
LOCAL HISTORIC DISTRICT: Wesley Heights

PROPERTY ADDRESS: 615 Walnut Avenue

SUMMARY OF REQUEST: Non-traditional Building Material

APPLICANT: Trish Gleason

Details of Proposed Request

Existing Conditions

The existing structure is a 1.5 story Bungalow style house constructed in 1930. Architectural features include an altered side-gabled design with exterior end chimney and gabled dormer. The house was covered in vinyl siding. The HDC approved an addition and other changes August 2017 with approval for repair/replacement of wood siding with wood.

Project

The applicant has stated the underlying wood siding was beyond repair and wishes to use Hardie 'Artisan'.

Design Guidelines – Building Materials, page 5.2

1. Retain wood as one of the dominant framing, cladding and decorative materials.
2. Retain wood features that define the overall character of the building.
3. Repair rotted or missing sections rather than replacing the entire element.
4. Use new or salvaged wood, epoxy consolidants or fillers to patch, piece or consolidate parts.
5. Match existing historic materials and details.
6. Replace wood elements only when they are rotted beyond repair. Do not use cementitious, vinyl, aluminum or fiberglass siding to replace original irreparable wood siding.
7. Match the original in material and design or use surviving material.
8. Base the design of reconstructed wood elements on pictorial or physical evidence from historic sources.
9. Do not use synthetic siding, such as vinyl or aluminum to cover existing wood.
10. Do not use high-pressured power washing to clean wood siding as the pressure may force moisture behind the siding where it can lead to paint failure and rot.
11. Do not caulk under individual siding boards or windowsills as this action may seal the building too tightly and can lead to moisture problems within the frame walls and cause paint failure.

Staff Recommendation

The HDC has not voted in favor of replacing all of the wood siding with a non-traditional material on an original historic building. Staff cannot approve the use of Hardie siding on an original structure. The applicable guidelines for Building Materials are listed above.



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS - Amended

CERTIFICATE NUMBER: 2017-00453

DATE: November 15, 2017

ADDRESS OF PROPERTY: 615 Walnut Avenue

TAX PARCEL NUMBER: 07102207

HISTORIC DISTRICT: Wesley Heights

OWNER(S): Patricia and Timothy Gleason

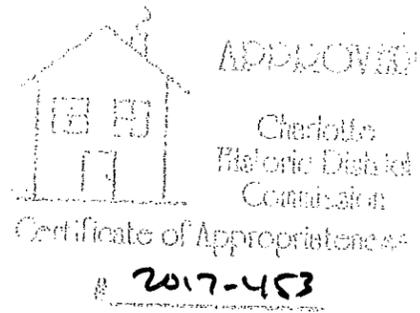
DETAILS OF APPROVED PROJECT: The project is a porch restoration and an upper level/rear addition. The project raises the ridge 2' and increase the pitch to accommodate the second floor. The front dormer is replaced with a larger gabled dormer. New paired windows are located on the side gables, other window replacements are noted on the side and rear elevations. The rear addition ties into the new ridge and extends approximately 15' behind the house. New roof, eave bracket, and window trim details will match the original structure. New siding will be wood lap. On the left side elevation toward the rear a full size closet window is changed to a half sash with the same muntin pattern as the front half sash window. On the right side the triple window on sheet 1B-2.2 is a full size center and half size windows on the sides. The project was approved by the HDC August 9, 2017.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman

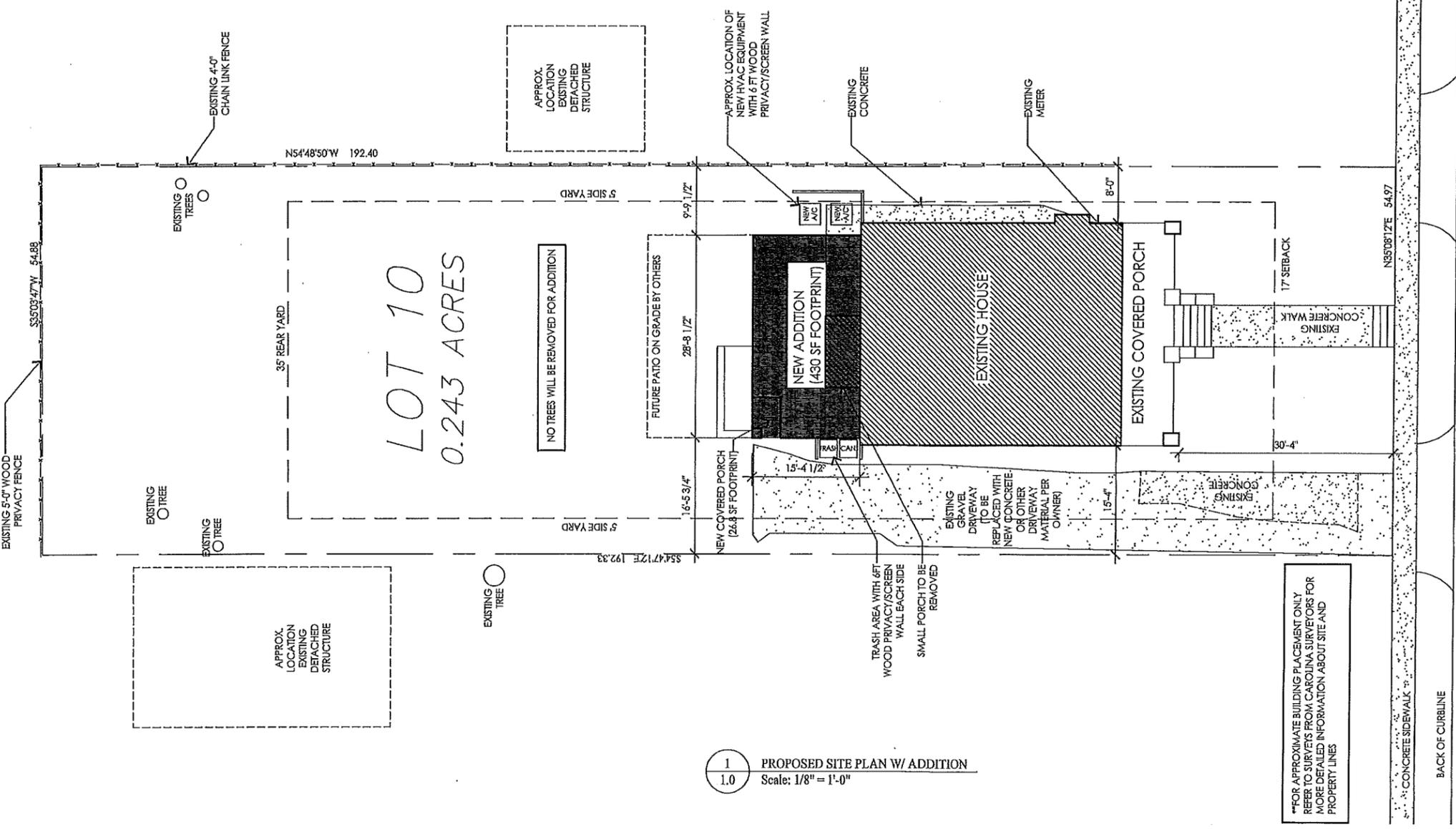

Staff



All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.
 Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

SHELLEY HUGHES DESIGN, LLC
 704.575.9594

WALNUT AVENUE
 50' PUBLIC R/W



1 PROPOSED SITE PLAN W/ ADDITION
 1.0 Scale: 1/8" = 1'-0"

**FOR APPROXIMATE BUILDING PLACEMENT ONLY REFER TO SURVEYS FROM CAROLINA SURVEYORS FOR MORE DETAILED INFORMATION ABOUT SITE AND PROPERTY LINES

