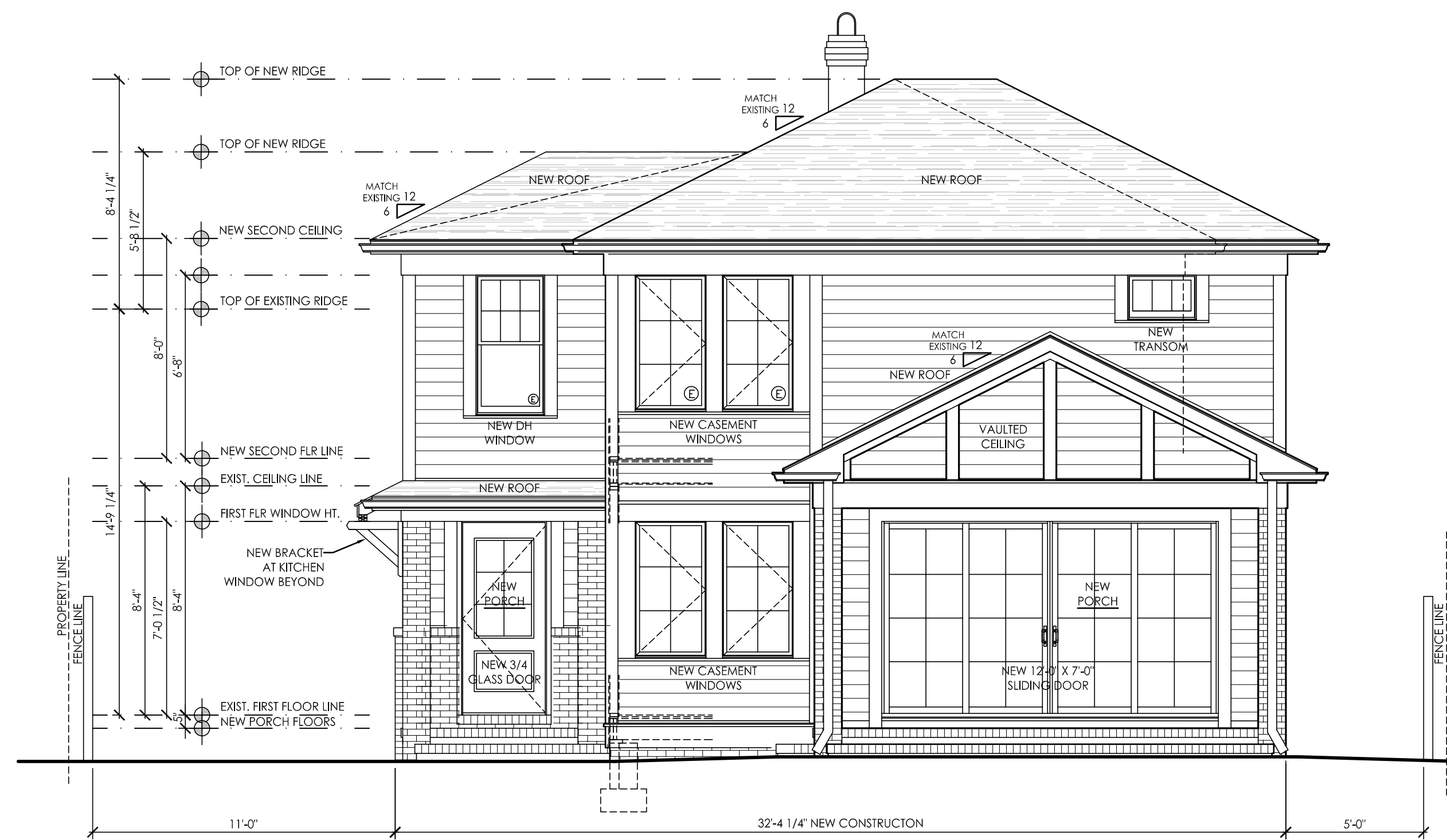
704.575.9594



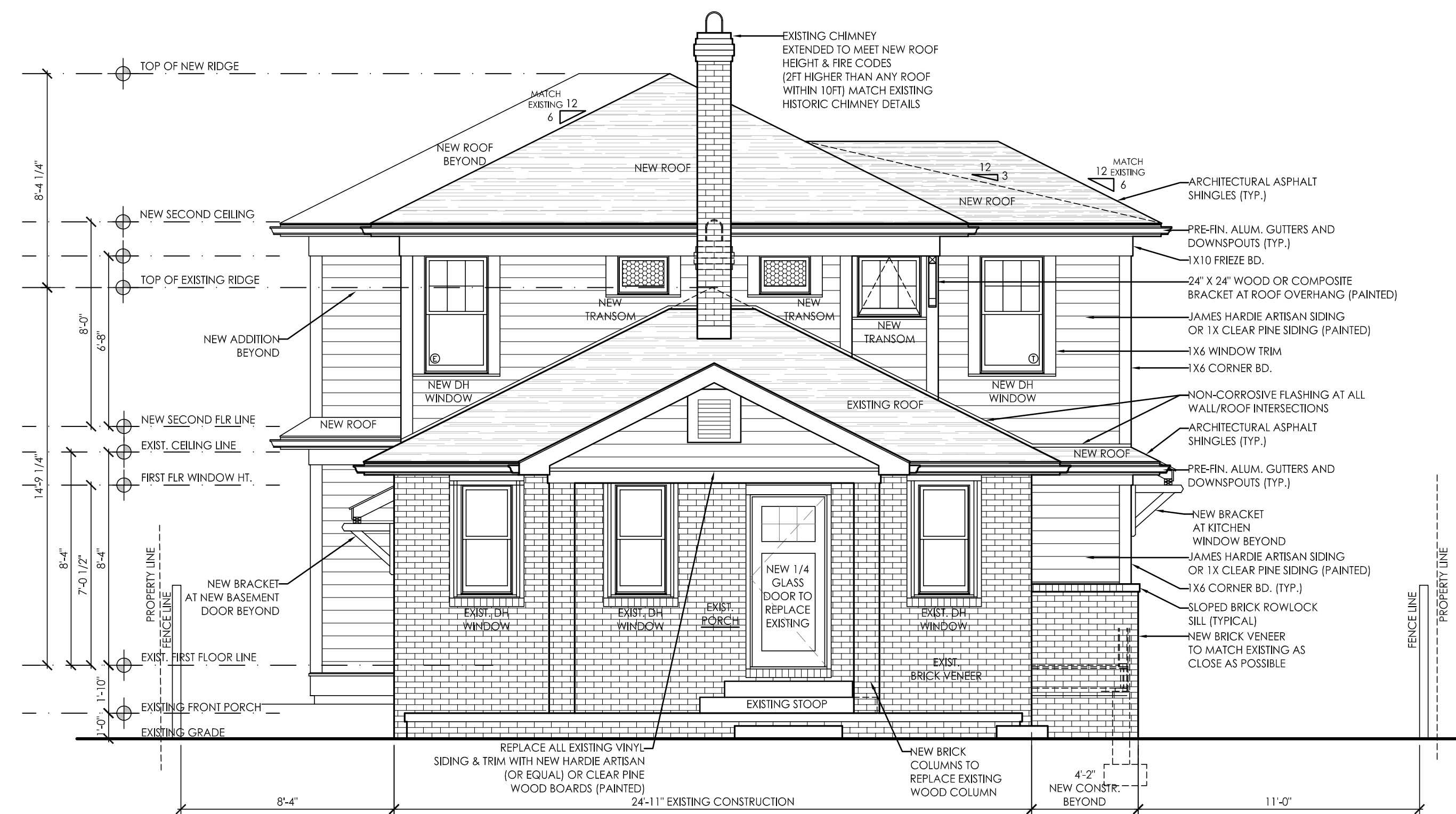
4 EXISTING REAR ELEVATION  
2.1 Scale: 1/4" = 1'-0"



