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**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 719 East Tremont Avenue

**SUMMARY OF REQUEST:** Addition, fenestration changes

**APPLICANT/OWNER:** Allen Brooks

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**Details of Proposed Request**

*Existing Conditions*

The existing structure is a 1.5 story Bungalow style house constructed in 1915. Architectural features include a hipped main roof, full width front porch and centered dormer. Siding material is cedar shake. Adjacent structures are 1-2 story single family houses. The house height is approximately 22'. Existing brick is painted.

*Proposal*

The proposal is a cross gable addition toward the rear of the house and one story hipped porch roof addition over the rear porch and 5' extension on the left side, rear. The cross gable ridge height is approximately 2' above existing ridge with a shed dormer facing the rear. Materials include cedar shake and brick to match existing. The proposal also removes the chimney on the rear of the house and removal of windows on the rear and left side. Windows to remain are identified on the elevations. New roof and window trim details will match the house. There no impacts to mature trees.

**Design Guidelines – Additions, page 7.2**

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

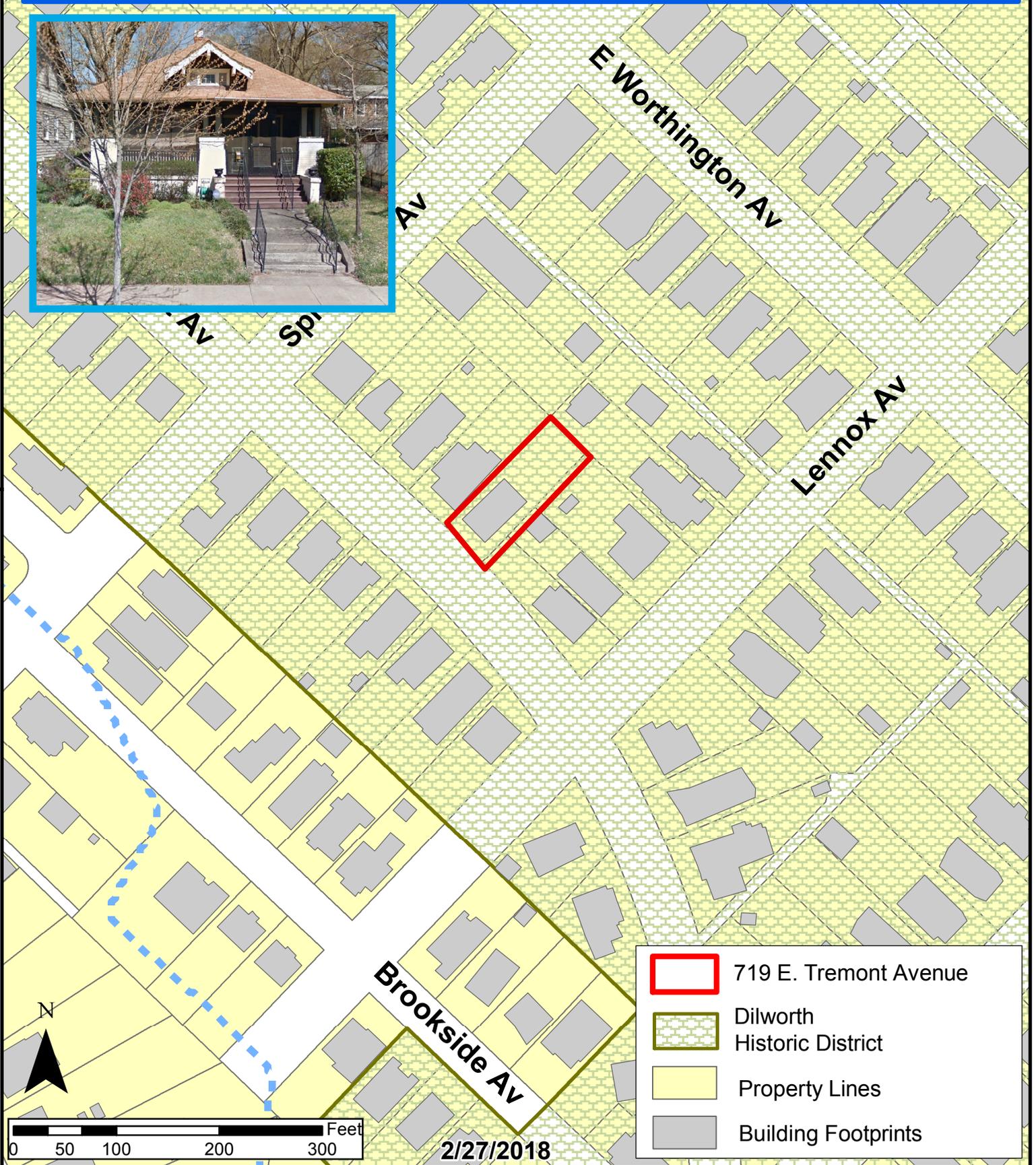
All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

### **Staff Recommendation**

Staff believes the proposal meets the applicable guidelines for additions, 7.2 above. Minor detail changes may be reviewed by staff.

*Charlotte Historic District Commission Case 2018-083*  
**HISTORIC DISTRICT: DILWORTH**  
**ADDITION**



-  719 E. Tremont Avenue
-  Dilworth Historic District
-  Property Lines
-  Building Footprints

0 50 100 200 300 Feet

2/27/2018

Polaris 3G Map – Mecklenburg County, North Carolina  
EVEN SIDE OF TREMONT (APPROX. LENGTHS)

SUBJECT

Date Printed: 4/5/2018 8:34:33 AM



This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.