615 WALNUT AVE.
 CHARLOTTE, NC
 RENOVATION/ADDITION

NOT FOR CONSTRUCTION
 Concept Only

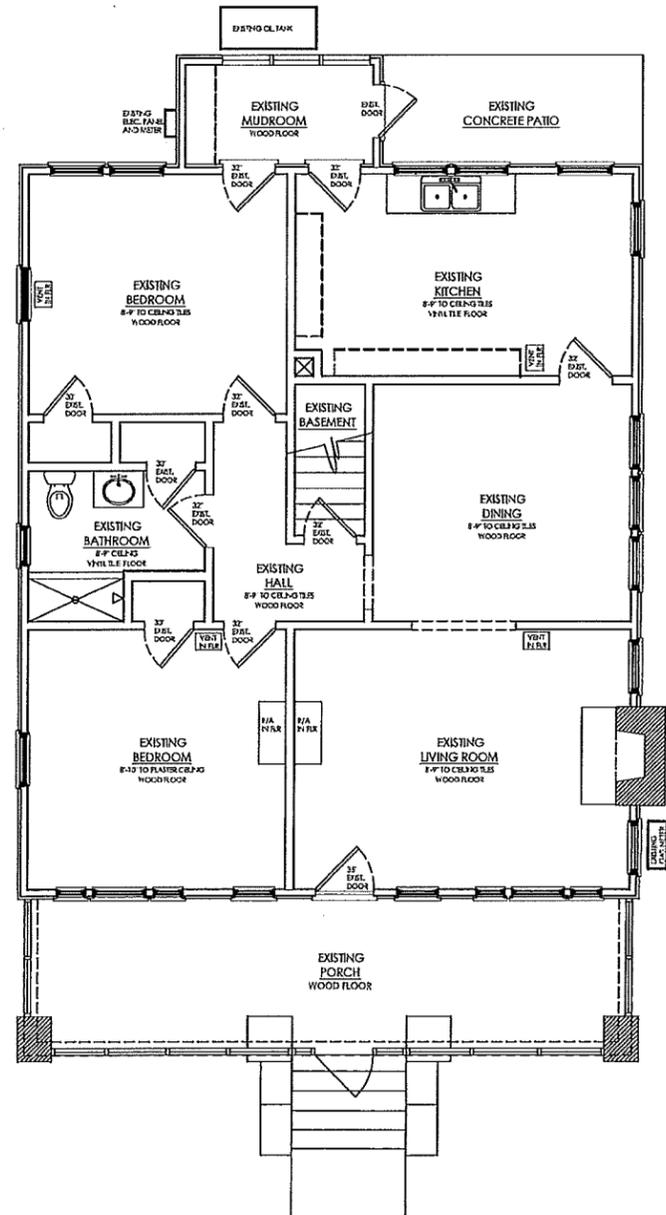
REVISIONS

SHEET TITLE
 PROPOSED SITE PLAN

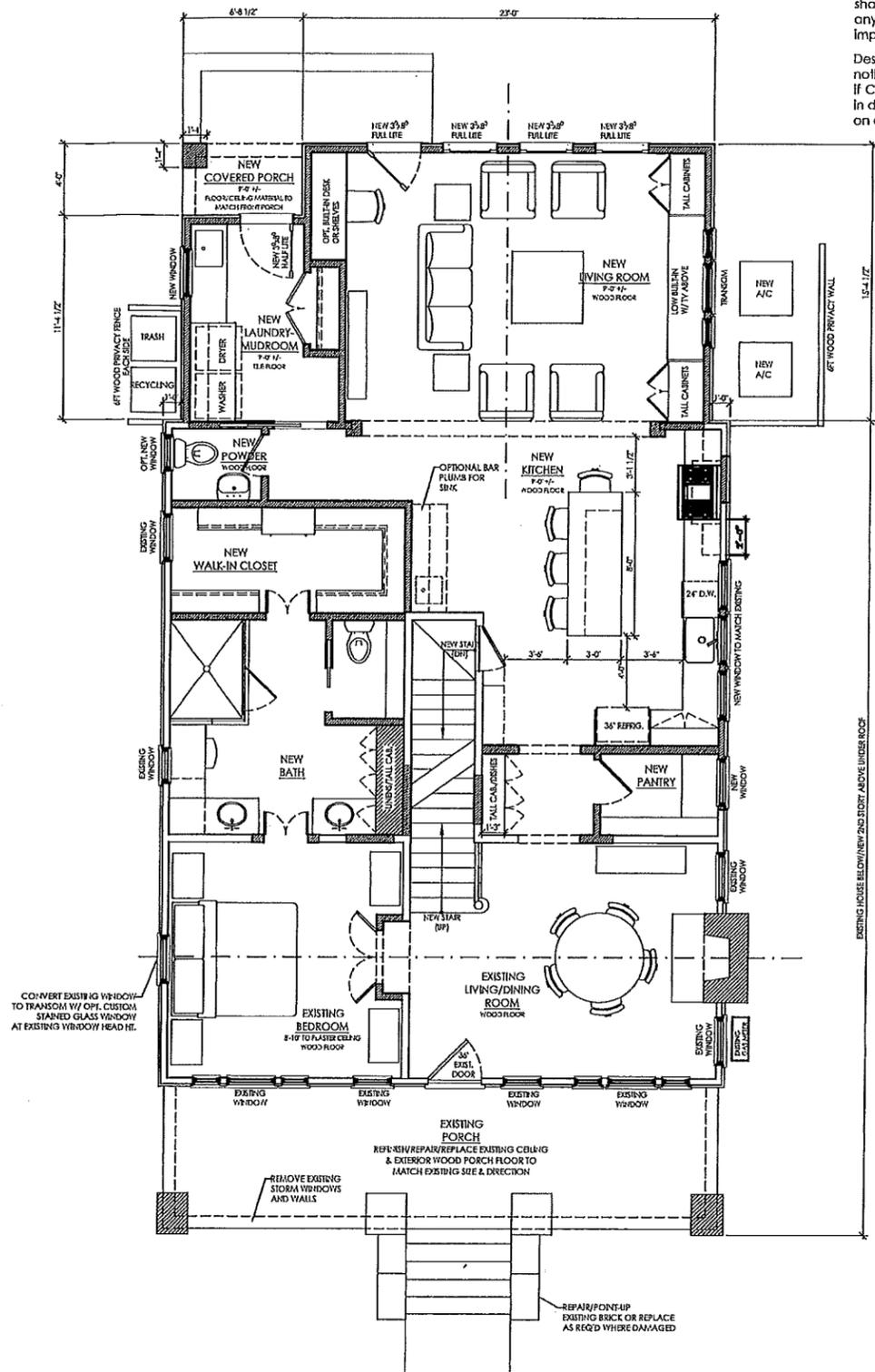
ISSUE DATE
 JULY 19, 2017

SHEET NUMBER
 1.0

APPROVED
 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness
 # 2017-453



1 EXISTING MAIN FLOOR PLAN
 1.1 Scale: 1/4" = 1'-0"



2 NEW MAIN FLOOR PLAN
 1.1 Scale: 1/4" = 1'-0"

All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.
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 DESIGN, LLC
 704.575.9594