2 EXISTING FRONT ELEVATION  
2.1 Scale: 1/4" = 1'-0"



3 NEW REAR ELEVATION  
2.1 Scale: 1/4" = 1'-0"



1 NEW FRONT ELEVATION  
2.1 Scale: 1/4" = 1'-0"

**BURDI RESIDENCE**  
325 W. KINGSTON AVE.  
CHARLOTTE, NC  
RENOVATION/ADDITION

CONSTRUCTION  
Concept Only

REVISIONS

SHEET TITLE  
EXISTING & NEW ELEVATIONS

ISSUE DATE  
MAY 1st, 2018

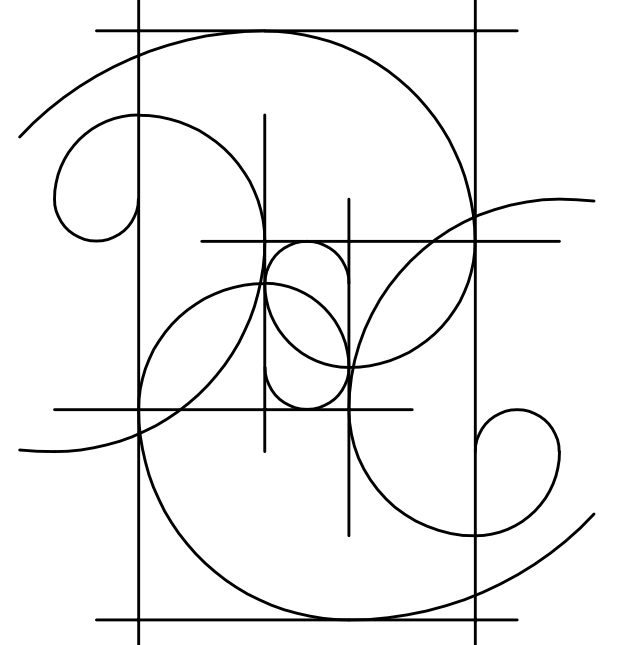
SHEET NUMBER  
2.1



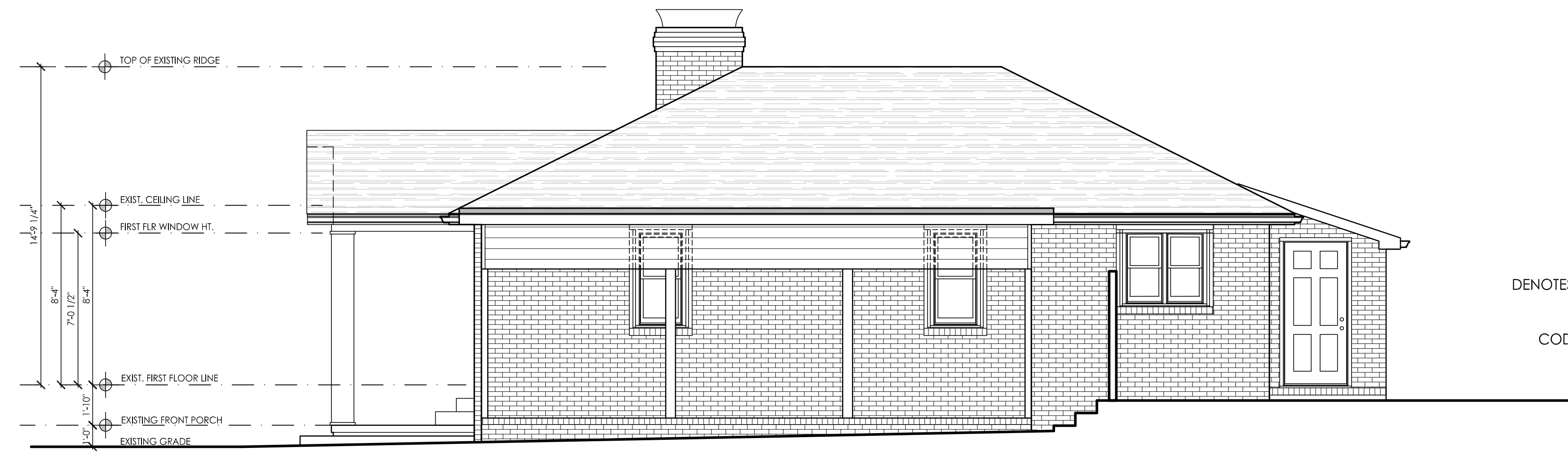
All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.

Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

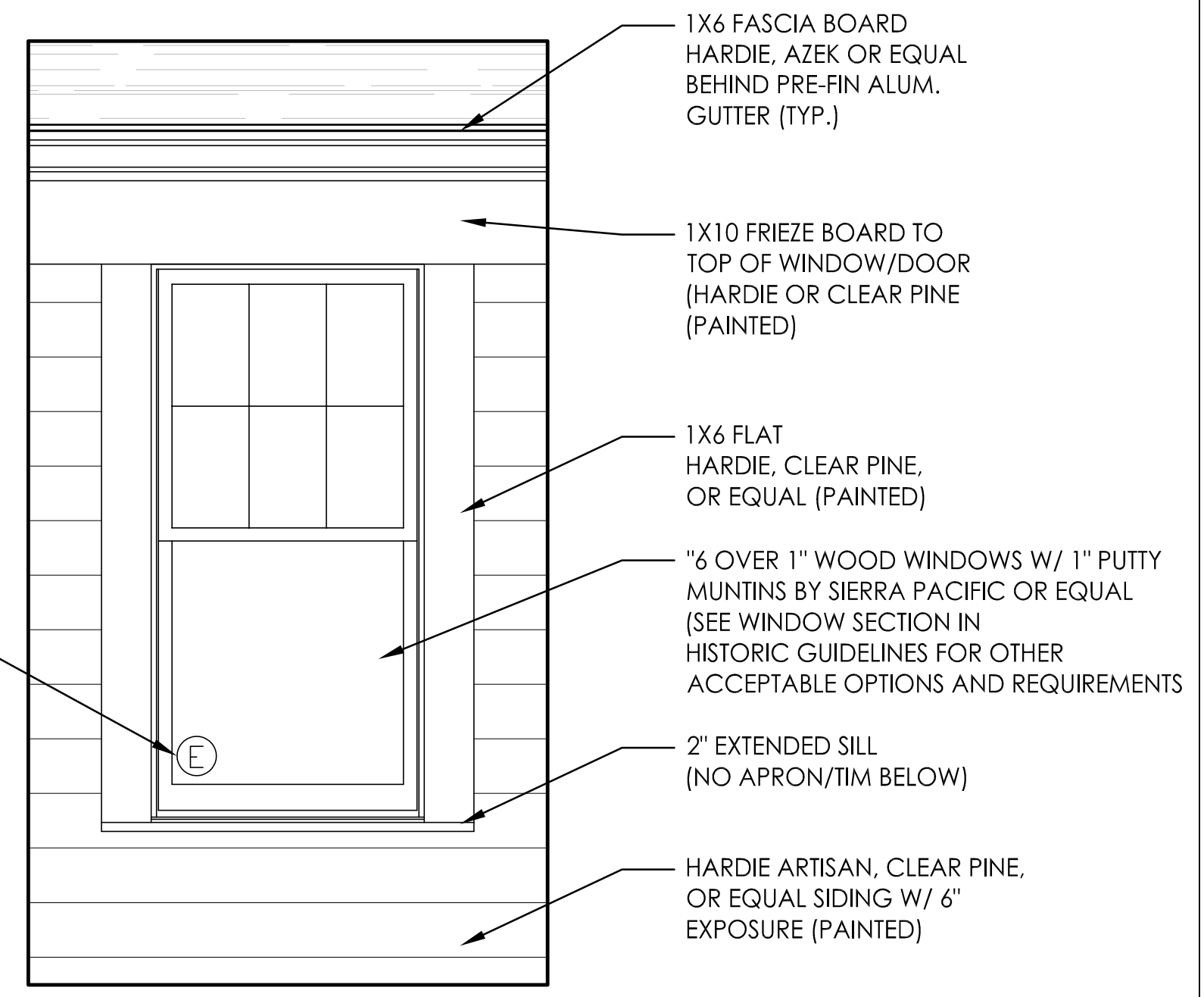
SHELLEY HUGHES  
DESIGN, LLC



704.575.9594



2 EXISTING RIGHT ELEVATION (DRIVEWAY)  
2.2 Scale: 1/4" = 1'-0"



3 WINDOW & DOOR TRIM  
2.2 Scale: 1/4" = 1'-0"



1 NEW RIGHT ELEVATION (DRIVEWAY)  
2.2 Scale: 1/4" = 1'-0"

**BURDI RESIDENCE**  
CONCEPT FOR  
325 W. KINGSTON AVE.  
CHARLOTTE, NC  
RENOVATION/ADDITION  
Concept Only

REVISIONS

SHEET TITLE  
EXISTING & NEW  
ELEVATIONS

ISSUE DATE  
MAY 1st, 2018

SHEET NUMBER

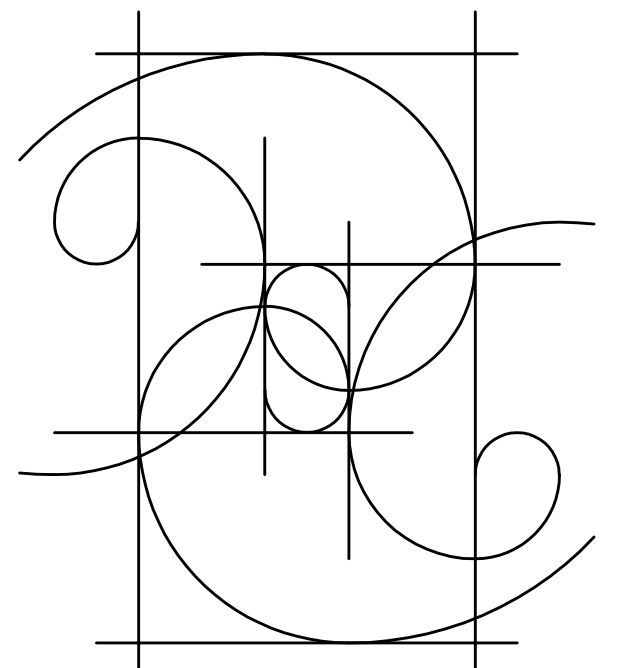
2.2



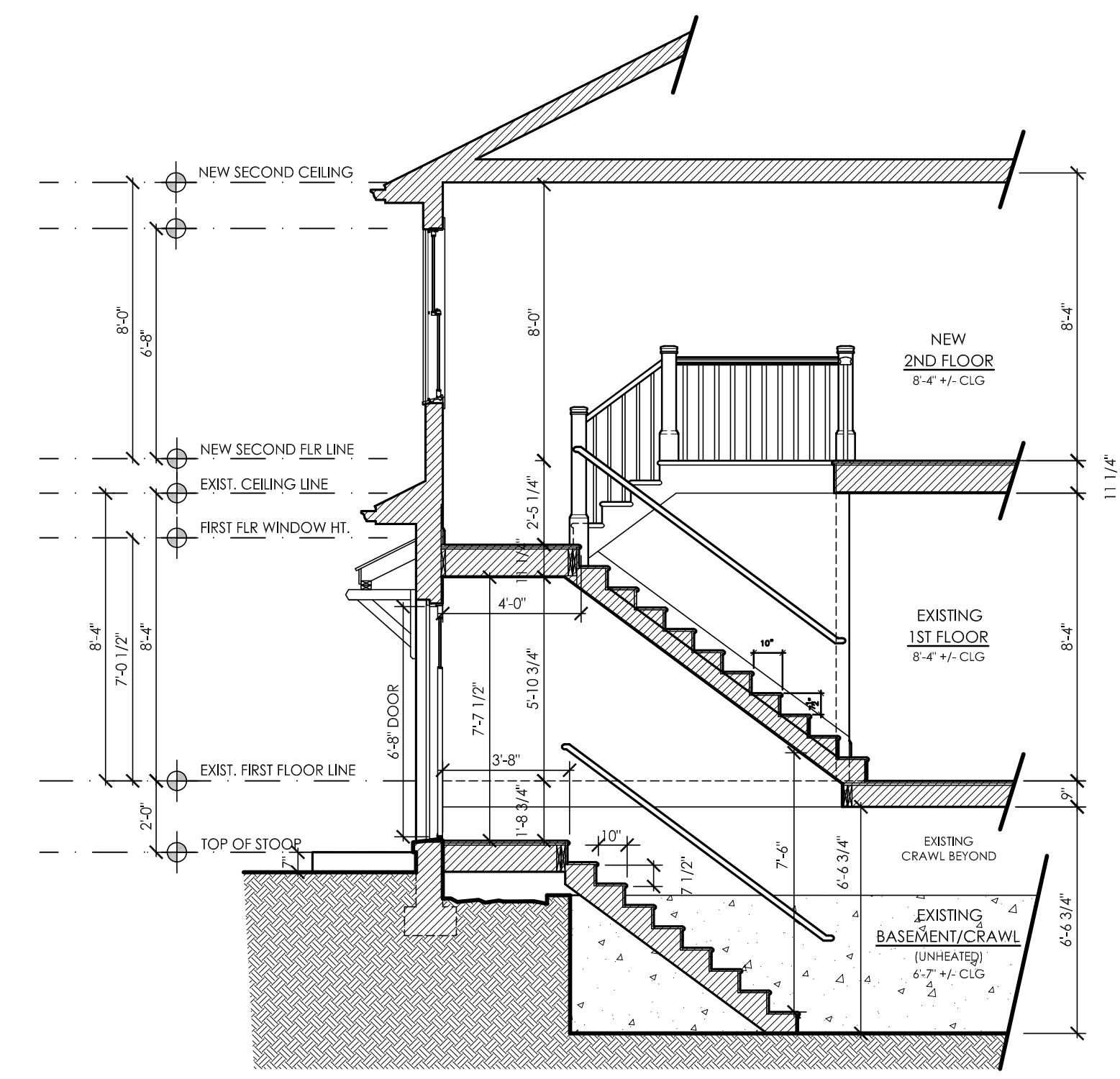
All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.

Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

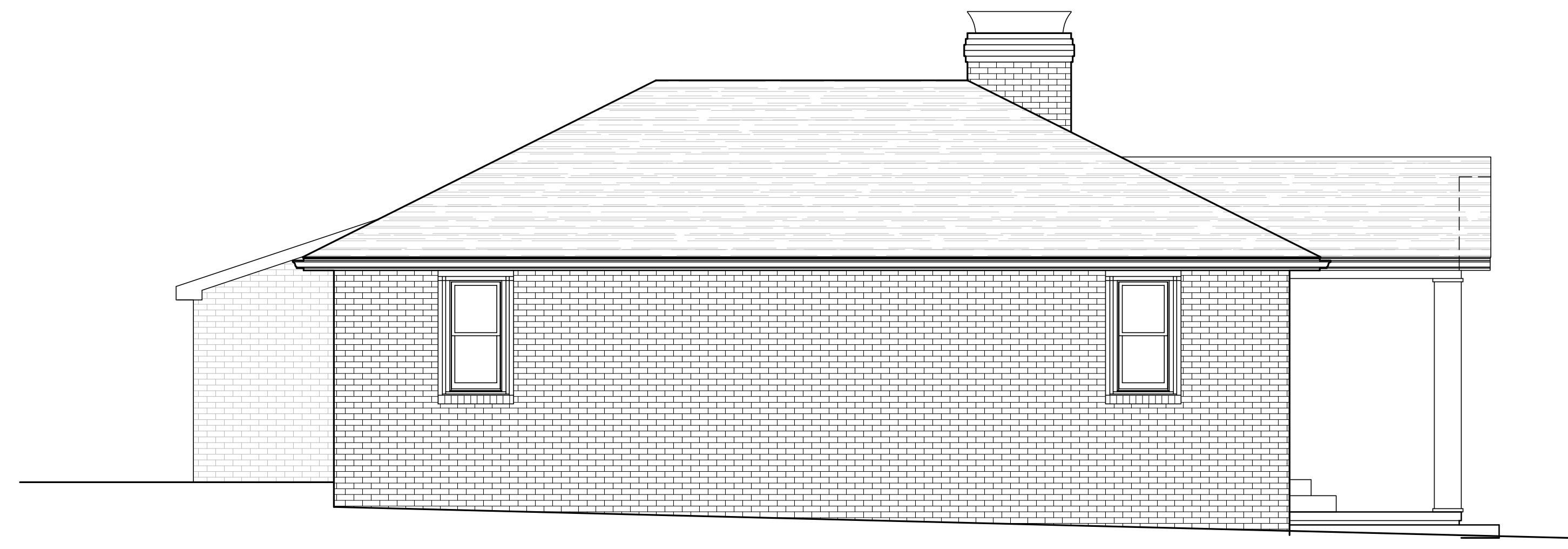
SHELLEY HUGHES  
DESIGN, LLC



704.575.9594



3 SECTION @ NEW STAIR/BASEMENT  
2.3 Scale: 1/4" = 1'-0"



2 EXISTING LEFT ELEVATION  
2.3 Scale: 1/4" = 1'-0"



1 NEW LEFT ELEVATION  
2.3 Scale: 1/4" = 1'-0"

**BURDI RESIDENCE**  
325 W. KINGSTON AVE.  
CHARLOTTE, NC  
RENOVATION/ADDITION

CONSTRUCTION  
Concept Only

REVISIONS

SHEET TITLE  
EXISTING & NEW  
ELEVATIONS

ISSUE DATE  
MAY 1st, 2018

SHEET NUMBER

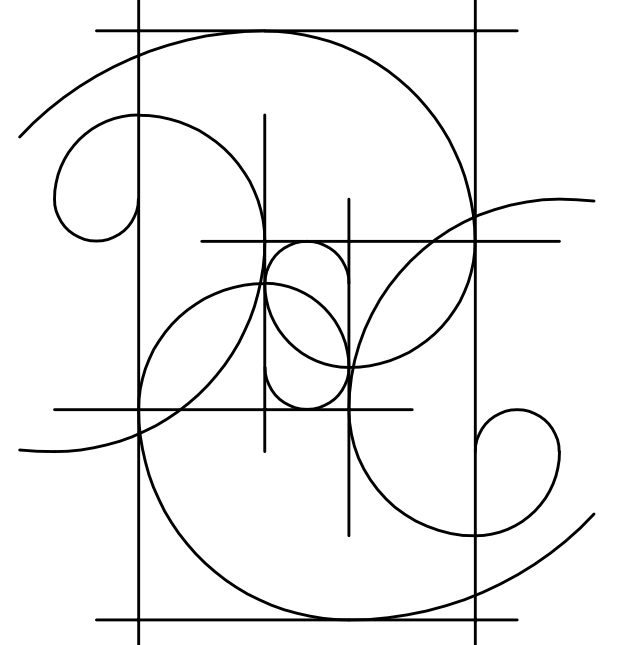
2.1



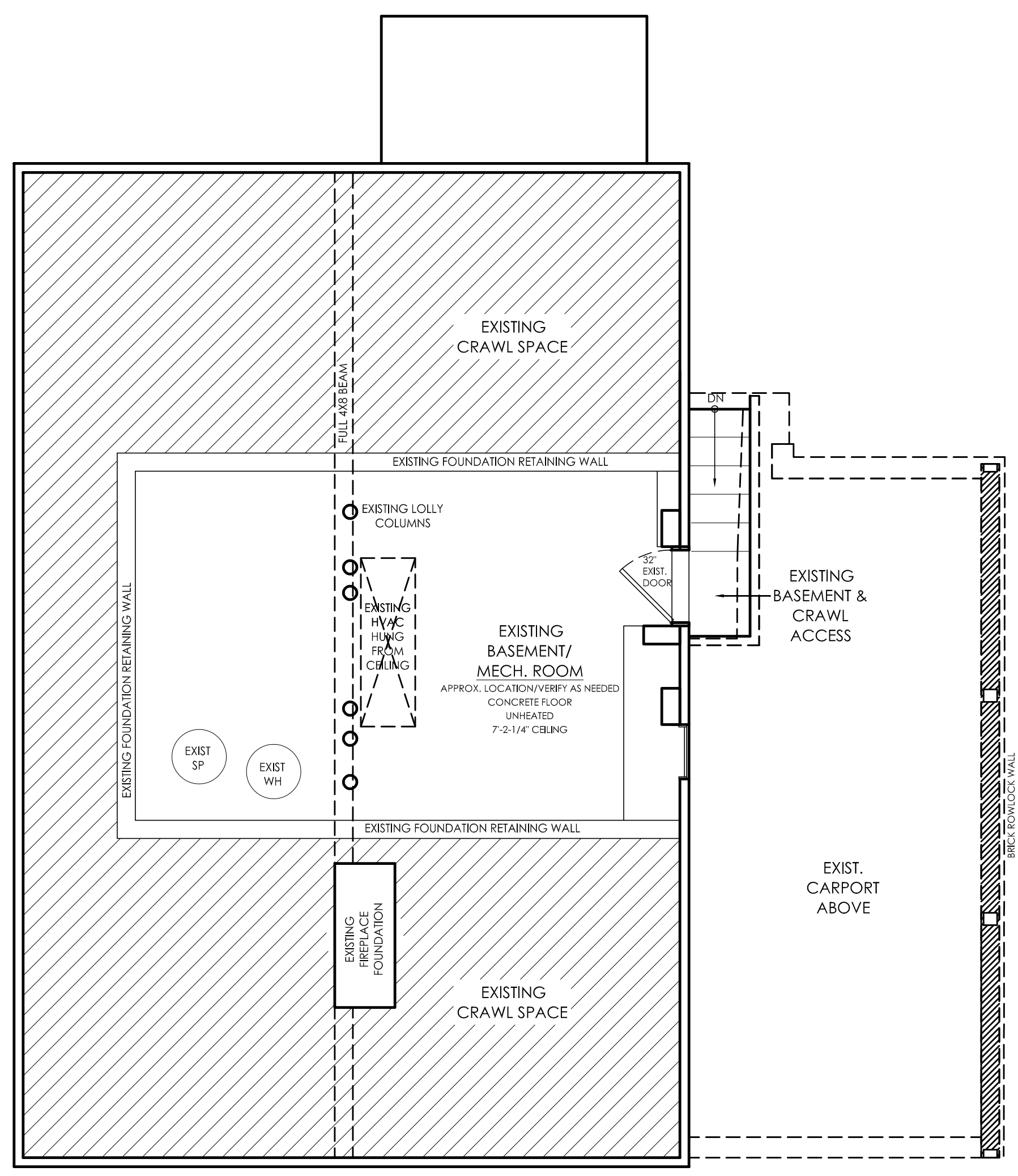
All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.

Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

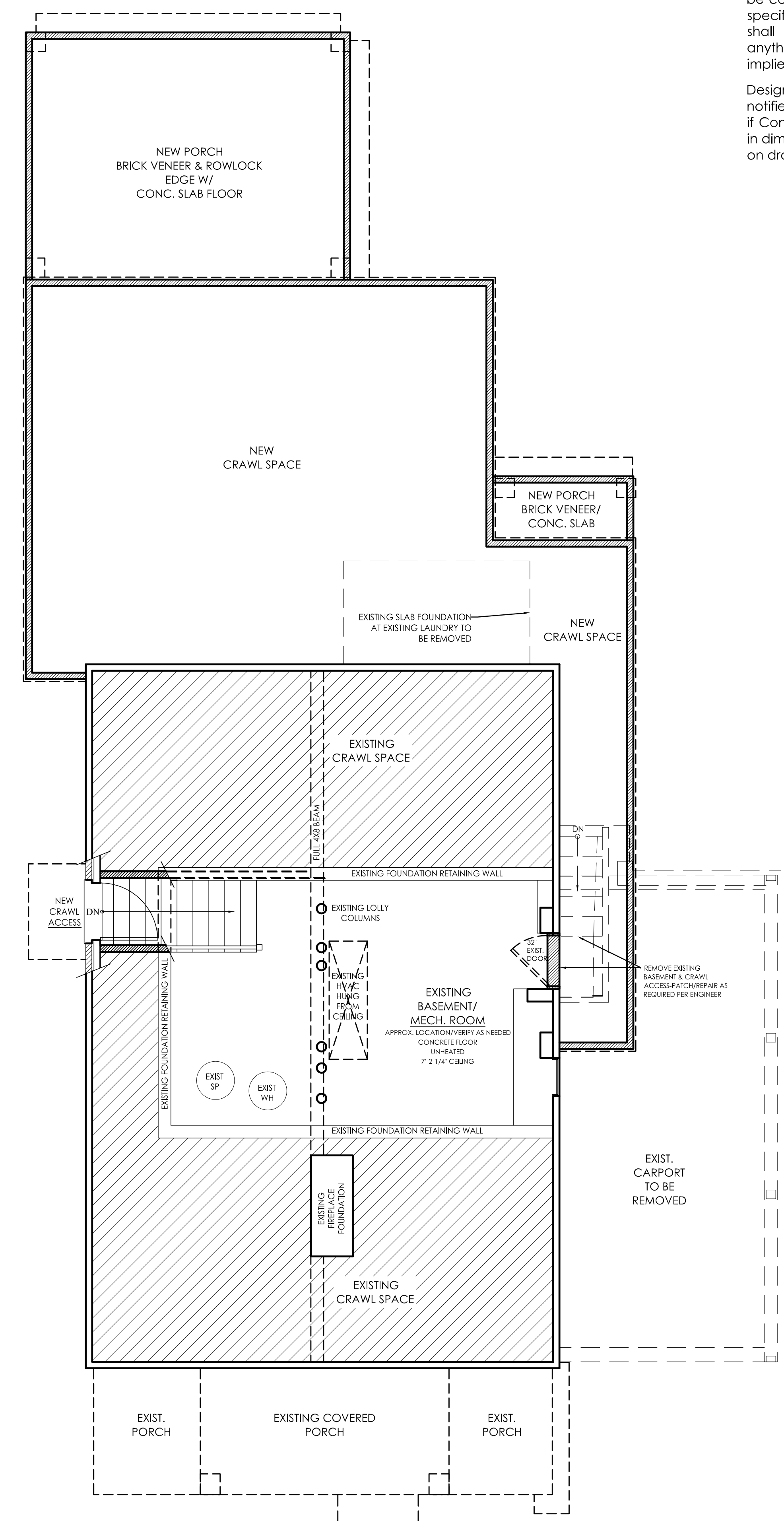
SHELLEY HUGHES  
DESIGN, LLC



704.575.9594



2  
1.0 EXISTING FOUNDATION PLAN  
Scale: 1/4" = 1'-0"



1  
1.0 NEW BASEMENT/FOUNDATION PLAN  
Scale: 1/4" = 1'-0"

**BURDI RESIDENCE**  
325 W. KINGSTON AVE.  
CHARLOTTE, NC  
RENOVATION/ADDITION

NOT FOR CONSTRUCTION  
Concept Only

REVISIONS

SHEET TITLE  
EXISTING & NEW  
FOUNDATION PLAN

ISSUE DATE  
MAY 1st, 2018

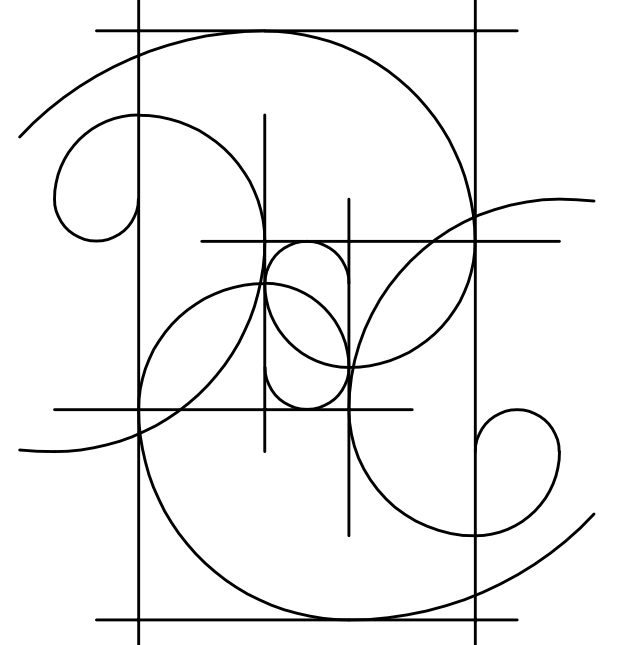
SHEET NUMBER  
1.0



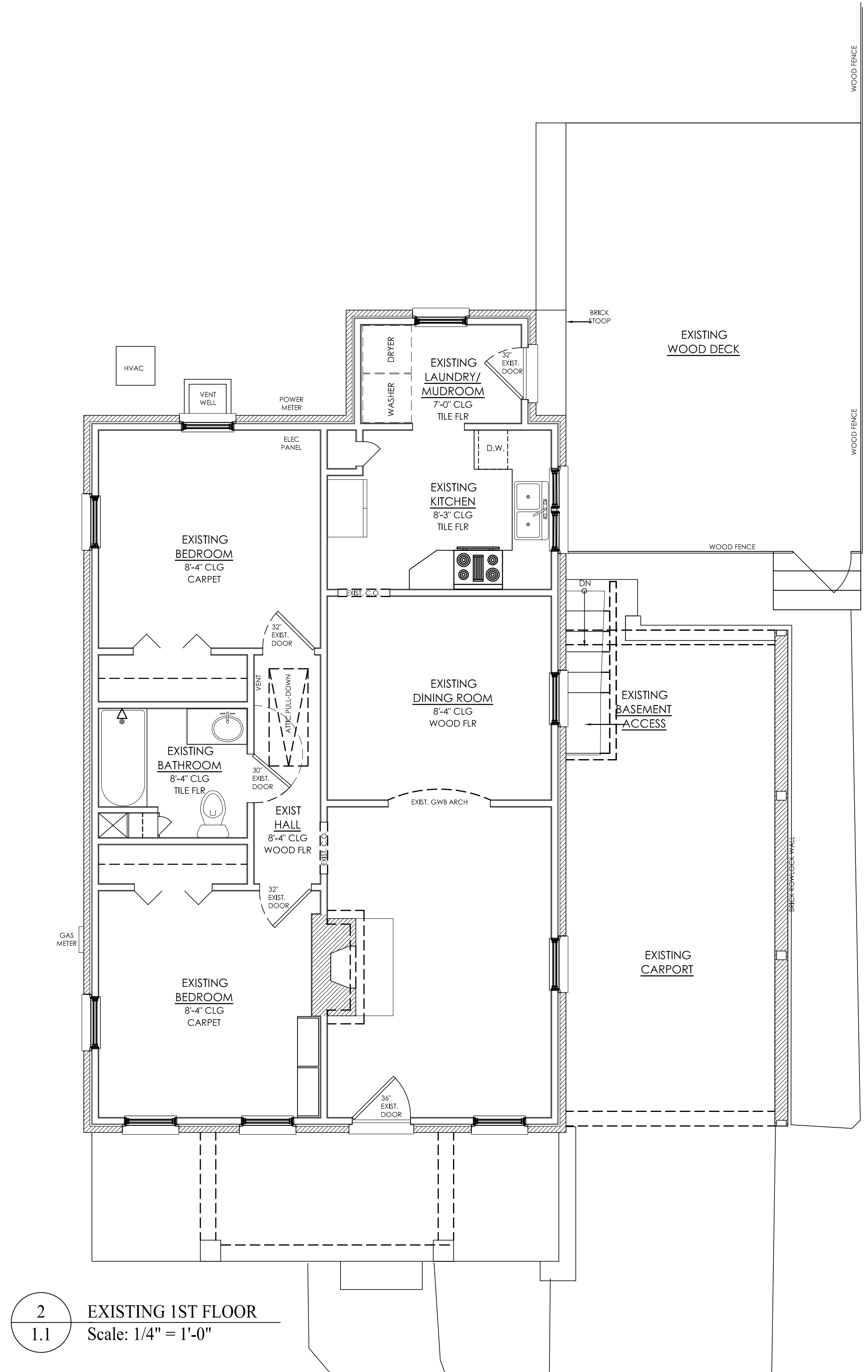
All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.

Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

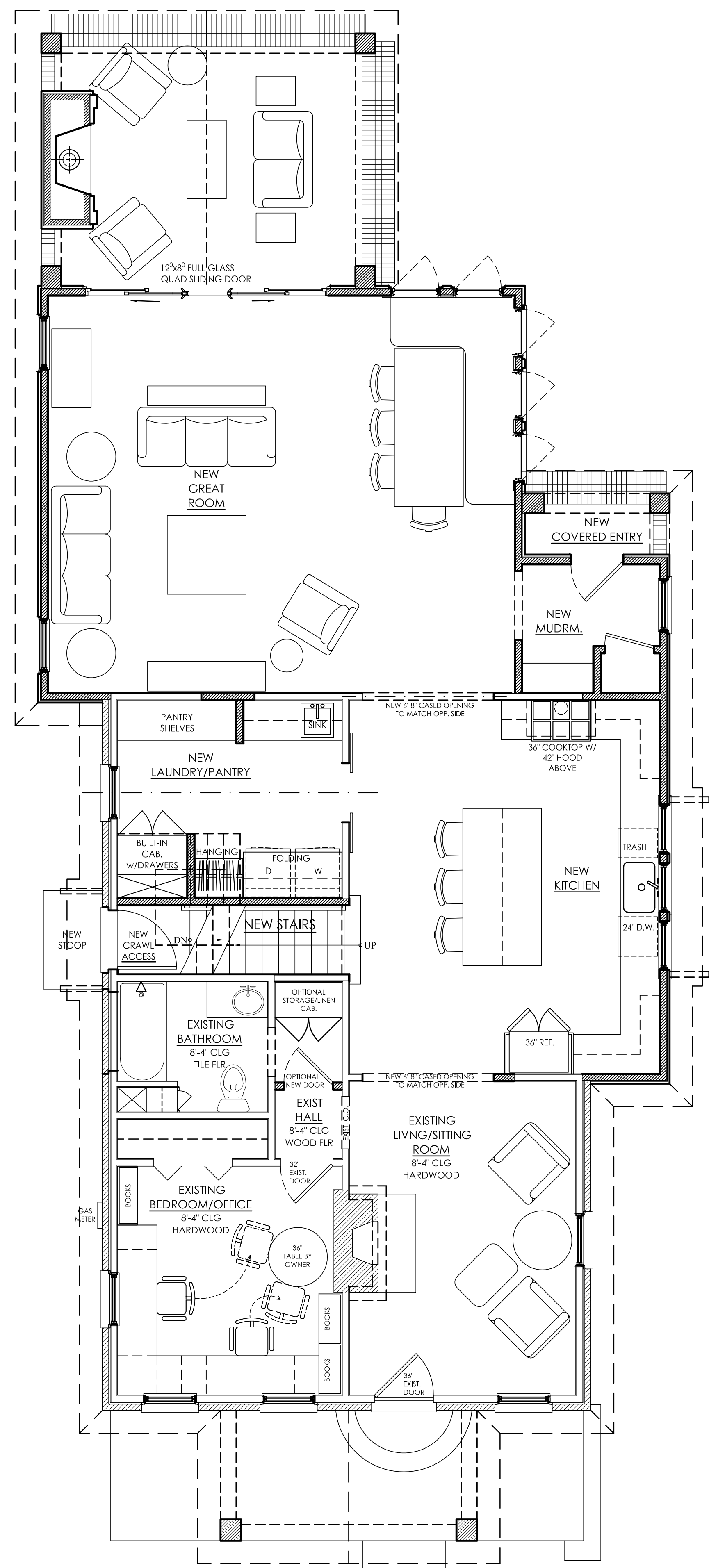
SHELLEY HUGHES  
DESIGN, LLC



704.575.9594



2  
1.1 EXISTING 1ST FLOOR  
Scale: 1/4" = 1'-0"



1  
1.1 NEW 1ST FLOOR  
Scale: 1/4" = 1'-0"

