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**LOCAL HISTORIC DISTRICT:** Plaza Midwood

**PROPERTY ADDRESS:** 1505 Mimosa Avenue

**SUMMARY OF REQUEST:** Addition, porch, landscaping

**APPLICANT/OWNER:** Allen Brooks

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**Details of Proposed Request**

*Existing Conditions*

The existing structure is a one story brick American Small House constructed in 1938. Lot dimensions are 54' x 203'. Adjacent structures are 1 to 2 stories in height.

*Proposal*

The project is an addition, porch redesign and landscaping. The proposed front porch design replaces the tapered columns with 10" squared wood columns on the ends, two piers in the center and new metal handrails. The addition is at the rear of the house and not highly visible from the street. The ridge height is approximately 3'-6" taller than original. Materials include brick and wood trim. Boxing and eave details will match existing. The right side porch extends 10" into the side yard.

**Design Guidelines – Additions, page 7.2**

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

### **Staff Recommendation**

1. The proposal meets the applicable guidelines for additions. The guidelines for setback, orientation and foundation do not apply.
2. Minor detail changes may be reviewed by staff.



*Charlotte Historic District Commission Case 2018-215*  
**HISTORIC DISTRICT: PLAZA MIDWOOD**  
**ADDITION**



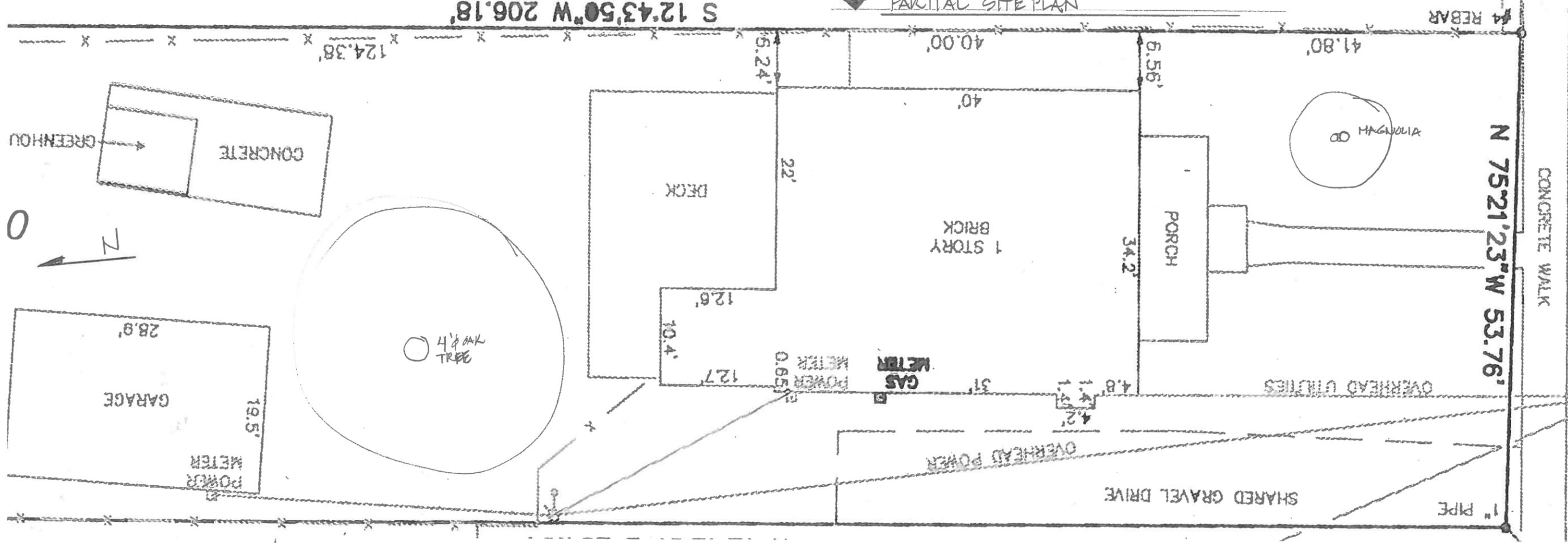
-  1505 Mimosa Ave
-  Dilworth Historic District
-  Property Lines
-  Building Footprints

1/2" PIPE



ARCHIVAL PHOTOS FROM NAT. REG. DCM.

