

**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 712 East Tremont Avenue

**SUMMARY OF REQUEST:** Window + Front Steps

**APPLICANT/OWNER:** Frank and Tarabeth Hostetter

### **Details of Proposed Request**

#### *Existing Conditions*

The existing structure is a one story Bungalow style house constructed in 1925. Design features include a gable roof porch, exposed rafter tails, and eave brackets. Adjacent structures are one to two story houses and multi-family dwellings. The addition project was approved by the HDC July 11, 2018.

#### *Proposal*

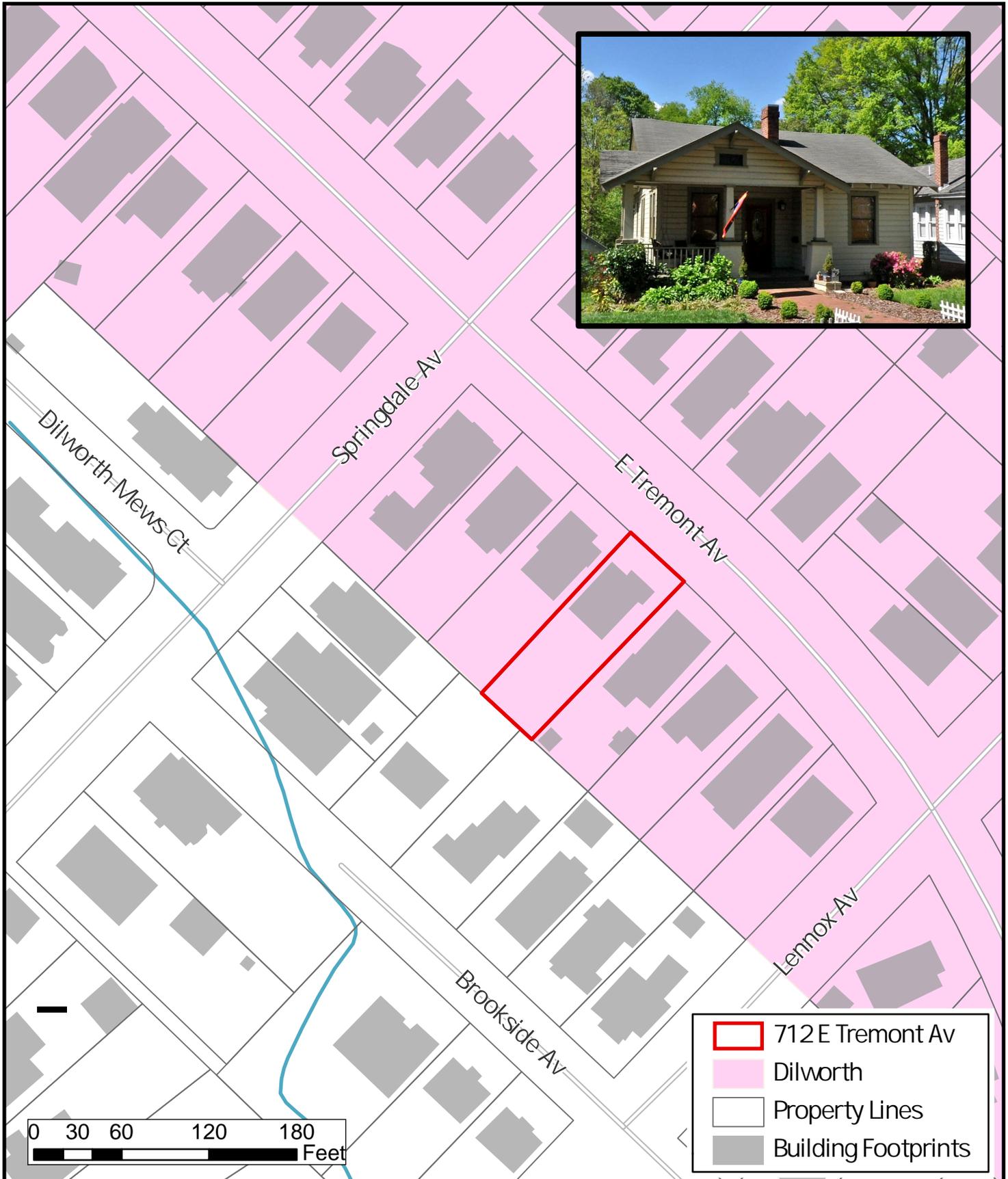
The proposal is a new window opening on the bump-out on the left elevation. The window opening faces the street. The new window will match existing, header height, size, configuration, materials. The proposal is to change existing wood front steps to brick due to flooding issues.

### **Design Guidelines – Doors and Windows, page 6.12**

1. Relate window and door openings for new construction to the historic context in the following ways:
  - a. the ratio of solids (walls) and voids (windows and doors);
  - b. the rhythm and placement of window and door openings;
  - c. the proportion of window and door openings, (the ratio of width to height);
  - d. the general size of windows and doors.
2. Respect the traditional design of openings. For instance, openings are generally recessed on a masonry building while the element is surrounded by raised trim on a frame building. New openings that are flush with the rest of the wall are not allowed.
3. Construct doors of wood (preferred material). Metal-clad, fiberglass, or metal doors may also be considered for new construction on a case-by-case basis.
4. Use windows with true divided lights or interior and exterior fixed muntins with internal spacers to reference traditional designs and match the style of the building. Flat muntins, exterior removable grilles and grills between glass are not allowed. The ratio of muntin to glass should be consistent with historic buildings in the context of the new construction and appropriate to the style.
5. Do not use tinted or mirrored glass on major elevations of the building. Translucent or low-e glass may be strategies to keep heat gain down.
6. Use shutters of wood or a wood composite without a faux wood grain (rather than metal or vinyl) scaled to fit the window opening. Shutters should be mounted on hinges. Do not use shutters on bay, double, or composite windows.

### **Staff Recommendation**

1. The project is not incongruous with the district, brick steps are common on bungalows throughout Dilworth, and the new window meets guidelines Doors and Windows, page 6.12.
2. Staff Recommends full approval for meeting all the Guidelines, per 10.4.1 of the Rules for Procedure.
3. If requested by a Commission member, or if an interested party has signed up to speak in opposition, then the HDC shall open the application for a full hearing.



HDC APPROVAL  
AUGUST 2018



PROPOSED  
CHANGE:  
add one window  
on bay, facing  
street – custom size  
to match existing  
adjacent windows,  
centered on wall



Hostetter  
712 E. Tremont Ave  
May 8, 2019

FRONT STEP  
(1 RISER, 2 TREADS)  
EXISTING CONDITION:  
the front yards of this  
and adjacent  
properties on both  
sides flood \*into\* the  
front stairs – as a  
result this wood step  
is replaced annually  
due to rot

PROPOSED CHANGE:  
replace with  
standard rowlock  
brick as shown in  
photo to the right to  
protect foundation  
from drainage  
conditions



Existing Steps



Example Steps