**BURDI RESIDENCE**  
325 W. KINGSTON AVE.  
CHARLOTTE, NC  
RENOVATION/ADDITION

CONSTRUCTION  
Concept Only

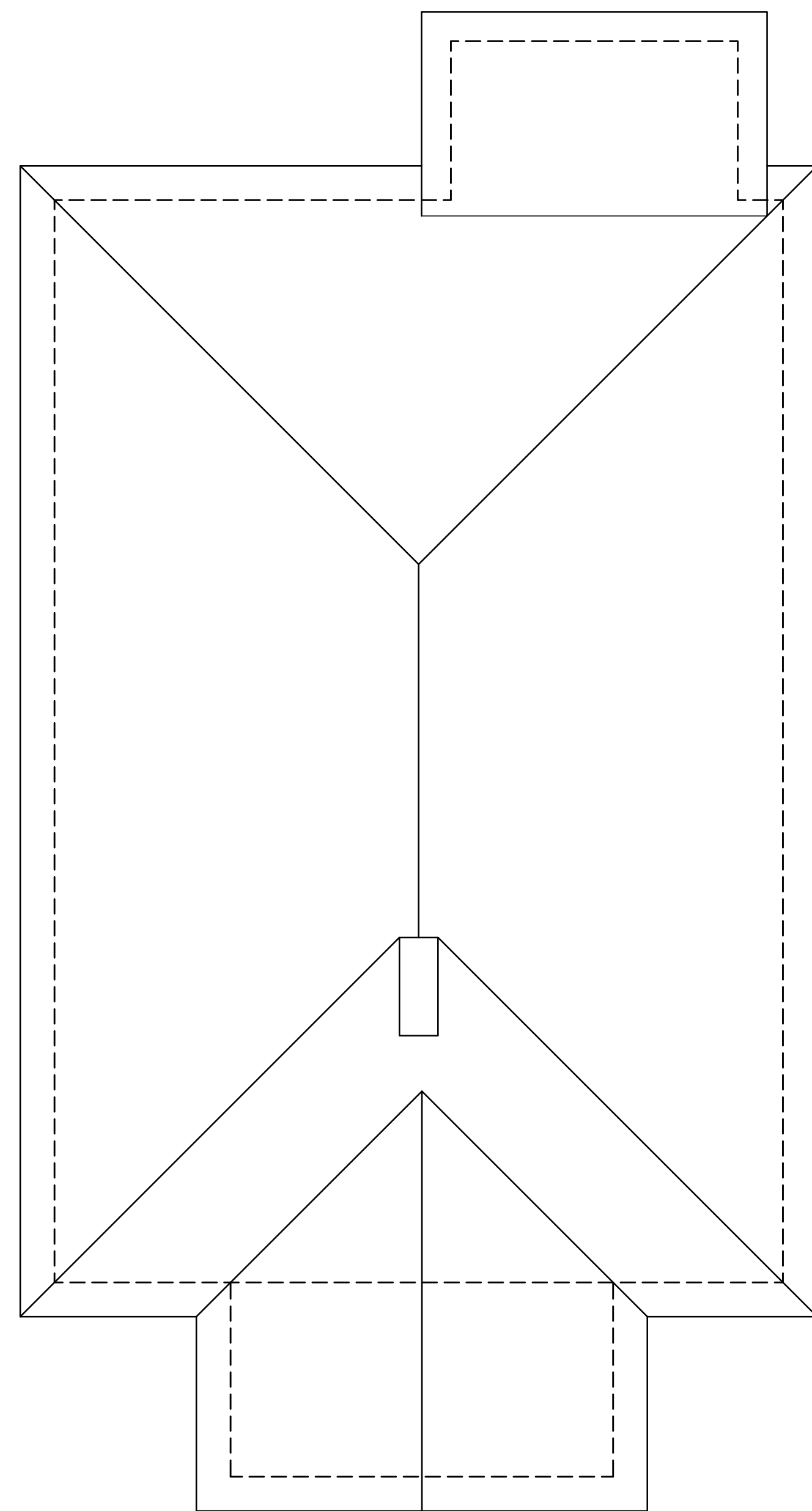
REVISIONS

SHEET TITLE  
EXISTING & NEW  
1ST FLOOR PLAN

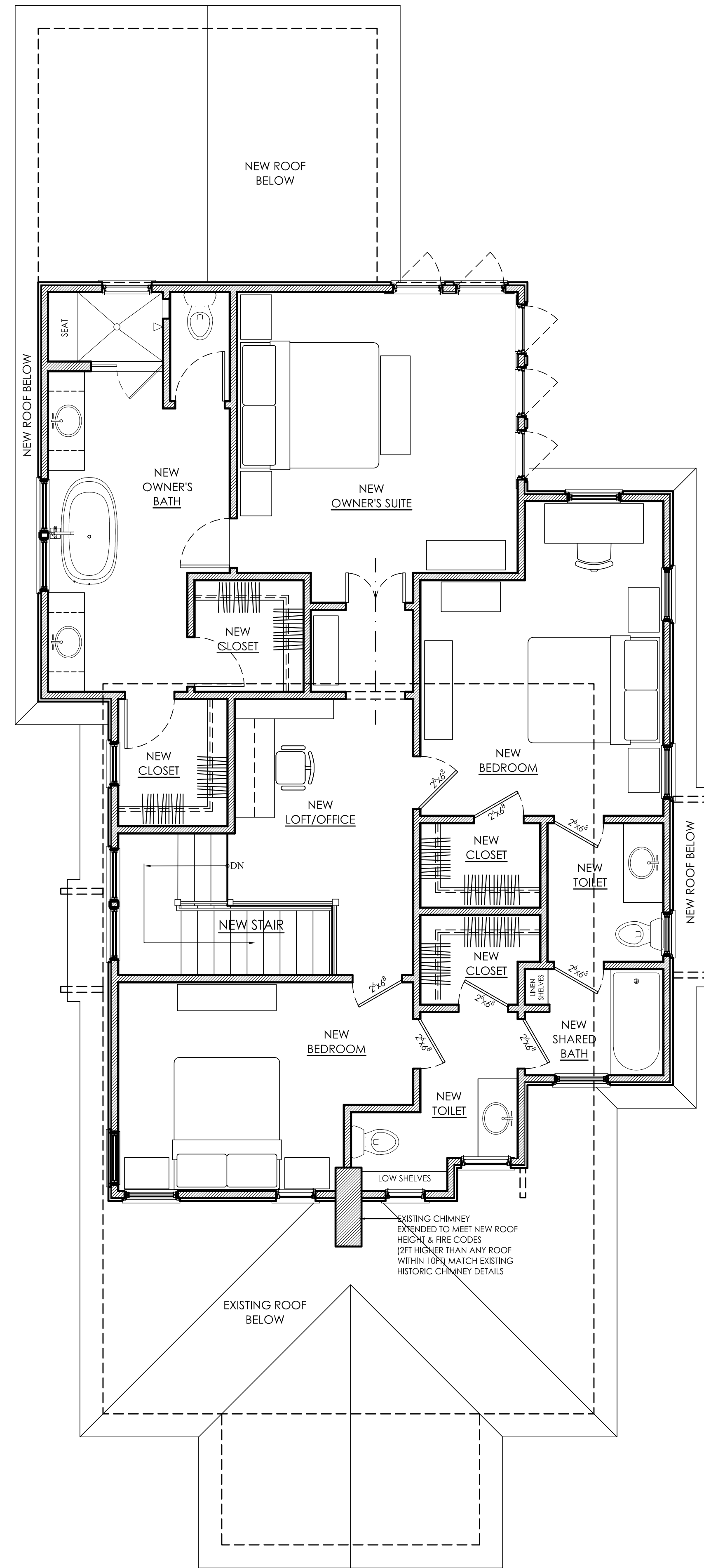
ISSUE DATE  
MAY 1st, 2018

SHEET NUMBER  
**1.1**





2 EXISTING ROOF PLAN (NO 2ND FLOOR)  
1.2 Scale: 1/4" = 1'-0"

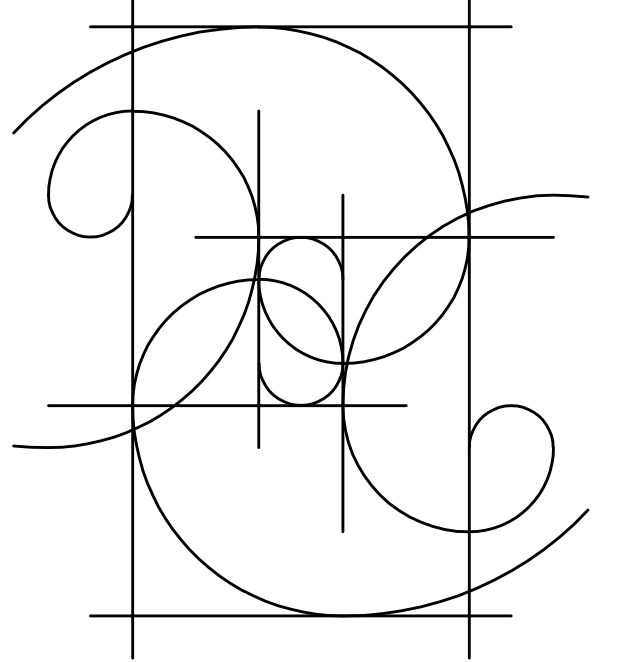


1 NEW 2ND FLOOR PLAN  
1.2 Scale: 1/4" = 1'-0"

All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.

Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

SHELLEY HUGHES  
DESIGN, LLC



704.575.9594

**BURDI RESIDENCE**  
325 W. KINGSTON AVE.  
CHARLOTTE, NC  
RENOVATION/ADDITION

NOT FOR CONSTRUCTION  
Concept Only

REVISIONS

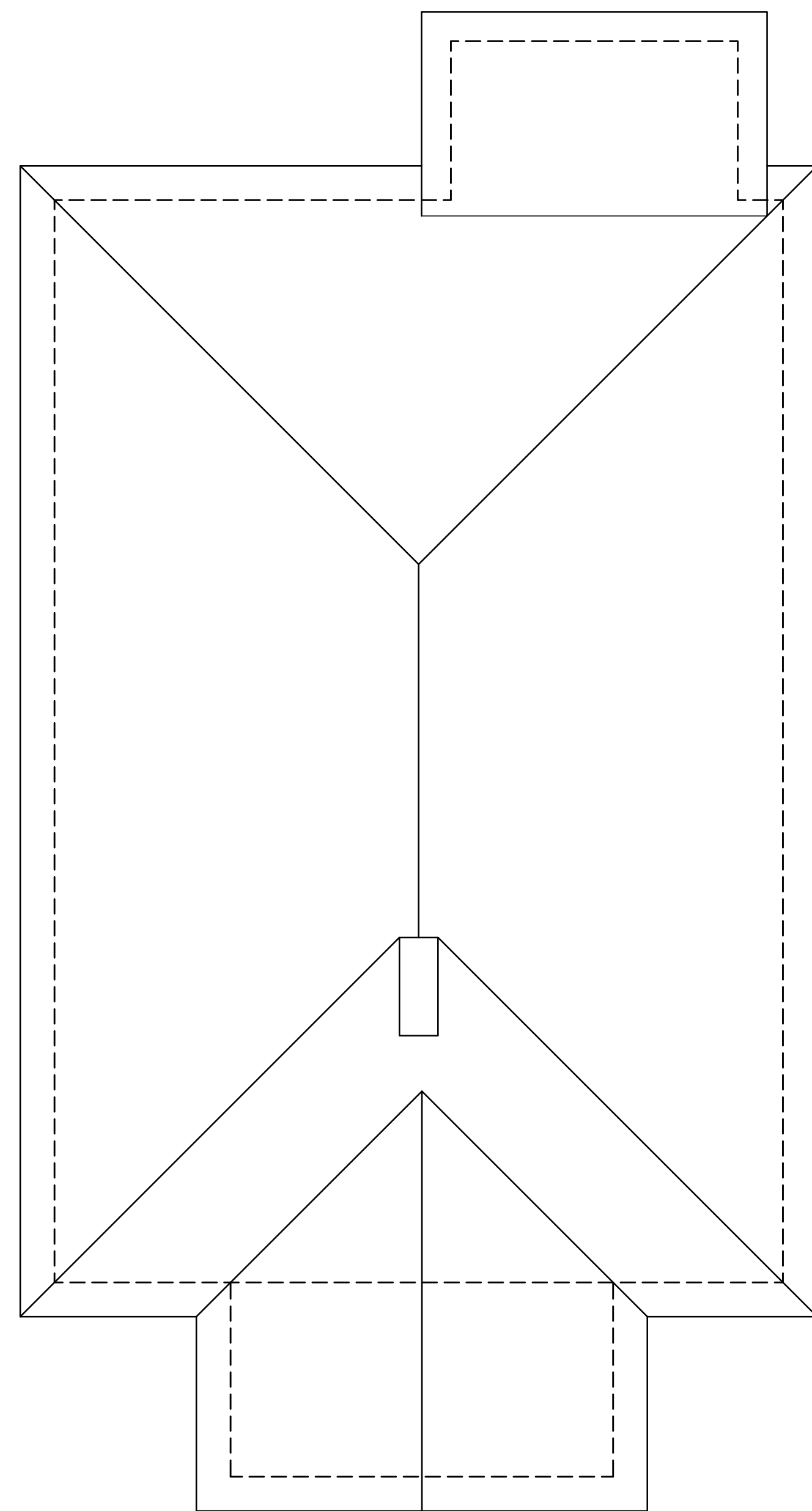
SHEET TITLE  
EXISTING & NEW  
2ND FLOOR PLAN

ISSUE DATE  
MAY 1st, 2018

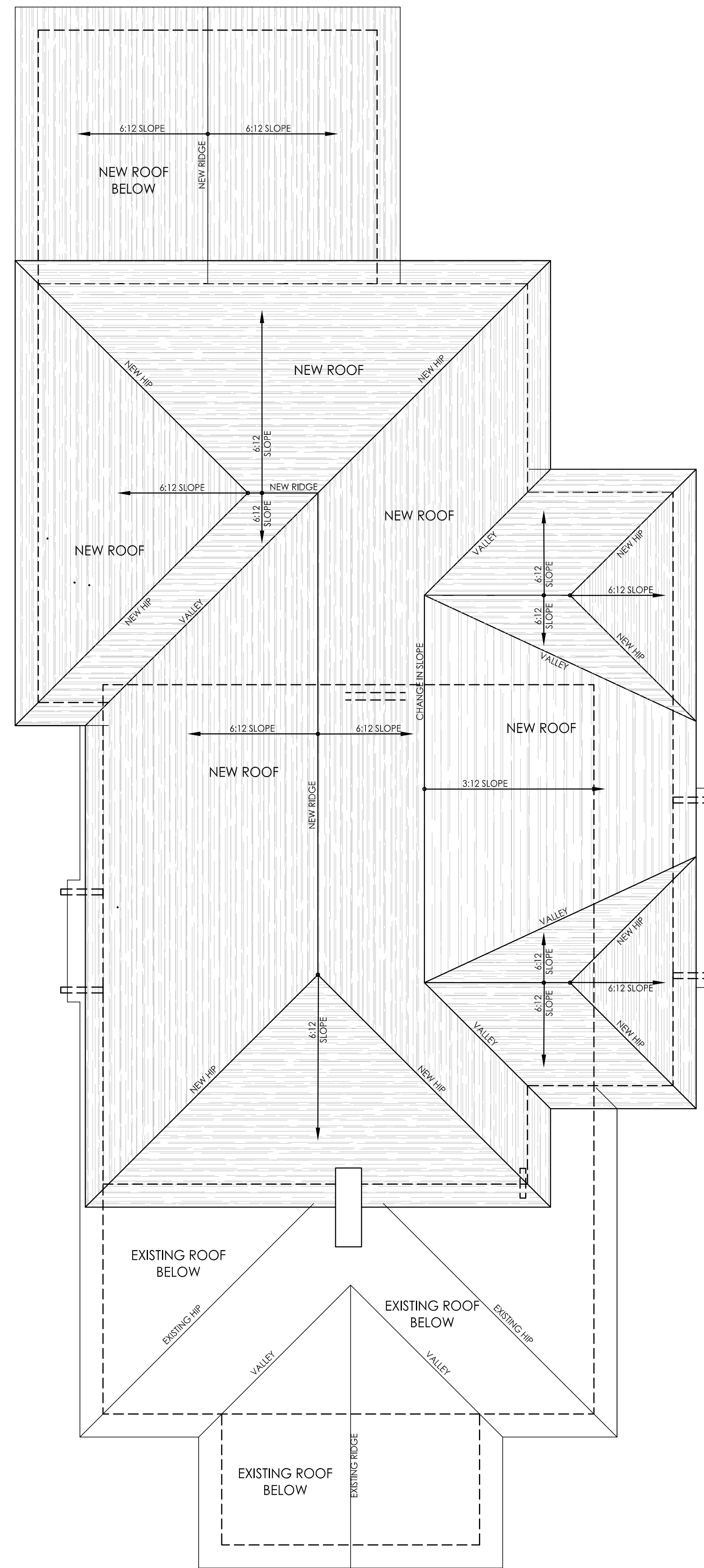
SHEET NUMBER

1.2





2 EXISTING ROOF PLAN  
1.3 Scale: 1/4" = 1'-0"

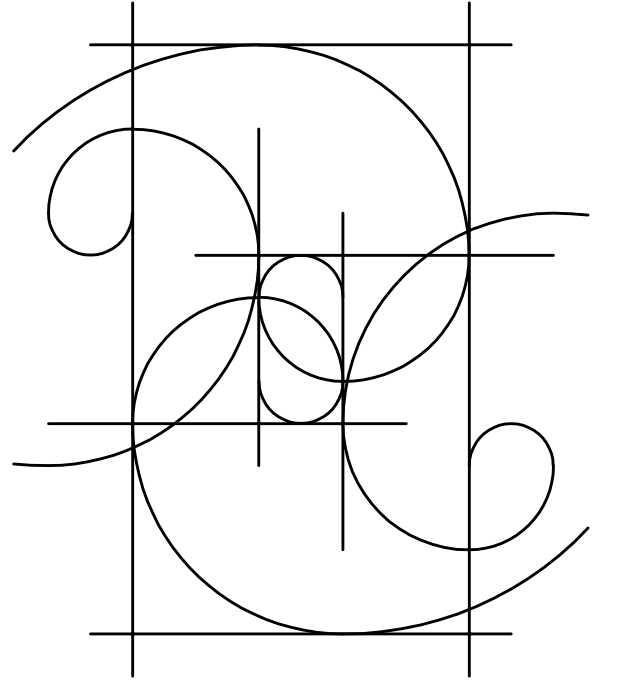


1 NEW 2ND FLOOR PLAN  
1.3 Scale: 1/4" = 1'-0"

All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.

Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

SHELLEY HUGHES  
DESIGN, LLC



704.575.9594

**BURDI RESIDENCE**  
325 W. KINGSTON AVE.  
CHARLOTTE, NC  
RENOVATION/ADDITION

NOT FOR  
CONSTRUCTION  
Concept Only

REVISIONS

SHEET TITLE  
EXISTING & NEW  
ROOF PLAN

ISSUE DATE  
MAY 1st, 2018

SHEET NUMBER

1.3