615 WALNUT AVE.
 CHARLOTTE, NC
 RENOVATION/ADDITION

NOT FOR
 CONSTRUCTION
 Concept Only

REVISIONS

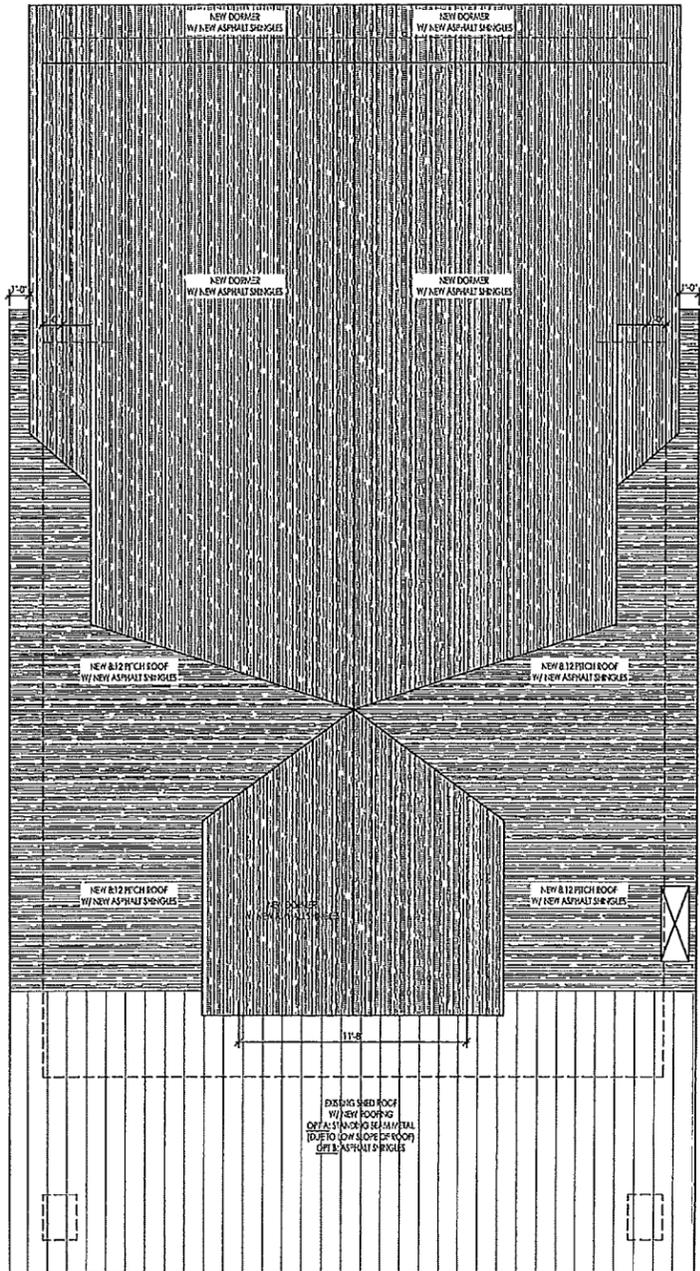
SHEET TITLE
 EXISTING & NEW
 1ST FLOOR PLAN

ISSUE DATE
 JULY 19, 2017

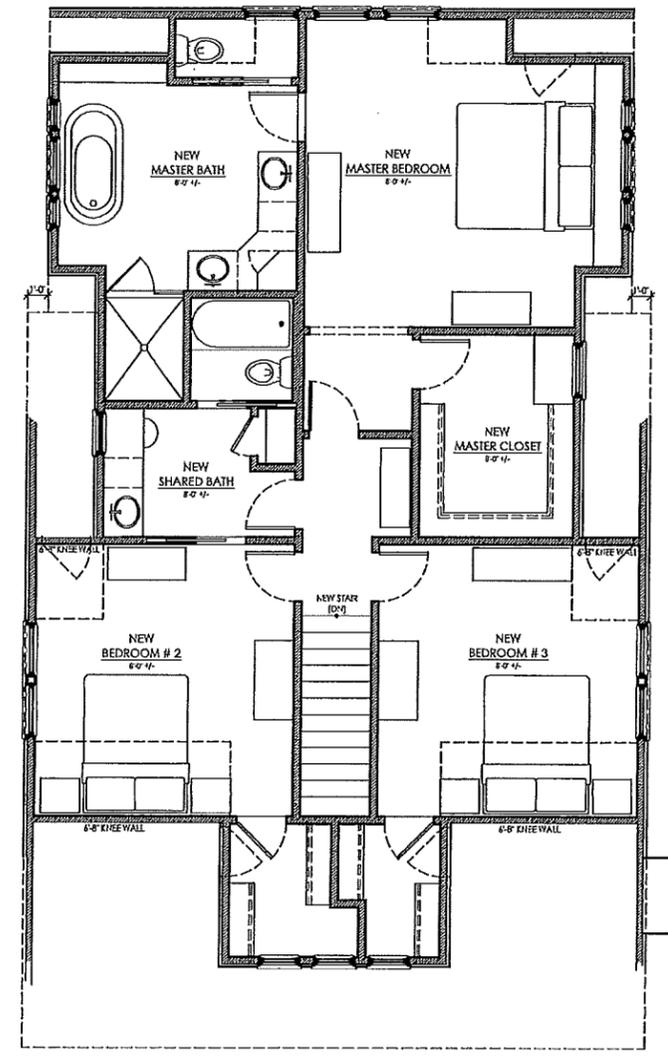
SHEET NUMBER
 1.1

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 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness

207-453



2 NEW ROOF PLAN
 Scale: 1/4" = 1'-0"



1 NEW 2ND FLOOR PLAN
 Scale: 1/4" = 1'-0"

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SHELLEY HUGHES
 DESIGN, LLC
 704.575.9594

615 WALNUT AVE.
 CHARLOTTE, NC
 RENOVATION/ADDITION

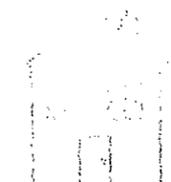
NOT FOR
 CONSTRUCTION
 Concept Only

REVISIONS

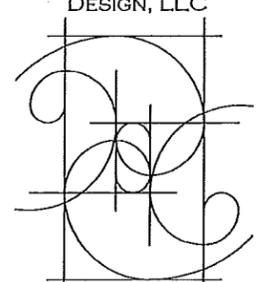
SHEET TITLE
 NEW 2ND FLOOR &
 ROOF PLAN

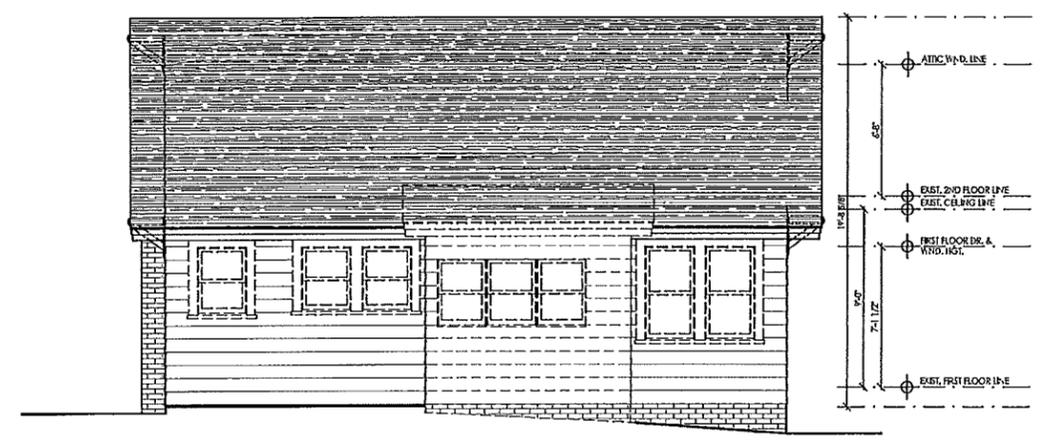
ISSUE DATE
 JULY 19, 2017

SHEET NUMBER
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 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness
 # 2017-453

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SHELLEY HUGHES
 DESIGN, LLC

 704.575.9594



2A EXISTING REAR ELEVATION
 2.1 Scale: 1/4" = 1'-0"



1A EXISTING FRONT ELEVATION
 2.1 Scale: 1/4" = 1'-0"



2B NEW REAR ELEVATION
 2.1 Scale: 1/4" = 1'-0"



1B NEW FRONT ELEVATION
 2.1 Scale: 1/4" = 1'-0"