PARTIAL SITE PLAN



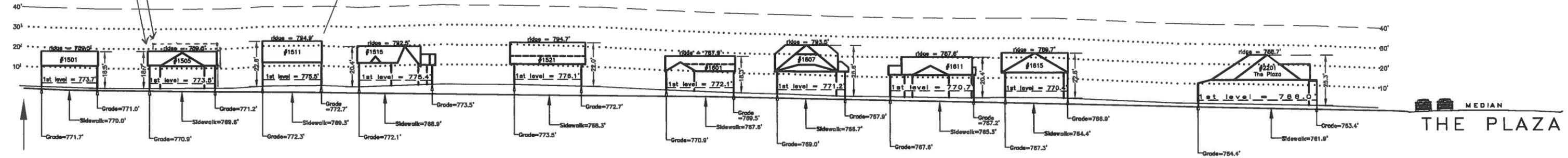
SUBJECT

HOUSE TO RIGHT

C 794.9 (+1.8)

EXISTING C 789.6

PROPOSED C 793.1



MIMOSA AVENUE TERMINUS

M I M O S A A V E N U E

MEDIAN  
THE PLAZA



1515 MIMOSA (TO RIGHT)



1501 MIMOSA (TO LEFT)



SUBJECT



ACROSS STREET



SUBJECT



END OF STREET AVE



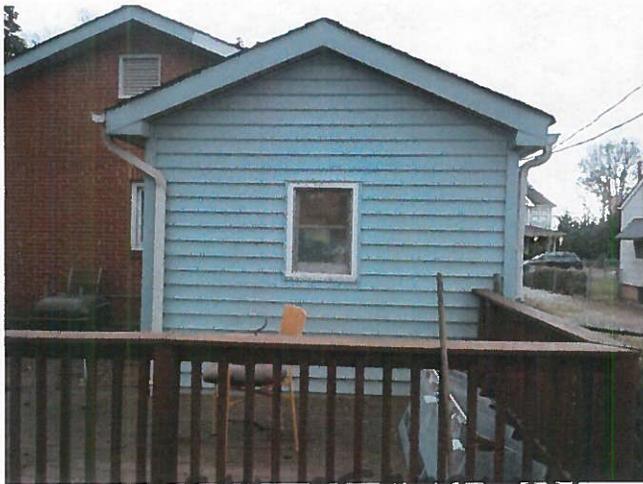
RIGHT SIDE OF SUBJECT



1511 MIMOSA (TO RIGHT)