# EXISTING CONDITIONS



LEFT SIDE @ FRONT ▲



SUBJECT IN CONTEXT ▲



LEFT SIDE @ REAR ▲



RIGHT SIDE @ FRONT ▲



REAR ▲



RIGHT SIDE @ REAR ▲



REAR YARD ▲



YARD @ LEFT ▲

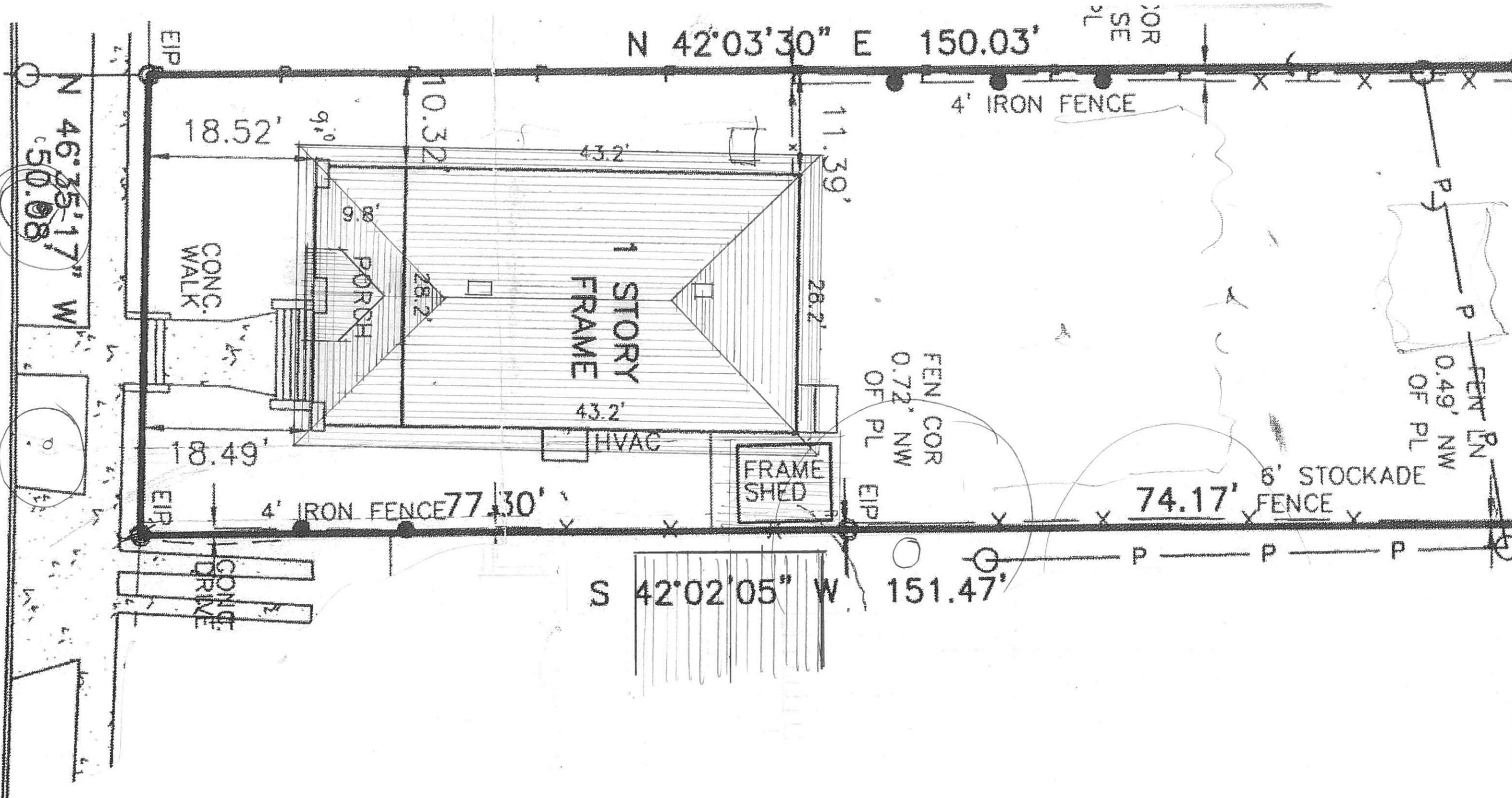


YARD @ IMMEDIATE RIGHT ▲



YARD @ RIGHT ▲

SUBJECT  
719 E. TREMONT



EXISTING SITE PLAN





624 E. TREMONT

VERY SIMILAR

17



1912 LYNDAWEST

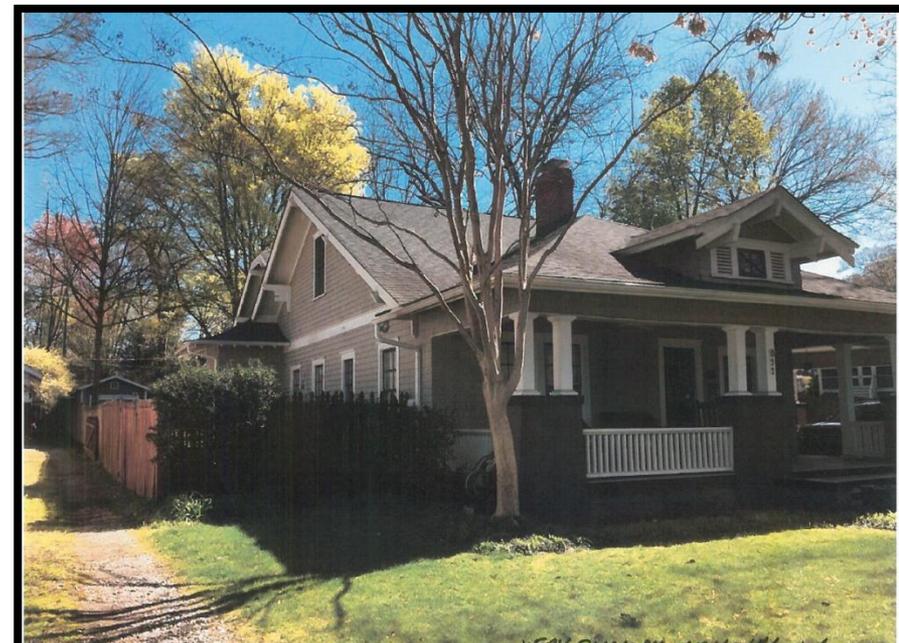
SIMILAR

18



500 E. WORTHINGTON

SIMILAR ORIG. HOUSE W/ VERY DIFFENT 2ND FL. ADDITION



811 E. TREMONT

VERY SIMILAR ORIGINAL W/ ALTERATIONS OF REAR ADDITION

20



211 E. TREMONT

DIFFERENT EXECUTION OF SIMILAR PLAN  
ALTERATION OF SIDE ADDITION



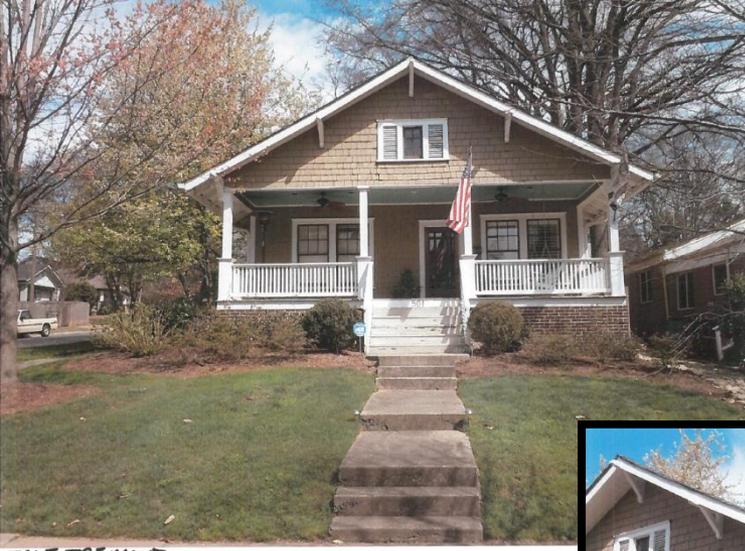
508 E. WORTHINGTON

SIMILAR ROOF EAVE RETURNS & CROSS GABLE  
REAR ADDITION



508 E. WORTHINGTON

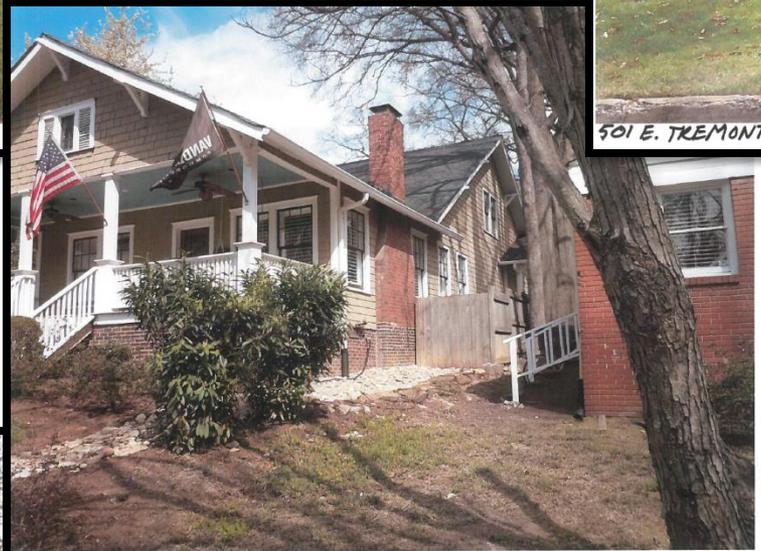
DIFFERENT EXECUTION OF SIMILAR PLAN



501 E. TREMONT



501 E. TREMONT @ LYNCHBURST SIDE (REAR ADDITION - CORNER LOT)



501 E. TREMONT CROSS GABLE REAR ADDITION



501 E. TREMONT SUBSTANTIALLY HIGHER REAR CROSS GABLE



501 E. TREMONT CORNER OF LYNCHBURST & TREMONT

**MECKLENBURG COUNTY, North Carolina**  
**POLARIS 3G PARCEL OWNERSHIP AND GIS SUMMARY**  
 Date Printed: 10/03/2017

Identity	
Parcel ID	GIS ID
12108605	12108605

Property Characteristics	
Legal desc	L16 B70 M332-214
Land Area	0.167 GIS Acres
Fire District	CITY OF CHARLOTTE
Special District	
Account Type	INDIVIDUAL
Municipality	CHARLOTTE
Property Use	SINGLE FAMILY RESIDENTIAL