615 WALNUT AVE.
 CHARLOTTE, NC
 RENOVATION/ADDITION
 NOT FOR
 CONSTRUCTION
 Concept Only

REVISIONS
 SHEET TITLE
 FRONT & REAR
 ELEVATIONS
 ISSUE DATE
 JULY 19, 2017
 SHEET NUMBER
 2.1

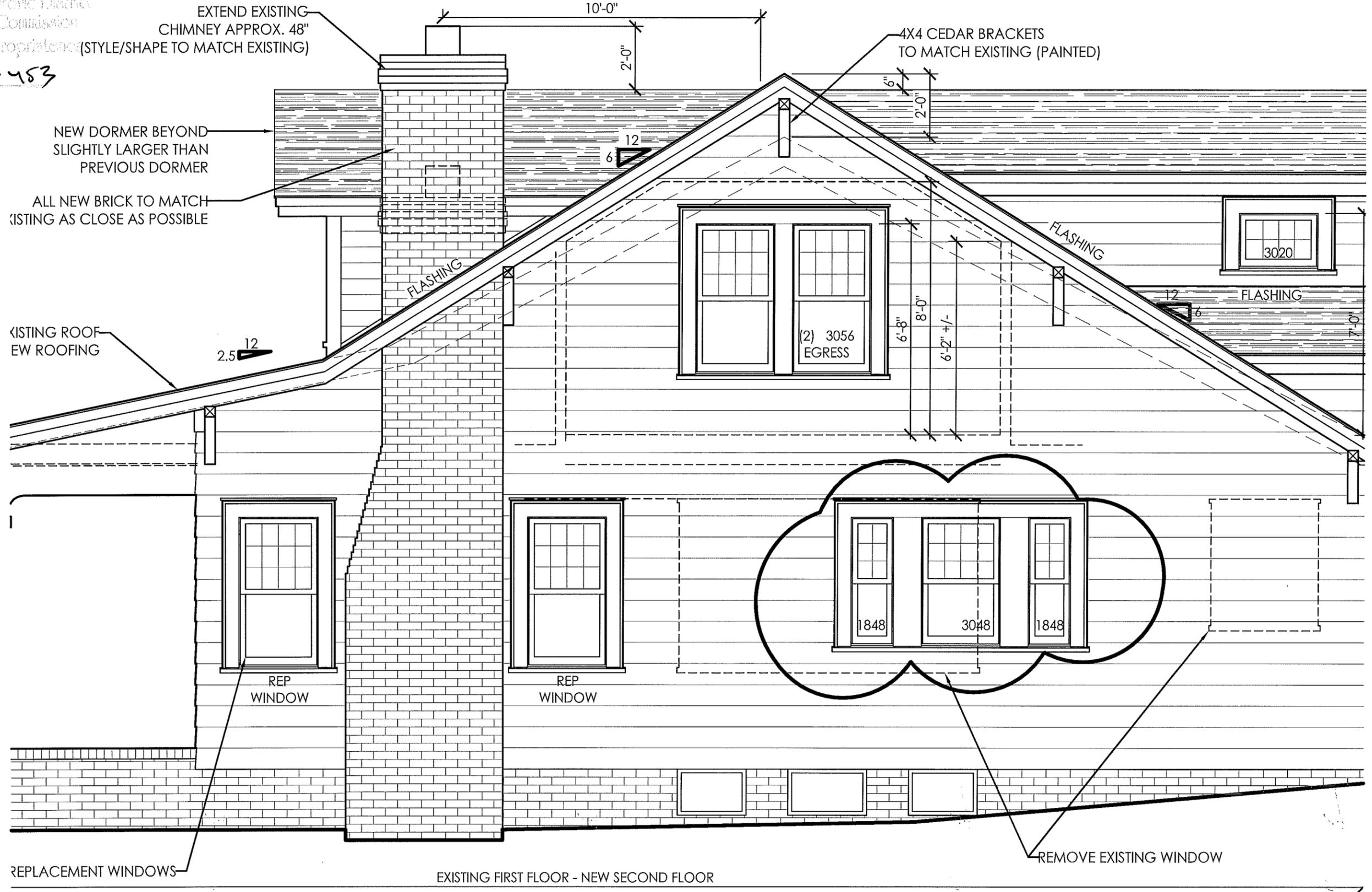


ADDRESS

Charlotte
Historic District
Commission

Certificate of Appropriateness (STYLE/SHAPE TO MATCH EXISTING)

2017-453

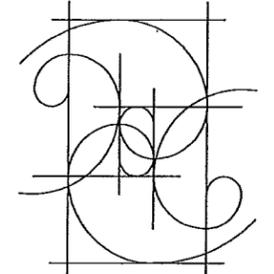


1B NEW RIGHT ELEVATION
2.2 Scale: 1/4" = 1'-0"

All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.

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615 WALNUT AVE.
CHARLOTTE, NC
RENOVATION/ADDITION

NOT FOR
CONSTRUCTION
Concept Only

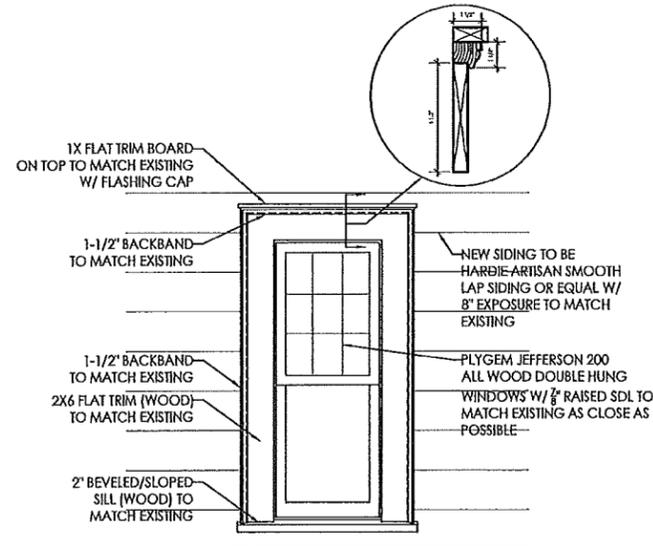
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SHEET TITLE
RIGHT ELEVATIONS

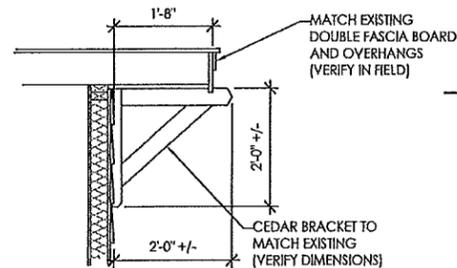
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JULY 19, 2017

SHEET NUMBER

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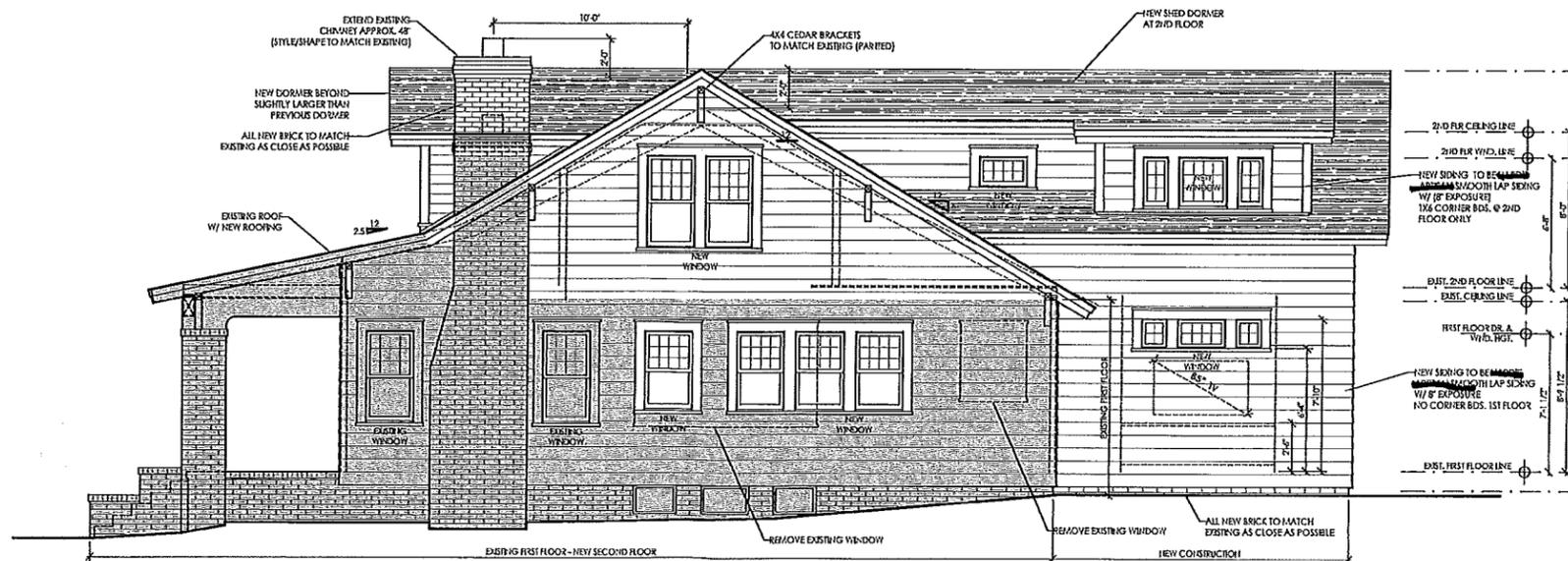
2 WINDOW/DOOR TRIM DETAIL
2.2 Scale: 3/4" = 1'-0"