LOOKING EAST - MIMOSA



**REAR OF ADDITION**



**REAR ADDITION**



**FRONT PORCH**



**REAR OF HOUSE**



**LEFT STOOP**



**LEFT SIDE - TOTAL**



**REAR YARD**



**EXIST. GARAGE**

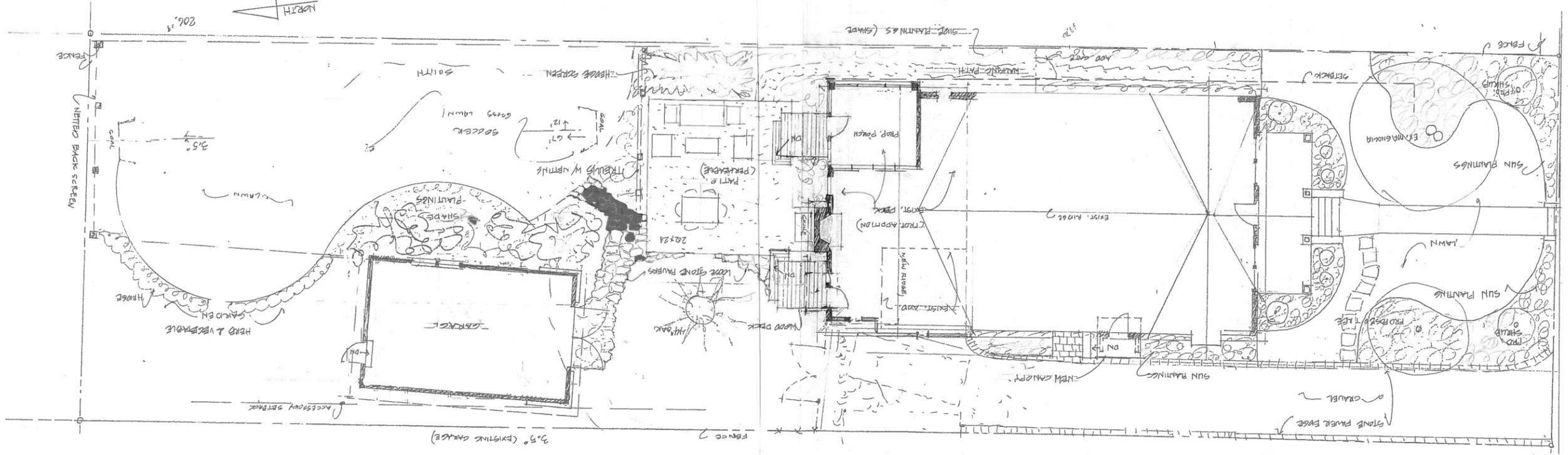
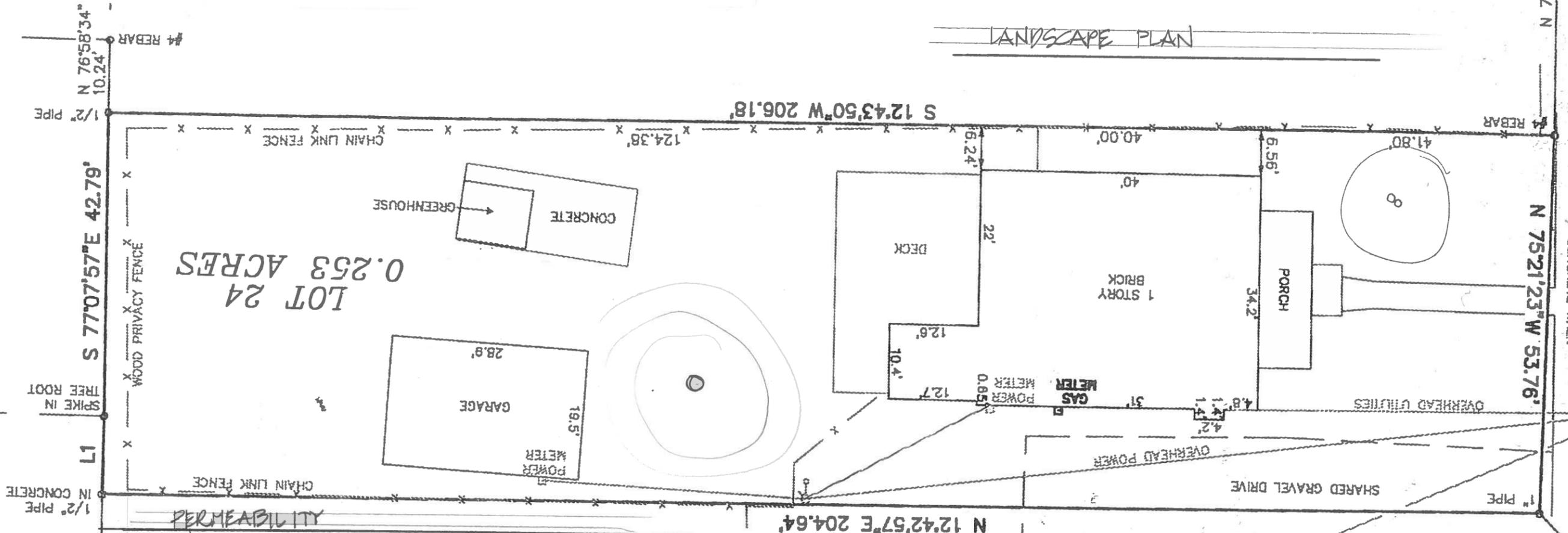


**LEFT SIDE - FRONT**

# MIMOSA AVE.

MARTI WADE COINS  
DB  
PIN 081-181-33  
MB 3-16

## SITE SURVEY



TE 081-221-3604  
N 58-04-22'E 36.04'