Ownership	
Owner Name	Mailing Address
WINNIE ZEMAN	719 E TREMONT AVE CHARLOTTE NC 28203

Deed Reference(s) and Sale Price		
Deed	Sale Date	Sale Price
05472-540	03/09/1987	\$0.00

Site Location	
ETJ Area	Charlotte
Charlotte Historic District	Yes
Charlotte 6/30/2011 Annexation Area	No
Census Tract #	34

**Zoning**  
 Contact appropriate Planning Department or see Map.

Water Quality Buffer	
Parcel Inside Water Quality Buffer	No

FEMA and Community Floodplain	
FEMA Panel#	3710454300K
FEMA Panel Date	03/02/2009
FEMA Flood Zone	OUT-VIEW FEMA FLOODPLAIN TO VERIFY
Community Flood Zone	OUT-VIEW COMMUNITY FLOODPLAIN TO VERIFY

**Situs Addresses Tied to Parcel**  
 719 E TREMONT AV CHARLOTTE



Post Construction District	
Jurisdiction	Charlotte
District	Central Catawba

Stream Watershed Districts	
Stream Watershed Name	UPPER LITTLE SUGAR

Built-Up Area Restriction	
Allowed Built-Up Area	0.00 sq ft



52 FT DEPTH  
 1456 SF FOOTPRINT  
 18.9 FT HT FF- RIDGE  
 6 FT FROM SIDEWALK



Print  
 Close

Parcel Information	Account	Parent	Previous
Parcel ID 12108605	INDIVIDUAL		

Owner(s)	Mailing Address	City/State
Owner Name ZEMAN WINNIE	719 E TREMONT AVE	CHARLOTTE NC 28203

Legal Information	Municipality	Date Annexed	Special District	Fire District	Acres
L16 B70 M332-214	CHARLOTTE			CITY OF CHARLOTTE	0

Total Parcel Assessment	Exemptions	Year Approved	Review Date	Amount
Building \$25700	ELDERLY EX	2010	1/1/2020	135350

Sale Information	Price	Stamps	Qualify	VI	Type	Legal Ref.	Grantor
Sale Mar 9 1987	0			IMP	WARRANTY D	05472-540	

Land Use	Units	Type	Neighborhood	Assessment
R100	1	LT	M312	243700

Building Information	Description	Type	Year	Property Location
Bldg 1	Single-Fam	RES	1900	719 E TREMONT AV CHARLOTTE

Bldg	Story	Units	Total SqFt	Heated SqFt	Foundation	Ext. Wall	Grade	Value
1	1 STORY	1	1456	4176	CRAWL SPACE	WOOD ON SHTG -	AVERAGE 04	25700

Bldg	Heat	Fuel	Fire Place	AC	Fixtures	Bedrooms	Full Baths	3/4 Baths	1/2 Baths
1	AIR-DUCTED	GAS	1 - FP3	AC-CENTRAL	0	3	1	0	0

Sub Area	Description	Size
Bldg 1	BASE (FIRST FLOOR)	1176
1	PORCH - SCREENED - FINISHED	280

Depreciation	Physical	Functional	Economic	Special	Override
Bldg 1	AV - 31.00%	FUNC - 40.00%	TRAF - 5.00%	- 0.00%	- 0.00%

Special Features & Yard Items	Built	Type	Quantity	Units	Value
Bldg 1	1900	GARAGE	1	330.00000	900
1	1900	STORAGE	1	96.00000	400

Notes	Notes	Note Date
Tax Year		

Value Changes	Tax Year	Reason	Changed To	Deferred
Notice Date				
Feb 8 2011	2011	Countywide Revaluation	379600	0
Apr 23 2010	2010	Homestead exclusion approved	260300	0
Jan 17 2003	2003	Countywide Revaluation	285300	0
Jun 13 1998	1998	Reviewed - No change in value	167500	
Jan 5 1998	1998	Countywide Revaluation	167500	
Jan 2 1991	1991	Countywide Revaluation	88860	

MECKLENBURG COUNTY, North Carolina  
POLARIS 3G PARCEL OWNERSHIP AND GIS SUMMARY

Date Printed: 02/01/2018

Identity	
Parcel ID	GIS ID
12108604	12108604
Property Characteristics	
Legal desc	L17 B70 M332-215
Land Area	0.171 GIS Acres
Fire District	CITY OF CHARLOTTE
Special District	
Account Type	INDIVIDUAL
Municipality	CHARLOTTE
Property Use	SINGLE FAMILY RESIDENTIAL
Zoning	
Contact appropriate Planning Department or see Map.	
Water Quality Buffer	
Parcel Inside Water Quality Buffer	No
FEMA and Community Floodplain	
FEMA Panel#	3710454300K
FEMA Panel Date	03/02/2009
FEMA Flood Zone	OUT:VIEW FEMA FLOODPLAIN TO VERIFY
Community Flood Zone	OUT:VIEW COMMUNITY FLOODPLAIN TO VERIFY
Situe Addresses Tied to Parcel	
715 E TREMONT AV CHARLOTTE	

Ownership	
Owner Name	Mailing Address
MELANIE GUZEK	715 E TREMONT AV CHARLOTTE NC 28203
MICHAEL GUZEK	715 E TREMONT AV CHARLOTTE NC 28203

Deed Reference(s) and Sale Price		
Deed	Sale Date	Sale Price
32002-995	07/28/2017	\$865,000.00
25168-374	10/23/2009	\$595,000.00
21408-823	11/27/2006	\$759,000.00
20127-220	03/10/2006	\$0.00
19501-128	10/18/2005	\$245,000.00
04043-068	03/20/1978	\$0.00

Site Location	
ETJ Area	Charlotte
Charlotte Historic District	Yes
Charlotte 6/30/2011 Annexation Area	No
Census Tract #	34

Post Construction District	
Jurisdiction	Charlotte
District	Central Catawba

Stream Watershed Districts	
Stream Watershed Name	UPPER LITTLE SUGAR

Built-Up Area Restriction	
Allowed Built-Up Area	0.00 sq ft



01/04/2016 from Mecklenburg County



12108604 001

08/19/2007 from Mecklenburg County

- 68 FT DEED \* TAKE FACTOR
- 2500 SF FOOTPRINT
- 24.2 FT HT. FF-WADGE
- 5.8 FT HT. FROM S.D.B.WADGE



Real Estate Lookup

Print  
Close

Parcel Information	Account	Parent	Previous
Parcel ID 12108604	INDIVIDUAL		

Owner(s)	Mailing Address	City/State
Owner Name GUZEK MICHAEL GUZEK MELANIE SPOUSE	715 E TREMONT AV 715 E TREMONT AV	CHARLOTTE NC 28203 CHARLOTTE NC 28203