3 RAKE DETAIL & BRACKET
2.2 Scale: 3/4" = 1'-0"



1A EXISTING RIGHT ELEVATION
2.2 Scale: 1/4" = 1'-0"



1B NEW RIGHT ELEVATION
2.2 Scale: 1/4" = 1'-0"

APPROVED
Commission
Certificate of Appropriateness
2017-453



ADDITIONAL

Charlotte
Historic District
Commission

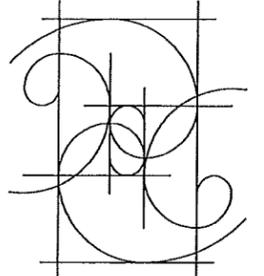
Certificate of Appropriateness

2017-453

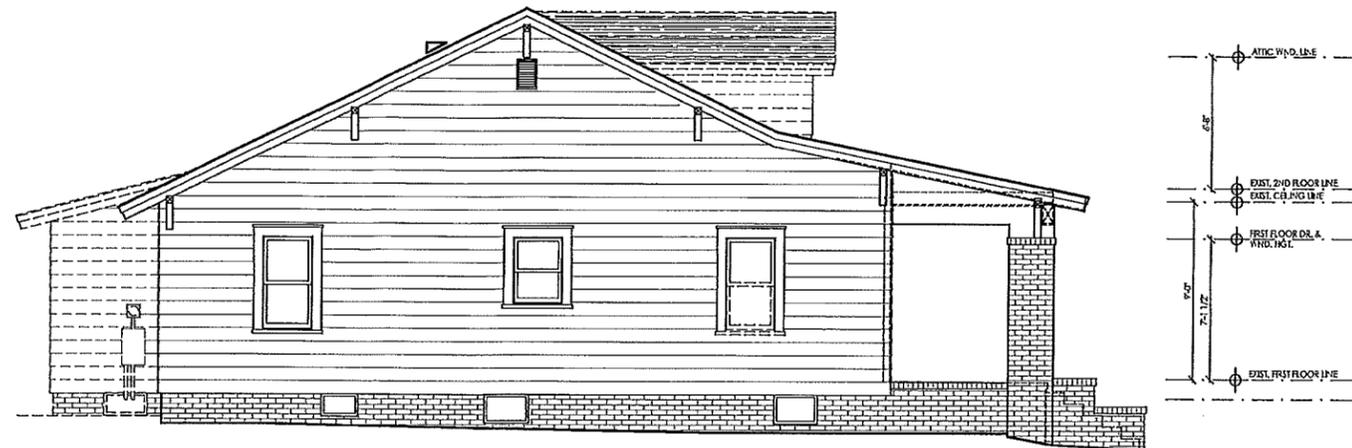
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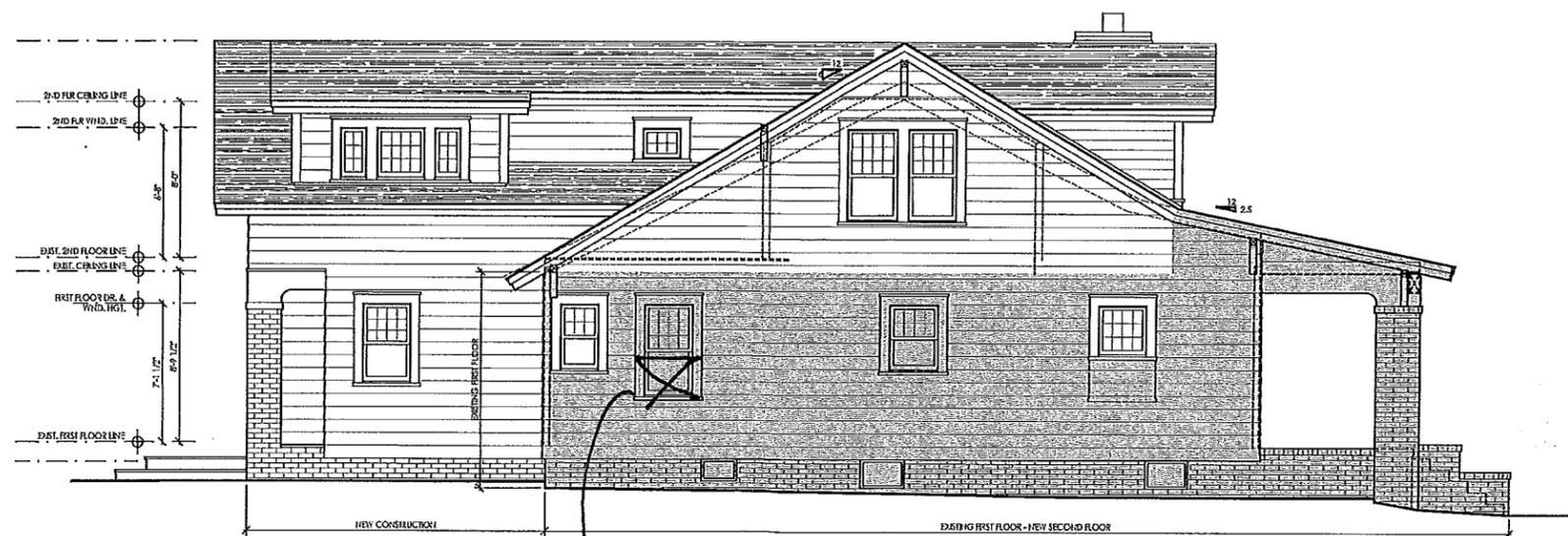
SHELLEY HUGHES
DESIGN, LLC



704.575.9594



1A EXISTING LEFT ELEVATION
2.3 Scale: 1/4" = 1'-0"



1B NEW LEFT ELEVATION
2.3 Scale: 1/4" = 1'-0"

1/2 SASH

615 WALNUT AVE.
CHARLOTTE, NC
RENOVATION/ADDITION

NOT FOR
CONSTRUCTION
Concept Only

REVISIONS

SHEET TITLE
LEFT ELEVATIONS

ISSUE DATE
JULY 19, 2017

SHEET NUMBER
2.3

Charlotte Historic District Commission Case 2018-160
HISTORIC DISTRICT: WESLEY HEIGHTS
ADDITION



-  615 Walnut Av
-  Wesley Heights Historic District
-  Property Lines
-  Building Footprints

April 3, 2018

COVERAGE CHART/ESTIMATING GUIDE

Number of 12 ft. planks, does not include waste

COVERAGE AREA LESS OPENINGS	HARDIEPLANK® LAP SIDING WIDTH										
	SQ (1 SQ = 100 sq.ft.)	(exposure)	5 1/4 4	6 1/4 5	7 1/4 6	7 1/2 6 1/4	8 6 3/4	8 1/4 7	9 1/4 8	9 1/2 8 1/4	12 10 3/4
1			25	20	17	16	15	14	13	13	9
2			50	40	33	32	30	29	25	25	19
3			75	60	50	48	44	43	38	38	28
4			100	80	67	64	59	57	50	50	37
5			125	100	83	80	74	71	63	63	47
6			150	120	100	96	89	86	75	75	56
7			175	140	117	112	104	100	88	88	65
8			200	160	133	128	119	114	100	100	74
9			225	180	150	144	133	129	113	113	84
10			250	200	167	160	148	143	125	125	93
11			275	220	183	176	163	157	138	138	102
12			300	240	200	192	178	171	150	150	112
13			325	260	217	208	193	186	163	163	121
14			350	280	233	224	207	200	175	175	130
15			375	300	250	240	222	214	188	188	140
16			400	320	267	256	237	229	200	200	149
17			425	340	283	272	252	243	213	213	158
18			450	360	300	288	267	257	225	225	167
19			475	380	317	304	281	271	238	238	177
20			500	400	333	320	296	286	250	250	186

This coverage chart is meant as a guide. Actual usage is subject to variables such as building design. James Hardie does not assume responsibility for over or under ordering of product.