CONCRETE WALK

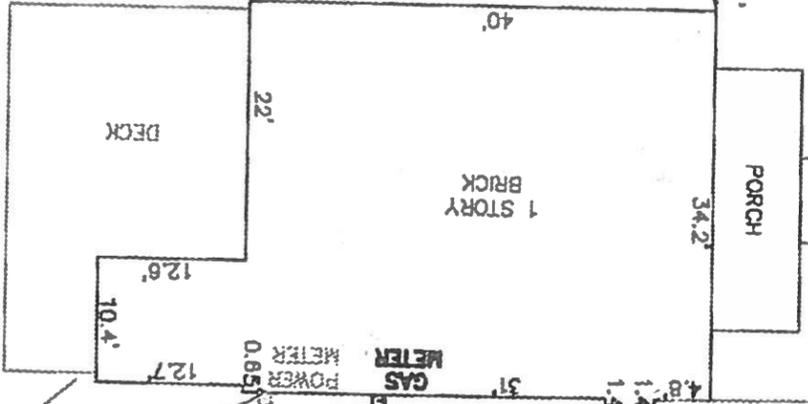
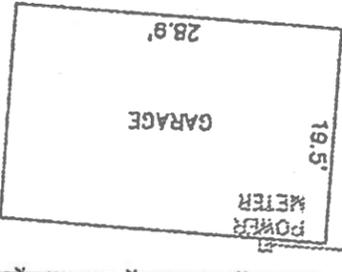
N 75°21'23" W 53.76'

S 12°43'50" W 206.18'

N 76°58'34" 10.24'

S 77°07'57" E 42.79'

LOT 24  
0.253 ACRES



1/2" PIPE  
#4 REBAR  
WOOD PRIVACY FENCE  
CHAIN LINK FENCE  
SPIKE IN TREE ROOT  
L1  
1/2" PIPE IN CONCRETE

SIDE WALK  
MIMOSA







EXISTING FRONT ELEVATION

REAR ADDITION RIDGE ALMOST 60'-0" FROM FRONT PORCH ROOF.

REMOVE ALL VINYL SIDING & TRIM - RESTORE EXISTING WOOD

REMOVE PLASTIC SHUTTERS

RESTORE APPEARANCE OF ORIGINAL FRONT PORCH, COLUMNS 12" SQ. W/ LOW 36" HT RAIL POST 10" SQ. METAL RAIL BALUSTRADE 30" HT W/ 5" SPACED PICKETS

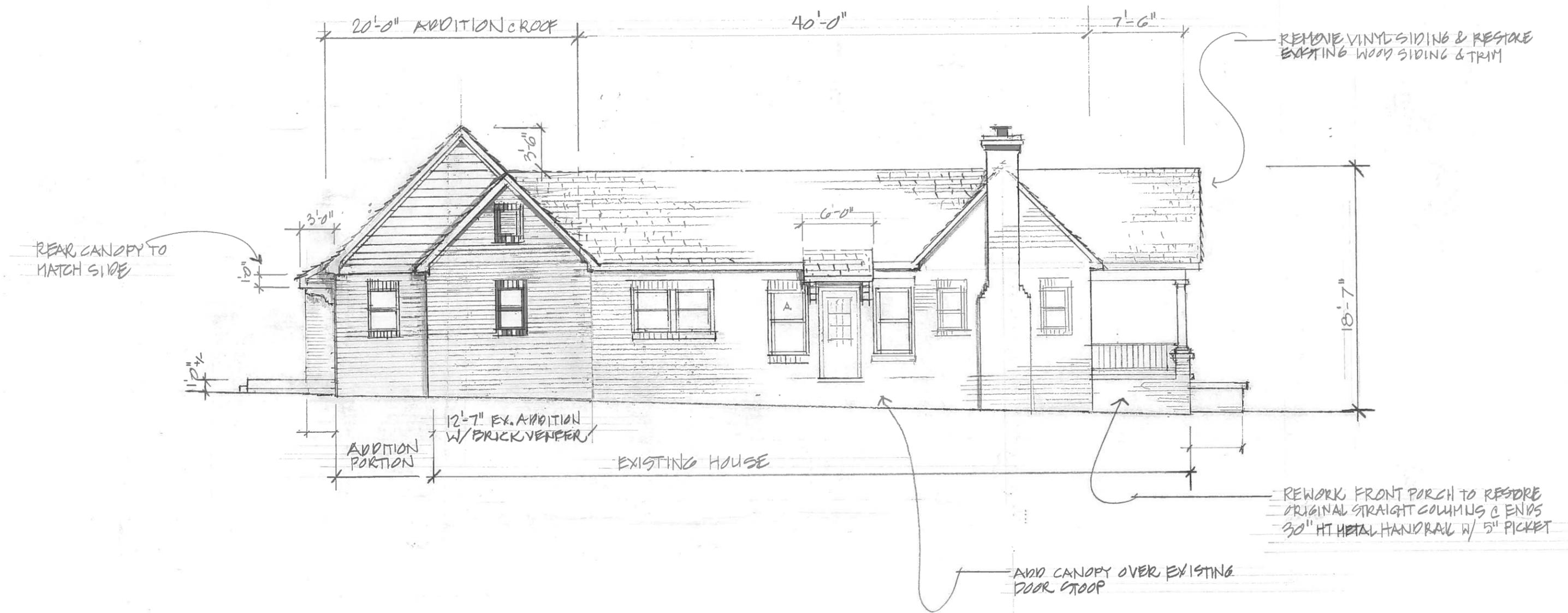
REAR PORCH BEYOND W/ 10" WOOD FULL COLUMNS TO MATCH FRONT W TRIMMED BASE & CAPITAL