Legal Information	Municipality	Date Annexed	Special District	Fire District	Acres
Legal L17 B70 M332-215	CHARLOTTE			CITY OF CHARLOTTE	0

Total Parcel Assessment	Exemptions	Year Approved	Review Date	Amount
Building 321300	Exemption			
Land 243700				
Features 1300				
Total 566300				

Sale Information	Price	Stamps	Qualify	VI	Type	Legal Ref.	Grantor
Sale							
Jul 28 2017	865000	1730		IMP	WARRANTY D	32002-995	HONDROS BETH T
Oct 23 2009	595000	1190		IMP	WARRANTY D	25168-374	RIDENHOUR,SUZANNE F
Nov 27 2006	759000	1518		IMP	WARRANTY D	21408-823	MAIN STREET DEVELOPM
Mar 10 2006	0		LESS \$3000	IMP	QUIT CLAIM	20127-220	MCALLISTER,LAWRENCE
Oct 18 2005	245000	490		IMP	WARRANTY D	19501-128	LAWING,LOUISE A
Mar 20 1978	0			IMP	WARRANTY D	04043-068	

Land Use	Units	Type	Neighborhood	Assessment
Use R100	1	LT	M312	243700

Building Information	Description	Type	Year	Property Location
Bldg 1	Single-Fam	RES	2006	715 E TREMONT AV CHARLOTTE

Bldg	Story	Units	Total SqFt	Heated SqFt	Foundation	Ext. Wall	Grade	Value
1	2.0 STORY	1	3564	2684	CRAWL SPACE	HARDIPLANK -	VERY GOOD 04	321300

Bldg	Heat	Fuel	Fire Place	AC	Fixtures	Bedrooms	Full Baths	3/4 Baths	1/2 Baths
1	AIR-DUCTED	GAS	0 -	AC-CENTRAL	0	3	3	0	1

Sub Area	Description	Size
1	UPPER STORY - FINISHED	1470
1	PORCH - OPEN - FINISHED	204
1	BASE (FIRST FLOOR)	1214
1	PORCH - OPEN - FINISHED	280
1	CARPORT - FINISHED	396

Depreciation	Physical	Functional	Economic	Special	Override
Bldg 1	AV - 5.00%	- 0.00%	TRAF - 5.00%	- 0.00%	- 0.00%

Special Features & Yard Items	Built	Type	Quantity	Units	Value
Bldg 1	1925	TERRACE	1	56.00000	300
1	1925	TERRACE	1	88.00000	400
1	1925	GARAGE	1	200.00000	600

Tax Year	Notes	Note Date

Value Changes	Tax Year	Reason	Changed To	Deferred
Notice Date Feb 8 2011	2011	Countywide Revaluation	600100	0

**MECKLENBURG COUNTY, North Carolina**  
**POLARIS 3G PARCEL OWNERSHIP AND GIS SUMMARY**  
 Date Printed: 02/01/2018

Identity		Ownership	
Parcel ID	GIS ID	Owner Name	Mailing Address
12108603	12108603	JEAN STEWART CAREY	709 E TREMONT AVE CHARLOTTE NC 28203
<b>Property Characteristics</b>			
Legal desc	L18 B70 M332-215		
Land Area	0.166 GIS Acres		
Fire District	CITY OF CHARLOTTE		
Special District			
Account Type	INDIVIDUAL		
Municipality	CHARLOTTE		
Property Use	SINGLE FAMILY RESIDENTIAL		
<b>Deed Reference(s) and Sale Price</b>			
Deed	Sale Date	Sale Price	
29108-752	04/11/2014	\$600,000.00	
28588-221	08/02/2013	\$481,500.00	
21257-42	10/25/2006	\$538,000.00	
12167-603	04/30/2001	\$272,000.00	
09342-102	11/06/1997	\$182,500.00	
<b>Site Location</b>			
ETJ Area	Charlotte		
Charlotte Historic District	Yes		
Charlotte 6/30/2011 Annexation Area	No		
Census Tract #	34		
<b>Post Construction District</b>			
Jurisdiction	Charlotte		
District	Central Catawba		
<b>Stream Watershed Districts</b>			
Stream Watershed Name	UPPER LITTLE SUGAR		
<b>Built-Up Area Restriction</b>			
Allowed Built-Up Area	0.00 sq ft		
<b>Water Quality Buffer</b>			
Parcel Inside Water Quality Buffer	No		
<b>FEMA and Community Floodplain</b>			
FEMA Panel#	3710454300K		
FEMA Panel Date	03/02/2009		
FEMA Flood Zone	OUT-VIEW FEMA FLOODPLAIN TO VERIFY		
Community Flood Zone	OUT-VIEW COMMUNITY FLOODPLAIN TO VERIFY		
<b>Situs Addresses Tied to Parcel</b>			
709 E TREMONT AV CHARLOTTE			



01/04/2016 from Mecklenburg County



12108603 001  
10/05/2000 from Mecklenburg County

- 74 FT DEEP
- 2300 SF. FOOT PRINT
- 18,6 AT HT FF - 1106E
- 4.9 AT HEAVEN SIDE WALK

Real Estate Lookup												
<b>Parcel Information</b>					<b>Account</b>		<b>Parent</b>		<b>Previous</b>			
Parcel ID	12108603			Account	INDIVIDUAL		Parent	Previous				
<b>Owner(s)</b>					<b>Mailing Address</b>		<b>City/State</b>					
Owner Name					709 E TREMONT AVE		CHARLOTTE NC 28203					
TURNER CAREY NICHOLAS ANDREW					709 E TREMONT AVE		CHARLOTTE NC 28203					
CAREY JEAN STEWART WIFE												
<b>Legal Information</b>					<b>Municipality</b>	<b>Date Annexed</b>	<b>Special District</b>	<b>Fire District</b>	<b>Acreage</b>			
Legal	L18 B70 M332-215			CHARLOTTE			CITY OF CHARLOTTE		0			
<b>Total Parcel Assessment</b>					<b>Building</b>	<b>Land</b>	<b>Features</b>	<b>Total</b>	<b>Exemptions</b>			
	181900	243700	0	425600								
<b>Sales Information</b>					<b>Sale</b>	<b>Price</b>	<b>Stamps</b>	<b>Qualify</b>	<b>VI</b>	<b>Type</b>	<b>Legal Ref.</b>	<b>Grantor</b>
	Apr 11 2014	600000	1200		IMP	WARRANTY D	29108-752			NORRIS, JACOB E		
	Aug 2 2013	481500	963		IMP	WARRANTY D	28588-221			FANALE, ANTHONY J		
	Oct 25 2006	538000	1076		IMP	WARRANTY D	21257-42			BARTON, STEVEN P		
	Apr 30 2001	272000			IMP	DEED STAMPS	12167-603			DALZELL, JEFFREY F C		
	Nov 6 1997	182500			IMP	DEED STAMPS	09342-102			KOZDRAS, MARGARET R		
<b>Land Use</b>					<b>Use</b>	<b>Units</b>	<b>Type</b>	<b>Neighborhood</b>	<b>Assessment</b>			
	R100	1		LT	M312		243700					
<b>Building Information</b>					<b>Bldg</b>	<b>Description</b>	<b>Type</b>	<b>Year</b>	<b>Property Location</b>			
	1	Single-Fam	RES	1925	709 E TREMONT AV CHARLOTTE							
<b>Bldg</b>	<b>Story</b>	<b>Units</b>	<b>Total SqFt</b>	<b>Heated SqFt</b>	<b>Foundation</b>	<b>Ext. Wall</b>	<b>Grade</b>	<b>Value</b>				
1	1.5 STORY	1	2584	2068	CRAWL SPACE	WOOD ON SHTG -	GOOD 05	181900				
<b>Bldg</b>	<b>Heat</b>	<b>Fuel</b>	<b>Fire Place</b>	<b>AC</b>	<b>Fixtures</b>	<b>Bedrooms</b>	<b>Full Baths</b>	<b>3/4 Baths</b>	<b>1/2 Baths</b>			
1	AIR-DUCTED	GAS	1 - FP2	AC-CENTRAL	0	3	2	0	0			
<b>Sub Area</b>					<b>Bldg</b>	<b>Description</b>	<b>Size</b>					
	1	PORCH - OPEN - FINISHED	140									
	1	UPPER STORY - FINISHED	280									
	1	WOOD DECK	376									
	1	BASE (FIRST FLOOR)	1788									
<b>Depreciation</b>					<b>Bldg</b>	<b>Physical</b>	<b>Functional</b>	<b>Economic</b>	<b>Special</b>	<b>Override</b>		
	1	AV - 11.00%	- 0.00%	TRAF - 5.00%	- 0.00%	- 0.00%						
<b>Special Features &amp; Yard Items</b>					<b>Bldg</b>	<b>Built</b>	<b>Type</b>	<b>Quantity</b>	<b>Units</b>	<b>Value</b>		
<b>Notes</b>					<b>Tax Year</b>	<b>Notes</b>	<b>Note Date</b>					
	2011	Informal Review Request Received				04/14/2011						
<b>Value Changes</b>					<b>Notice Date</b>	<b>Tax Year</b>	<b>Reason</b>	<b>Changed To</b>	<b>Deferred</b>			
	Feb 8 2011	2011	Countywide Revaluation		416900	0						
	Apr 27 2007	2007	Revised Notice		324700	0						
	Jun 20 2003	2003	Remodeled and/or New Addition		296400	0						
	Jun 20 2003	2003	Remodeled Improvements and/or New Additi		296400	0						
	Mar 21 2003	2003	Countywide Revaluation		298900	0						