RECOGNITION: In accordance with ICC-ES Evaluation Report ESR-2290, HardiePlank® lap siding is recognized as a suitable alternate to that specified in: the 2006, 2009, & 2012 International Residential Code for One- and Two-Family Dwellings, and the 2006, 2009, & 2012 International Building Code. HardiePlank lap siding is also recognized for application in the following: City of Los Angeles Research Report No. 24862, State of Florida listing FL#889, Dade County, Florida NOA No. 02-0729.02, U.S. Dept. of HUD Materials Release 1263c, Texas Department of Insurance Product Evaluation EC-23, City of New York MEA 223-93-M, and California DSA PA-019. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.

© 2016 James Hardie Building Products. All rights reserved.
TM, SM, and ® denote trademarks or registered trademarks of James Hardie Technology Limited. ® is a registered trademark of James Hardie Technology Limited.

Panelfast is a registered trademark of ET&F Fastening Systems, Inc.

Additional Installation Information,
Warranties, and Warnings are available at
www.jameshardie.com



Developing and Building Sustainably with James Hardie

James Hardie is committed to helping you build better, more sustainable projects by working with building science experts to understand the role our products play in the building envelope. While products alone do not provide points, the following information will help you determine how James Hardie products contribute toward the overall performance of the building.

For programs requiring documentation of Recycled Content or Regional Materials:

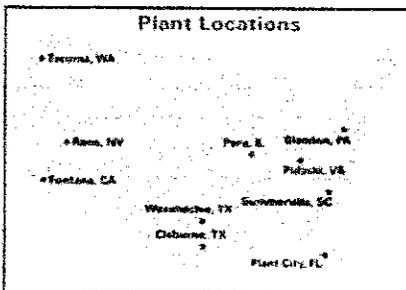
Call James Hardie Technical Services at 1-866-4HARDIE • Provide the project zip code

• Provide materials specified • Technical Services will provide a letter documenting James Hardie's contribution

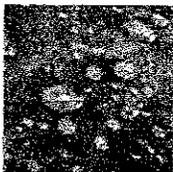
NATIONAL GREEN GUIDELINE PROGRAMS	JAMES HARDIE SIDING PRODUCTS	JAMES HARDIE BACKER BOARD
Projects seeking USGBC LEED® certification	MR 5.1 and 5.2 Regional Materials ¹ ; ID2.1 Durability and Planning Credit ² ; ID2.4 Third Party Durability Inspection ⁴ ; SSc5 Pest Control Alternatives ⁵	MR 4.1 and 4.2 Recycled Content ¹ ; MR 5.1 and 5.2 Regional Materials ¹ ; ID 2.2 Indoor Moisture Control ⁶
NAHB's Voluntary Model Green Home Building Guidelines	2.1.5 No additional finish resources to complete application onsite ² ; 2.2.8 Termite resistant materials; 2.7.1 Products that contain fewer resources than traditional products; 2.8.1 Locally available materials	2.4.1 Recycled content; 2.8.1 Locally available. 5.3.2 Moisture management ⁶

¹LEED-NC (commercial) only. ²LEED for Home residential pilot only. ³Fiber-cement can be used to protect the foundation insulation. LEED for Home only. ⁴Durability Inspection Checklist in LEED for Home includes issues with Pests and Natural Disasters. ⁵JH siding with ColorPlus® Technology is delivered to the jobsite pre-painted. ⁶Non paper-faced backerboard.

While all green programs share common goals of reducing environmental impact, they do not always measure every way a product can contribute toward better structure durability, non-combustibility, zero to landfill, or other green building goals.



- Ten manufacturing facilities support the regional economy and reduce the environmental impact caused by transportation of materials.
- Raw materials that are extracted and processed near each manufacturing facility also reduces transportation.
- Raw materials are low in toxicity – wood pulp, cement, sand and water (recycled up to 4 times).
- Longer lasting materials not only require fewer resources for replacement but also reduce maintenance and repair costs.
- Unique ColorPlus manufacturing process bakes on paint in our factories delivering a quality, consistent finish, eliminating VOCs during exterior painting. 15-year finish warranty ensures reduced need for repainting.
- James Hardie siding is non-combustible in accordance with ASTM E 136 and can be installed to achieve MIAMI-DADE Large and Small Missile Impact Rating.
- Manufacturing processes focus on quality, first-run materials. Zero to Landfill project aimed at reducing amount of raw materials waste sent to the landfills by half.



Resists Damage From Wet, Humid Climates



Resists Damage From Cold, Climates



Resists Flame Spread



Resists Damage From Wind and Hail



Resists Damage from insects

GREEN EXPERTS:

"The single most important factor in green architecture is durability. If you want something to be green it has to last a long time. It has to handle water, heat and UV radiation. Fiber-cement handles all three exceptionally well."

- Joseph Lstiburek, BASC, MENG., PH.D, PENG

"Green programs are intended to provide guidelines, however, they don't account for everything – good, common sense tells you that if a product is durable, doesn't rot, it will make your building better."

- Peter Pfaffner



JamesHardie

1-866-4-HARDIE (1-866-442-7343)
www.jameshardie.com



Please visit www.jameshardie.com for additional product information and availability, installation information, warnings and warranties.

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HardiePlank® HZ10 Lap Siding



EFFECTIVE MAY 2016

INSTALLATION REQUIREMENTS - PRIMED & COLORPLUS® PRODUCTS

Visit www.hardieinstallation.com for the most recent version.

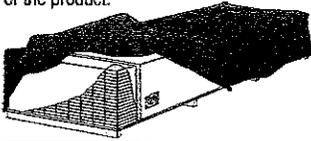
**SELECT CEDARMILL® • SMOOTH • CUSTOM COLONIAL™ SMOOTH • CUSTOM COLONIAL™ ROUGHSAWN
CUSTOM BEADED CEDARMILL® • CUSTOM BEADED SMOOTH • STRAIGHT-EDGE SHINGLE PLANK**

IMPORTANT: FAILURE TO INSTALL AND FINISH THIS PRODUCT IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND JAMES HARDIE WRITTEN APPLICATION INSTRUCTIONS MAY LEAD TO PERSONAL INJURY, AFFECT SYSTEM PERFORMANCE, VIOLATE LOCAL BUILDING CODES, AND VOID THE PRODUCT ONLY WARRANTY. BEFORE INSTALLATION, CONFIRM THAT YOU ARE USING THE CORRECT HARDIEZONE™ PRODUCT INSTRUCTIONS.

INSTALLATION OF HZ10® PRODUCTS OUTSIDE AN HZ10® LOCATION WILL VOID YOUR WARRANTY. TO DETERMINE WHICH HARDIEZONE™ APPLIES TO YOUR LOCATION, VISIT WWW.HARDIEZONE.COM OR CALL 1-866-942-7343 (866 9HARDIE)

STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



CUTTING INSTRUCTIONS

OUTDOORS

1. Position cutting station so that wind will blow dust away from user and others in working area.
2. Use one of the following methods:
 - a. Best:
 - i. Score and snap
 - ii. Shears (manual, electric or pneumatic)
 - b. Better:
 - i. Dust reducing circular saw equipped with a HardieBlade® saw blade and HEPA vacuum extraction
 - c. Good:
 - i. Dust reducing circular saw with a HardieBlade saw blade (only use for low to moderate cutting)

INDOORS

1. Cut only using score and snap, or shears (manual, electric or pneumatic).
2. Position cutting station in well-ventilated area

- NEVER use a power saw indoors
- NEVER use a circular saw blade that does not carry the HardieBlade saw blade trademark.
- NEVER dry sweep - Use wet suppression or HEPA Vacuum

Important Note: For maximum protection (lowest respirable dust production), James Hardie recommends always using "Best"-level cutting methods where feasible.