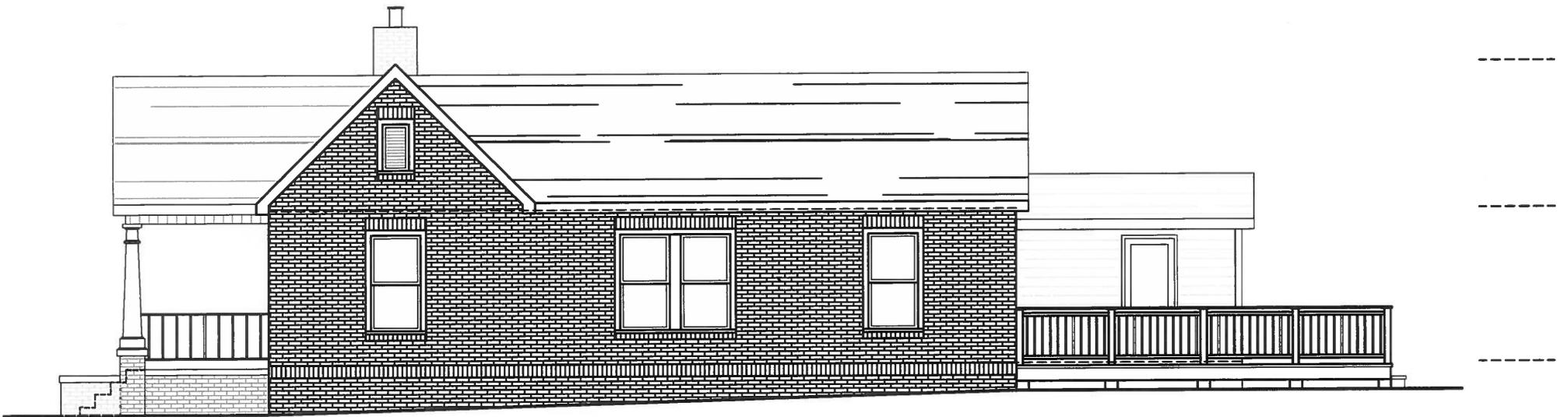
PROPOSED FRONT ELEVATION



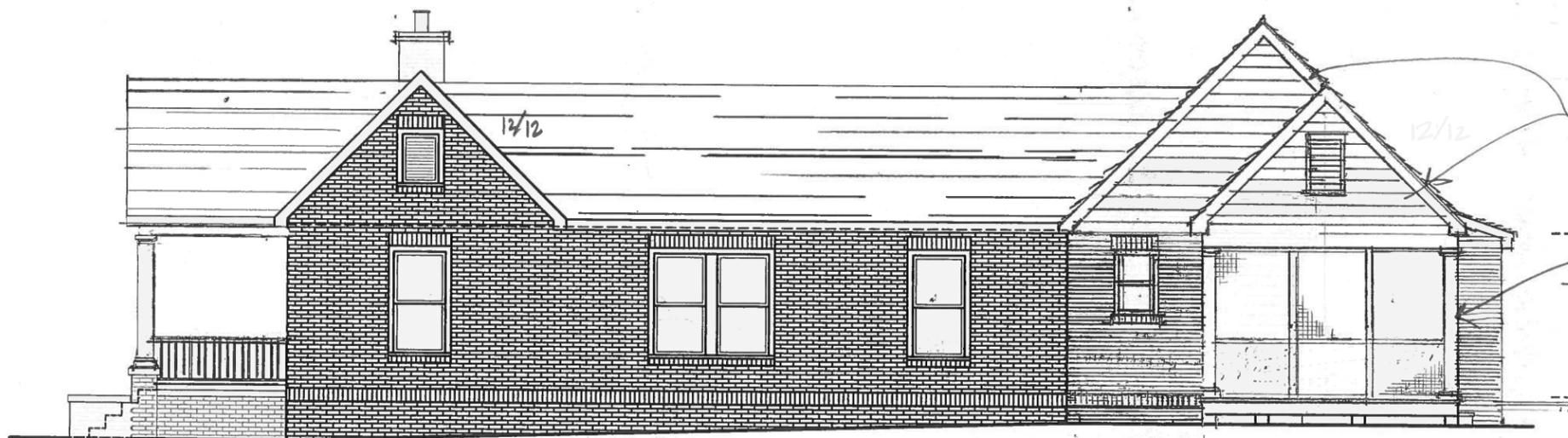
EXISTING LEFT ELEVATION



PROPOSED LEFT ELEVATION

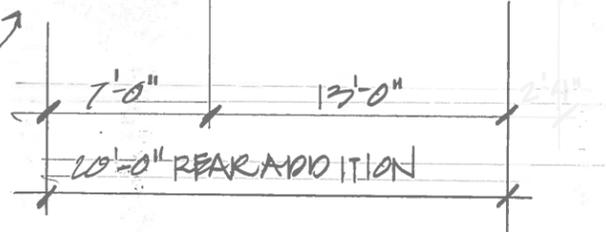


EXISTING RIGHT ELEVATION



NEW REAR RIDGE  
EXISTING RIDGE  
WOOD SLIDING DOOR WITH FRONT CASE  
& SCREEN  
SCREEN PORCH W/ FULL WOOD COLUMNS  
TO MATCH FRONT