MECKLENBURG COUNTY, North Carolina  
POLARIS 3G PARCEL OWNERSHIP AND GIS SUMMARY

Date Printed: 02/01/2018

Identity	
Parcel ID	GIS ID
12108602	12108602
Property Characteristics	
Legal desc	L19 B70 M332-214
Land Area	0.171 GIS Acres
Fire District	CITY OF CHARLOTTE
Special District	
Account Type	INDIVIDUAL
Municipality	CHARLOTTE
Property Use	SINGLE FAMILY RESIDENTIAL
Zoning	
Contact appropriate Planning Department or see Map.	
Water Quality Buffer	
Parcel Inside Water Quality Buffer	No
FEMA and Community Floodplain	
FEMA Panel#	3710454300K
FEMA Panel Date	03/02/2009
FEMA Flood Zone	OUT:VIEW FEMA FLOODPLAIN TO VERIFY
Community Flood Zone	OUT:VIEW COMMUNITY FLOODPLAIN TO VERIFY

Ownership		
Owner Name	Mailing Address	
BENJAMIN D CARUANA	705 E TREMONT AVENUE CHARLOTTE NC 28203	
MICAH L CARUANA	705 E TREMONT AVENUE CHARLOTTE NC 28203	
Deed Reference(s) and Sale Price		
Deed	Sale Date	Sale Price
30791-383	05/03/2016	\$550,000.00
07744-988	04/19/1994	\$162,000.00
Site Location		
ETJ Area	Charlotte	
Charlotte Historic District	Yes	
Charlotte 6/30/2011 Annexation Area	No	
Census Tract #	34	
Post Construction District		
Jurisdiction	Charlotte	
District	Central Catawba	
Stream Watershed Districts		
Stream Watershed Name	UPPER LITTLE SUGAR	
Built-Up Area Restriction		
Allowed Built-Up Area	0.00 sq ft	

Situs Addresses Tied to Parcel  
705 E TREMONT AV CHARLOTTE



01/04/2018 from Mecklenburg County



12108602.001

10/05/2000 from Mecklenburg County

- 44 FT. DEED
- 1200 SF FOOTPRINT
- 23.5 FT HT FF-PIVOT
- 4.8 FT HT FROM SIDEWALK



Real Estate Lookup

Print

Close

Parcel Information

Parcel ID	Account	Parent	Previous
12108602	INDIVIDUAL		

Owner(s)

Owner Name	Mailing Address	City/State
CARUANA BENJAMIN D	705 E TREMONT AVENUE	CHARLOTTE NC 28203
CARUANA MICAH L SPOUSE	705 E TREMONT AVENUE	CHARLOTTE NC 28203

Legal Information

Legal	Municipality	Date Annexed	Special District	Fire District	Acres
L19 B70 M332-214	CHARLOTTE			CITY OF CHARLOTTE	0

Total Parcel Assessment

Building	Land	Features	Total	Exemptions	Year Approved	Review Date	Amount
218900	270800	0	489700				

Sales Information

Sale	Price	Stamps	Qualify	VI	Type	Legal Ref.	Grantor
May 3 2016	550000	1100		IMP	WARRANTY D	30791-383	LUEDEMAN KEITH A
Apr 19 1994	162000			IMP	DEED STAMPS	07744-988	STARK MARCEL I

Land Use

Use	Units	Type	Neighborhood	Assessment
R100	1	LT	M312	270800

Building Information

Bldg	Description	Type	Year	Property Location
1	Single-Fam	RES	1925	705 E TREMONT AV CHARLOTTE

Bldg	Story	Units	Total SqFt	Heated SqFt	Foundation	Ext. Wall	Grade	Value
1	1.5 STORY	1	2758	2226	CRAWL SPACE	WOOD ON SHGT -	GOOD 06	218900

Bldg	Heat	Fuel	Fire Place	AC	Fixtures	Bedrooms	Full Baths	3/4 Baths	1/2 Baths
1	AIR-DUCTED	ELECTRIC	1 - FP4	AC-CENTRAL	0	3	2	0	1

Sub Area

Bldg	Description	Size
1	BASE (FIRST FLOOR)	1258
1	UPPER STORY - FINISHED	968
1	WOOD DECK	414
1	WOOD DECK	70
1	UTILITY - UNFINISHED	48

Depreciation

Bldg	Physical	Functional	Economic	Special	Override
1	AV - 1.00%	- 0.00%	TRAF - 5.00%	0.00%	- 0.00%

Special Features & Yard Items

Bldg	Built	Type	Quantity	Units	Value
------	-------	------	----------	-------	-------

Notes

Tax Year	Notes	Note Date
2011	Informal Review Request Received	04/14/2011

Value Changes

Notice Date	Tax Year	Reason	Changed To	Deferred
Feb 8 2011	2011	Countywide Revaluation	458700	0
Apr 27 2007	2007	Remodeled and/or New Addition	343300	0
Apr 27 2007	2007	Remodeled Improvements and/or New Additi	343300	0
Jun 20 2003	2003	Equalization of Value	319300	0
Jan 17 2003	2003	Countywide Revaluation	344300	0
Jan 5 1998	1998	Countywide Revaluation	228290	
Jan 2 1991	1991	Countywide Revaluation	131540	