NIOSH-approved respirators can be used in conjunction with above cutting practices to further reduce dust exposures. Additional exposure information is available at www.jameshardie.com to help you determine the most appropriate cutting method for your job requirements. If concern still exists about exposure levels or you do not comply with the above practices, you should always consult a qualified industrial hygienist or contact James Hardie for further information.

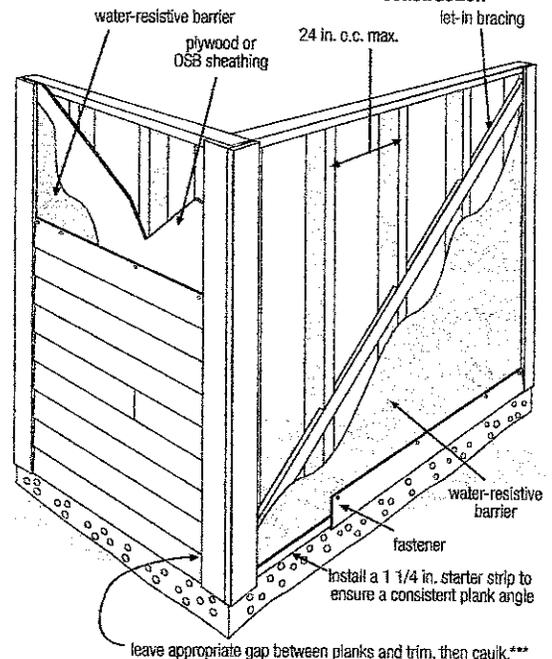
SC063165

GENERAL REQUIREMENTS:

- HardiePlank® lap siding can be installed over braced wood or steel studs spaced a maximum of 24 in. o.c. or directly to minimum 7/16 in. thick OSB sheathing. See general fastening requirements. Irregularities in framing and sheathing can mirror through the finished application.
- Information on installing James Hardie products over foam can be located in **JH Tech Bulletin 19** at www.jameshardie.com
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements. James Hardie will assume no responsibility for water infiltration. James Hardie does manufacture HardieWrap® Weather Barrier, a non-woven non-perforated housewrap¹, which complies with building code requirements.
- When installing James Hardie products all clearance details in figs. 3-14 must be followed.
- Adjacent finished grade must slope away from the building in accordance with local building codes - typically a minimum of 6 in. in the first 10 ft..
- Do not use HardiePlank lap siding in fascia or trim applications.
- Do not install James Hardie products, such that they may remain in contact with standing water.
- HardiePlank lap siding may be installed on flat vertical wall applications only.
- For larger projects, including commercial and multi-family projects, where the span of the wall is significant in length, the designer and/or architect should take into consideration the coefficient of thermal expansion and moisture movement of the product in their design. These values can be found in the Technical Bulletin "Expansion Characteristics of James Hardie® Siding Products" at www.JamesHardie.com.
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products.

Figure 1 Double Wall Construction

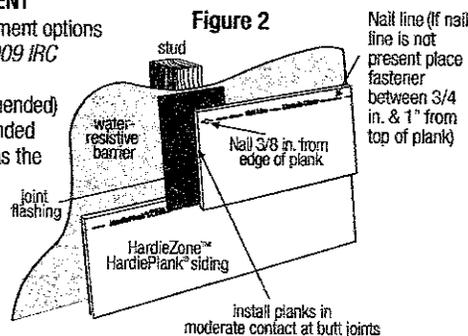
Single Wall Construction



INSTALLATION: JOINT TREATMENT

One or more of the following joint treatment options are required by code (as referenced 2009 IRC R703.10.2)

- A. Joint Flashing (James Hardie recommended)
- B. Caulking* (Caulking is not recommended for ColorPlus for aesthetic reasons as the Caulking and ColorPlus will weather differently. For the same reason, do not caulk nail heads on ColorPlus products.)
- C. "H" jointer cover



Note: Field painting over caulking may produce a sheen difference when compared to the field painted PrimePlus. *Refer to Caulking section in these instructions.

¹For additional information on HardieWrap® Weather Barrier, consult James Hardie at 1-866-4Hardie or www.hardiewrap.com

WARNING: AVOID BREATHING SILICA DUST

James Hardie® products contain respirable crystalline silica, which is known to the State of California to cause cancer and is considered by IARC and NIOSH to be a cause of cancer from some occupational sources. Breathing excessive amounts of respirable silica dust can also cause a disabling and potentially fatal lung disease called silicosis, and has been linked with other diseases. Some studies suggest smoking may increase these risks. During installation or handling: (1) work in outdoor areas with ample ventilation; (2) use fiber cement shears for cutting or, where not feasible, use a HardieBlade® saw blade and dust-reducing circular saw attached to a HEPA vacuum; (3) warn others in the immediate area; (4) wear a properly-fitted, NIOSH-approved dust mask or respirator (e.g. N-95) in accordance with applicable government regulations and manufacturer instructions to further limit respirable silica exposures. During clean-up, use HEPA vacuums or wet cleanup methods - never dry sweep. For further information, refer to our installation instructions and Material Safety Data Sheet available at www.jameshardie.com or by calling 1-800-9HARDIE (1-800-942-7343). FAILURE TO ADHERE TO OUR WARNINGS, MSDS, AND INSTALLATION INSTRUCTIONS MAY LEAD TO SERIOUS PERSONAL INJURY OR DEATH.

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CLEARANCE AND FLASHING REQUIREMENTS

Figure 3
Roof to Wall

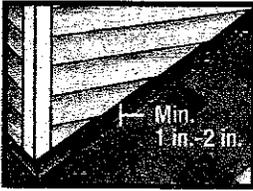


Figure 4
Horizontal Flashing

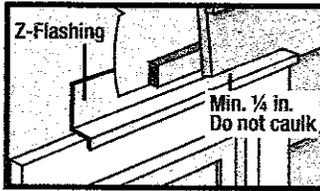


Figure 5
Kickout Flashing



Figure 6
Slabs, Path, Steps to Siding

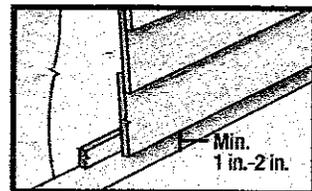


Figure 7
Deck to Wall

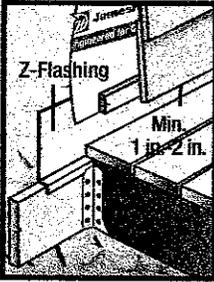


Figure 8
Ground to Siding

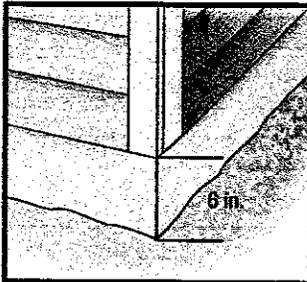


Figure 9
Gutter to Siding



Figure 10
Sheltered Areas

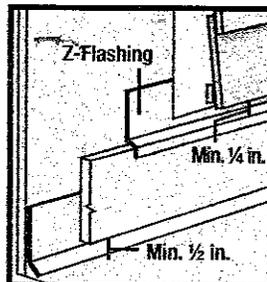


Figure 11
Mortar/Masonry

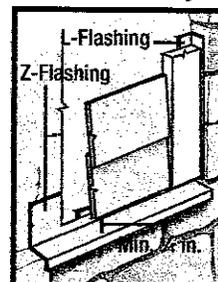


Figure 12
Drip Edge

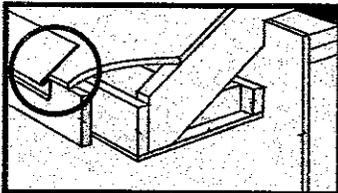


Figure 13
Block Penetration
(Recommended in HZ10)