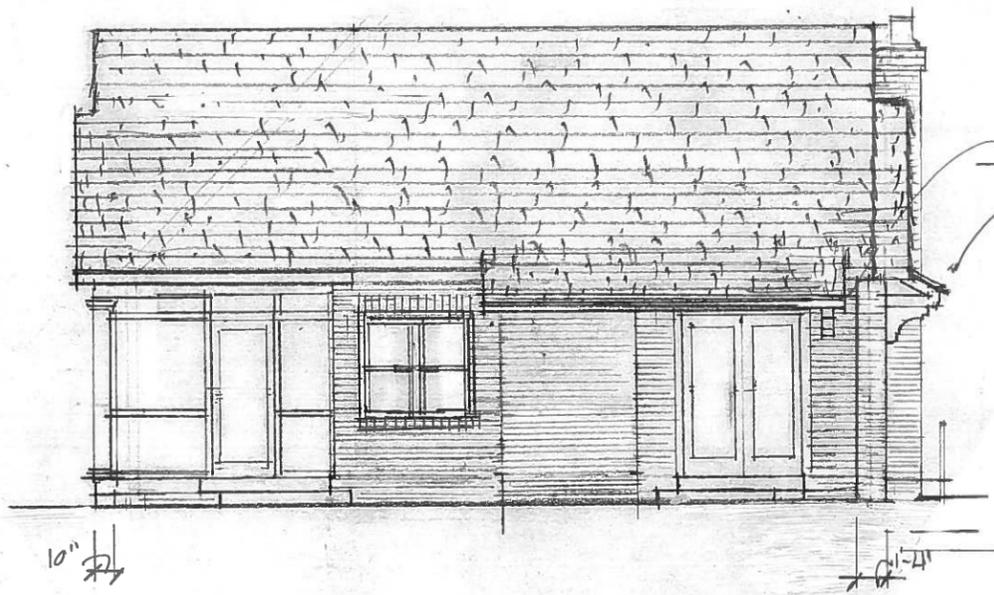
MATCH BRICK  
& MAINTAIN BREAK LINE  
OF ORIG. WALL



PROPOSED RIGHT ELEVATION



EXISTING REAR ELEVATION



MATCH BRICK DETAILS TO EXIST.  
MATCH WOOD EAVE DETAILS TO EXIST.

10" ↓

10" ↓

REAR ELEVATION



REAR ADDITION PERSPECTIVE



EXIST. PORCH



**PROPOSED RESTORE/CHANGE**



EXIST. STOOP



PROPOSED STOOP ADD.