POLARIS 3G PARCEL OWNERSHIP AND GIS SUMMARY

Date Printed: 02/01/2018

Identity		Ownership	
Parcel ID	GIS ID	Owner Name	Mailing Address
12108601	12108601	LESLIE SWINNEY BIVENS	701 E TREMONT AVE CHARLOTTE NC 28203-5337
Property Characteristics			
Legal desc	L20 B70 M332-214 & 215		
Land Area	0.176 GIS Acres		
Fire District	CITY OF CHARLOTTE		
Special District			
Account Type	INDIVIDUAL		
Municipality	CHARLOTTE		
Property Use	SINGLE FAMILY RESIDENTIAL		
Zoning			
Contact appropriate Planning Department or see Map.			
Water Quality Buffer			
Parcel Inside Water Quality Buffer	No		
FEMA and Community Floodplain			
FEMA Panel#	3710454300K		
FEMA Panel Date	03/02/2009		
FEMA Flood Zone	OUT:VIEW FEMA FLOODPLAIN TO VERIFY		
Community Flood Zone	OUT:VIEW COMMUNITY FLOODPLAIN TO VERIFY		
Sites Addresses Tied to Parcel			
701 E TREMONT AV CHARLOTTE			



- 45 FT DEEP
- 1000 SF FOOTPRINT
- 29.2 FT FR. RIDGE
- 7.2 FT FRAM SIDEWALK



Real Estate Lookup

Print

Close

Parcel Information

Parcel ID	Account	Parent	Previous
12108601	INDIVIDUAL		

Owner(s)

Owner Name	Mailing Address	City/State
BIVENS LESLIE SWINNEY	701 E TREMONT AVE	CHARLOTTE NC 28203-5337

Legal Information

Legal	Municipality	Date Annexed	Special District	Fire District	Acreege
L20 B70 M332-214 & 215	CHARLOTTE			CITY OF CHARLOTTE	0

Total Parcel Assessment

Building	Land	Features	Total	Exemptions	Year Approved	Review Date	Amount
166600	243700	0	410300				

Sales Information

Sale	Price	Stamps	Qualify	VI	Type	Legal Ref.	Grantor
Mar 24 2016			RELATED	IMP	QUIT CLAIM	30683-622	STAFFORD WILLIAM B
Mar 6 2009	0		LESS \$3000	IMP	WARRANTY D	24525-574	STAFFORD, WILLIAM B
Jun 3 1992	92000			IMP	DEED STAMPS	06899-373	

Land Use

Use	Units	Type	Neighborhood	Assessment
R100	1	LT	M312	243700

Building Information

Bldg	Description	Type	Year	Property Location
1	Single-Fam	RES	1925	701 E TREMONT AV CHARLOTTE

Bldg	Story	Units	Total SqFt	Heated SqFt	Foundation	Ext. Wall	Grade	Value
1	2.0 STORY	1	2672	2156	CRAWL SPACE	WOOD SHINGLE - ALUM,VINYL	GOOD 04	166600

Bldg	Heat	Fuel	Fire Place	AC	Fixtures	Bedrooms	Full Baths	3/4 Baths	1/2 Baths
1	AIR DUCTED	ELECTRIC	1 - FP3	AC-CENTRAL	0	4	2	0	0

Sub Area

Bldg	Description	Size
1	UPPER STORY - FINISHED	1048
1	BASE (FIRST FLOOR)	1108
1	PORCH - SCREENED - FINISHED	66
1	PORCH - OPEN - FINISHED	450

Depreciation

Bldg	Physical	Functional	Economic	Special	Override
1	AV - 16.00%	- 0.00%	TRAF - 5.00%	- 0.00%	- 0.00%

Special Features & Yard Items

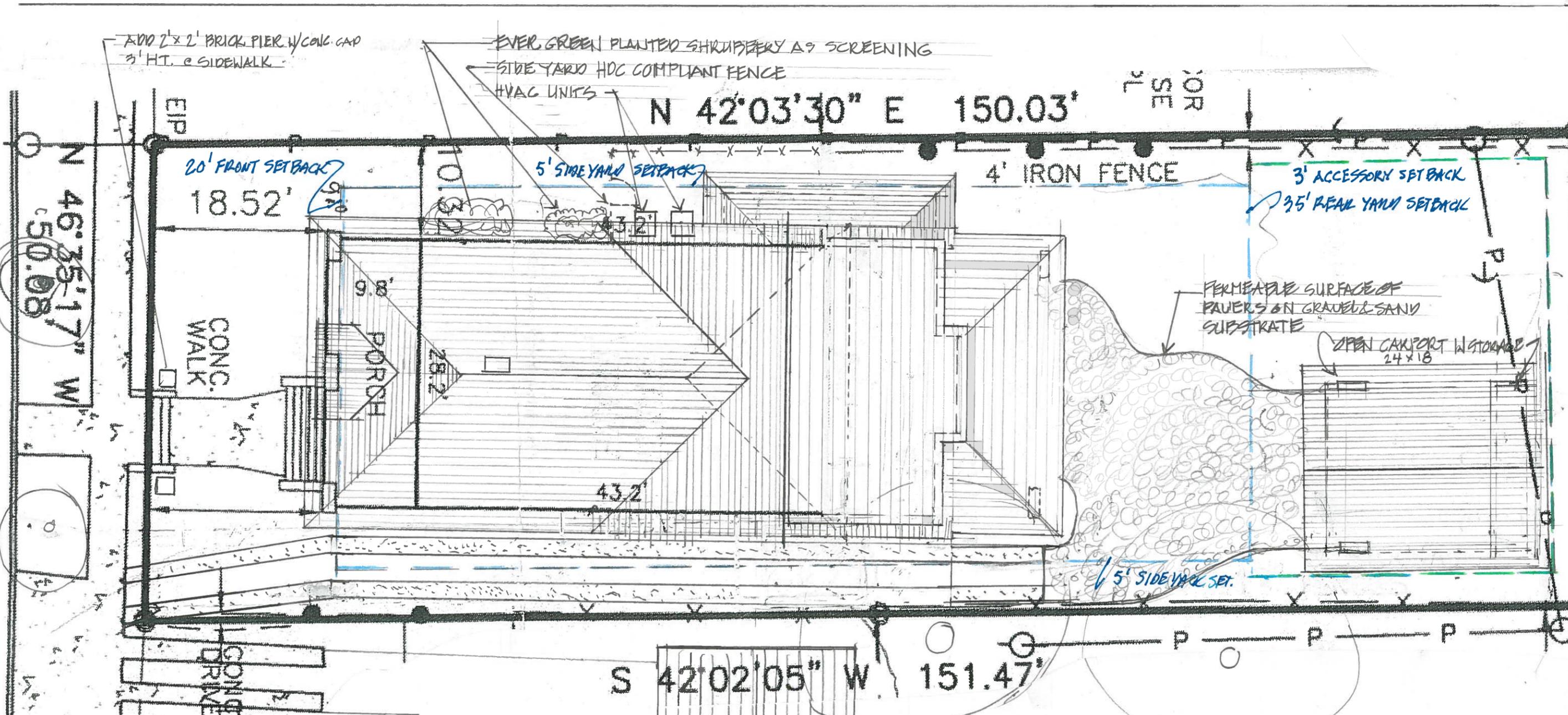
Bldg	Built	Type	Quantity	Units	Value
------	-------	------	----------	-------	-------

Notes

Tax Year	Notes	Note Date
----------	-------	-----------

Value Changes

Notice Date	Tax Year	Reason	Changed To	Deferred
Feb 8 2011	2011	Countywide Revaluation	440800	0
Jun 20 2003	2003	Equalization of Value	289700	0
Jan 17 2003	2003	Countywide Revaluation	314700	0
Jun 13 1998	1998	Reviewed - No change in value	201150	
Jan 5 1998	1998	Countywide Revaluation	201150	
Jul 10 1992	1992	Equalization of Value	106400	
Jan 2 1991	1991	Countywide Revaluation	122240	



ADD 2'x2' BRICK PIER W/ CONG. CAP  
3' HT. @ SIDEWALK

EVER GREEN PLANTED SHRUBBERY AS SCREENING  
SIDE YARD HDC COMPLIANT FENCE  
HVAC UNITS

FOR SE

N 46°35'17" W  
50.08'

20' FRONT SETBACK  
18.52'

5' SIDE YARD SETBACK

4' IRON FENCE

3' ACCESSORY SETBACK  
35' REAR YARD SETBACK

CONC. WALK

PORCH

28.2'

43.2'

PERMEABLE SURFACE OF  
PAVERS ON GRAVEL & SAND  
SUBSTRATE

OPEN CARPORT W/ STORAGE  
24x18

5' SIDE YARD SET.