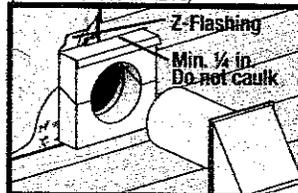
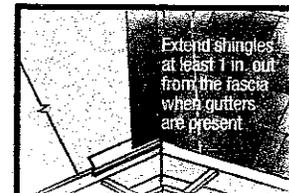


Figure 14
Valley/Shingle Extension



FASTENER REQUIREMENTS **

Blind Nailing is the preferred method of installation for HardiePlank® lap siding products. Face nailing should only be used where required by code for high wind areas and must not be used in conjunction with Blind nailing (Please see JH Tech bulletin 17 for exemption when doing a repair). **Pin-backed corners may be done for aesthetic purposes Only. Pin-backs shall be done with finish nails only, and are not a substitute for blind or face nailing.**

BLIND NAILING

Nails - Wood Framing

- Siding nail (0.09 in. shank x 0.221 in. HD x 2 in. long)
- 11ga. roofing nail (0.121 in. shank x 0.371 in. HD x 1.25 in. long)

Screws - Steel Framing

- Ribbed Wafer-head or equivalent (No. 8 x 1 1/4 in. long x 0.375 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

- ET & F Panefast® nails or equivalent (0.10 in. shank x 0.313 in. HD x 1-1/2 in. long)

Nails must penetrate minimum 1/4 in. into metal framing.

OSB minimum 7/16 in.

- 11ga. roofing nail (0.121 in. shank x 0.371 in. HD x 1.75 in. long)
- Ribbed Wafer-head or equivalent (No. 8 x 1 5/8 in. long x 0.375 in. HD).

FACE NAILING

Nails - Wood Framing

- 6d (0.113 in. shank x 0.267 in. HD x 2 in. long)
- Siding nail (0.09 in. shank x 0.221 in. HD x 2 in. long)

Screws - Steel Framing

- Ribbed Bugle-head or equivalent (No. 8-18 x 1-5/8 in. long x 0.323 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

- ET & F pin or equivalent (0.10 in. shank x 0.25 in. HD x 1-1/2 in. long)

OSB minimum 7/16 in.

- Siding nail (0.09 in. shank x 0.221 in. HD x 1-1/2 in. long)*

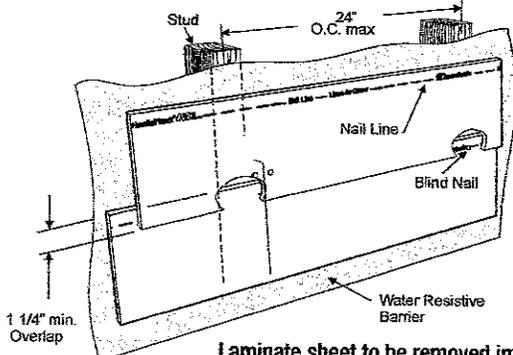
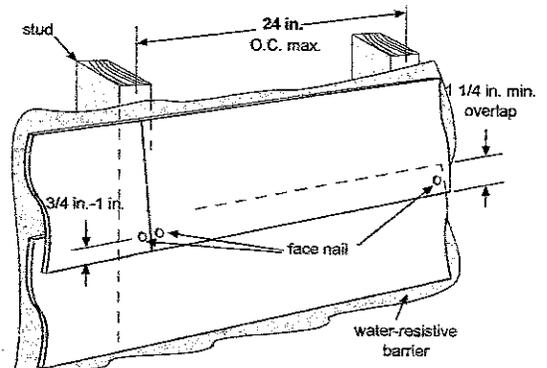
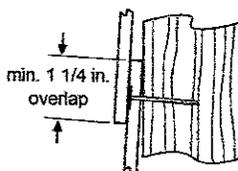


Figure 15

Figure 16

Minimum overlap
for Both Face
and Blind Nailing



Laminate sheet to be removed immediately after installation of each course for ColorPlus® products.

* When face nailing to OSB, planks must be no greater than 9 1/4 in. wide and fasteners must be 12 in. o.c. or less.

** Also see General Fastening Requirements; and when considering alternative fastening options refer to James Hardie Technical Bulletin USTB 17 - Fastening Tips for HardiePlank® Lap Siding.

GENERAL FASTENING REQUIREMENTS

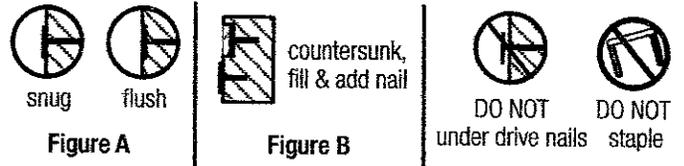
Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie® products near the ocean, large bodies of water, or in very humid climates.

Manufacturers of ACQ and CA preservative-treated wood recommend spacer materials or other physical barriers to prevent direct contact of ACQ or CA preservative-treated wood and aluminum products. Fasteners used to attach HardieTrim Tabs to preservative-treated wood shall be of hot dipped zinc-coated galvanized steel or stainless steel and in accordance to 2009 IRC R317.3 or 2009 IBC 2304.9.5.

- Consult applicable product evaluation or listing for correct fasteners type and placement to achieve specified design wind loads.
- NOTE: Published wind loads may not be applicable to all areas where Local Building Codes have specific jurisdiction. Consult James Hardie Technical Services if you are unsure of applicable compliance documentation.
- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space). (fig. A)
- Do not over-drive nail heads or drive nails at an angle.
- If nail is countersunk, fill nail hole and add a nail. (fig. B)
- For wood framing, under driven nails should be hit flush to the plank with a hammer (For steel framing, remove and replace nail).
- NOTE: Whenever a structural member is present, HardiePlank should be fastened with even spacing to the structural member. The tables allowing direct to OSB or plywood should only be used when traditional framing is not available.
- **Do not use aluminum fasteners, staples, or clipped head nails.**

PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer - Does not apply for installation to steel framing).



PAINTING

DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products. James Hardie products must be painted within 180 days for primed product and 90 days for unprimed. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

CUT EDGE TREATMENT

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

CAULKING

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions. **Note: OSI Quad as well as some other caulking manufacturers do not allow tooling.**

COLORPLUS® TECHNOLOGY CAULKING, TOUCH-UP & LAMINATE

- Care should be taken when handling and cutting James Hardie® ColorPlus® products. During installation use a wet soft cloth or soft brush to gently wipe off any residue or construction dust left on the product, then rinse with a garden hose.
- Touch up nicks, scrapes and nail heads using the ColorPlus® Technology touch-up applicator. Touch-up should be used sparingly. If large areas require touch-up, replace the damaged area with new HardiePlank® lap siding with ColorPlus Technology.
- Laminate sheet must be removed immediately after installation of each course.
- Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus® product dealer.
- Treat all other non-factory cut edges using the ColorPlus Technology edge coat, available from your ColorPlus product dealer.

Note: James Hardie does not warrant the usage of third party touch-up or paints used as touch-up on James Hardie ColorPlus products.

Problems with appearance or performance arising from use of third party touch-up paints or paints used as touch-up that are not James Hardie touch-up will not be covered under the James Hardie ColorPlus Limited Finish Warranty.

PAINTING JAMES HARDIE® SIDING AND TRIM PRODUCTS WITH COLORPLUS® TECHNOLOGY

When repainting ColorPlus products, James Hardie recommends the following regarding surface preparation and topcoat application:

- Ensure the surface is clean, dry, and free of any dust, dirt, or mildew
- Repriming is normally not necessary
- 100% acrylic topcoats are recommended
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products.
- Apply finish coat in accordance with paint manufacturers written instructions regarding coverage, application methods, and application temperature
- DO NOT caulk nail heads when using ColorPlus products, refer to the ColorPlus touch-up section



EXISTING CONDITIONS





EXISTING CONDITIONS



813 Walnut Avenue



421 GRANDIN



813 Walnut Avenue