S 42°02'05" W 151.47'

YARD AREA CALCULATIONS

EXIST. REAR YARD 18x50 = 900 - 50% = 450 #  
PROPOSED IMPERVIOUS IMPROVEMENTS  
HOUSE ADDITION - 864  
CARPORT - 432 = 1360' - 34.8% < 50%  
CARRIAGE STRIP PR. 64

**PROPOSED SITE PLAN**





**AB**  
architecture

ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704 503 9595

E-mail:  
brooks.alb@icloud.com  
feuer.alb@icloud.com



05 MAR 2018



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© 2018

Designed Exclusively For the:  
**EHMANN RESIDENCE**  
719 East Tremont Avenue, Charlotte, NC 28031

PROJECT # 11077  
ISSUED 05 MAR 2018  
REVISIONS:

**A-1.2**  
OF FOURTEEN

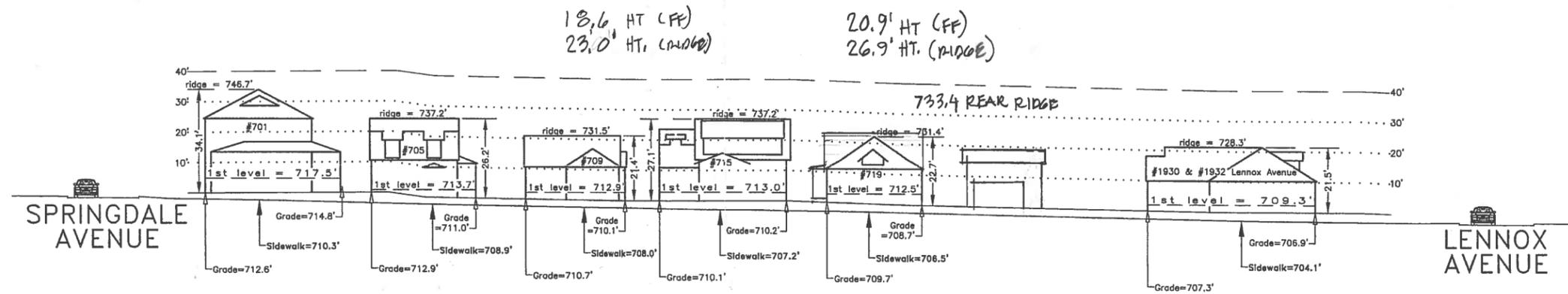
I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 17<sup>th</sup> day of October, 2017.



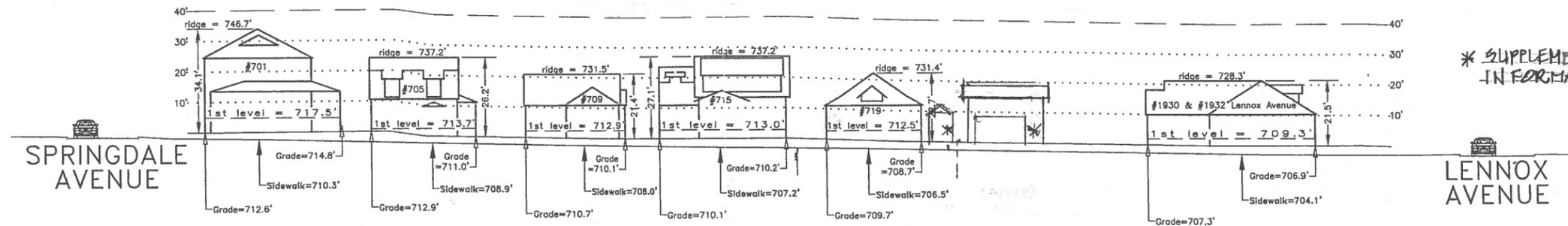
*Andrew G. Zoutewelle*  
 Andrew G. Zoutewelle  
 Professional Land Surveyor  
 NC License No. L-3098

NOTE: STILL REMAINS THE SECOND LOWEST RIDGE HEIGHT ON STREET FACE



**PROPOSED**

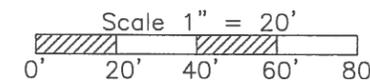
**EAST TREMONT AVENUE**



**EXISTING**

\* SUPPLEMENTAL INFORMATION

Copyright 2017  
 Building Heights Sketch of  
**700 BLOCK of EAST TREMONT AVENUE**  
 FACING NORTHEAST - ODD SIDE  
 CHARLOTTE, MECKLENBURG COUNTY, N.C.  
 for Charlotte-Mecklenburg Planning Department  
 October 6, 2017



**General Notes:**

1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rear yard or side yard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

**A-1.3**



05 MAR 2018



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Designed Exclusively For the:

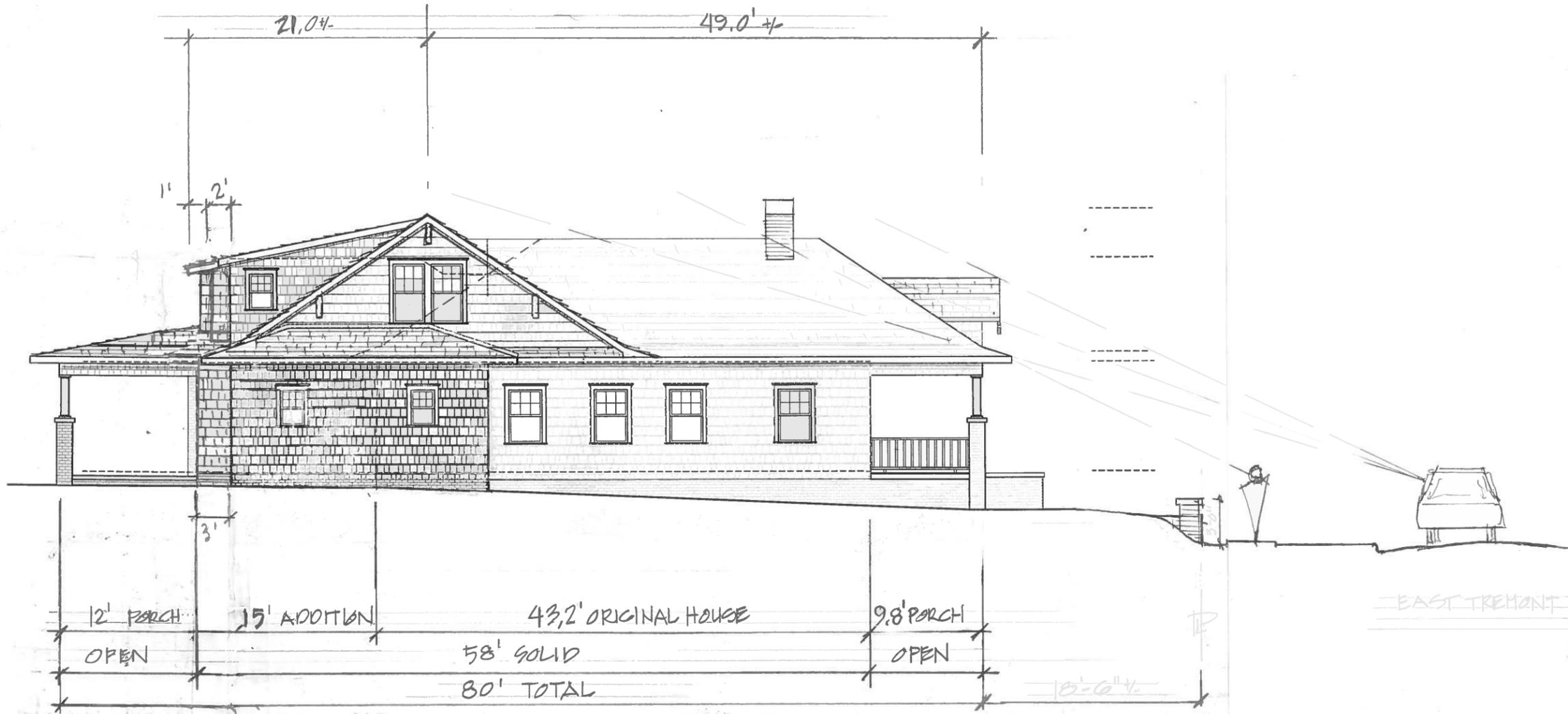
**EHMANN RESIDENCE**

719 East Tremont Avenue, Charlotte, NC 28031

PROJECT # 17077  
ISSUED 05 MAR 2018  
REVISIONS

**A-1.4**

OF FOURTEEN



COMPARISON TO MOST RELEVANT HOUSE ON STREET      SUBJECT

	709 E. TREMONT	719 E. TREMONT	PERCENTAGE
DEPTH OF HOUSE FRONT TO BACK	74'	80'	9.2 LONGER
FOOTPRINT OF HOUSE	2300' SQ.	2332' SQ.	0.99 LESS
SQ. OF OPEN PORCH FOOTPRINT	180' SQ. (ESTIMATE)	560' SQ.	311.0 MORE
SOLID SIDE WALL	74' / 66' (ESTIMATE)	58' / 58'	12% LESS
HEIGHT OF RIDGE FROM SIDEWALK	23.0'	26.9'	15% HIGHER (BUT 70' FROM SIDEWALK)

SALVAGE WINDOW SCHEDULE			
ID	SIZE	LOCATION	TYPE
SW1	4'-8" X 2'-4"	ROOM NAME	CASEMENT
SW2	4'-8" X 2'-4"	ROOM NAME	CASEMENT

NOTE:  
1. PROJECT SPECIFIC NOTES HERE

SALVAGE DOOR SCHEDULE		
NUM	OPENING	LOCATION
SD1	3'-0" X 8'-0"	MECHANICAL ROOM
SD2	3'-0" X 8'-0"	MECHANICAL ROOM

- GENERAL NOTES:**
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.
  - ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
  - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT.
  - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO BE 1'-0" U.N.O.
  - ALL FASCIAS TO BE 8".
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
    - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  - R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
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  - R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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**NOTE:**

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KEY  
WALL TO BE REMOVED   
ITEM TO BE REMOVED 



② EXISTING FRONT ELEVATION  
1/4" = 1'-0"



① PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

SALVAGE WINDOW SCHEDULE			
ID	SIZE	LOCATION	TYPE
SW1	4'-6" X 2'-4"	ROOM NAME	CASEMENT
SW2	4'-6" X 2'-4"	ROOM NAME	CASEMENT

NOTE:  
1. PROJECT SPECIFIC NOTES HERE

SALVAGE DOOR SCHEDULE		
NUM	OPENING	LOCATION
SD1	3'-0" X 8'-0"	MECHANICAL ROOM
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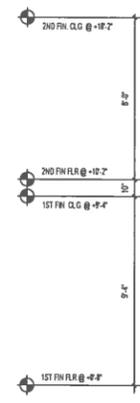
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- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING & GUARD NOTES:**

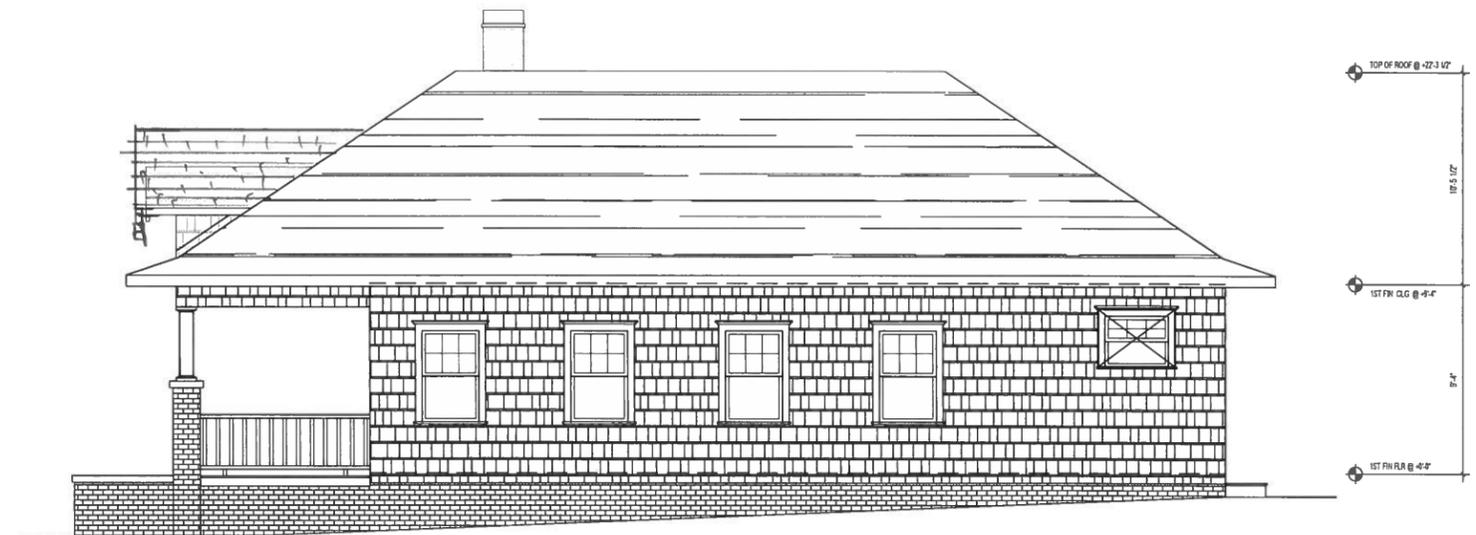
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- R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED



1 EXISTING RIGHT ELEVATION  
1/4" = 1'-0"



1 PROPOSED RIGHT ELEVATION  
1/4" = 1'-0"

Designed Exclusively For the:  
**EHMANN RESIDENCE**  
719 East Tremont Avenue, Charlotte, NC 28031

PROJECT #: 17077  
ISSUED: 05 MAR 2018  
REVISIONS:

EXISTING AND PROPOSED  
RIGHT ELEVATION

**A-3.1**

OF FOURTEEN

SALVAGE WINDOW SCHEDULE			
ID	SIZE	LOCATION	TYPE
SW1	4'-8" X 2'-4"	ROOM NAME	CASEMENT
SW2	4'-8" X 2'-4"	ROOM NAME	CASEMENT

NOTE:  
1. PROJECT SPECIFIC NOTES HERE

SALVAGE DOOR SCHEDULE		
NUM	OPENING	LOCATION
SD1	7'-0" X 8'-0"	MECHANICAL ROOM
SD2	7'-0" X 8'-0"	MECHANICAL ROOM

**GENERAL NOTES:**

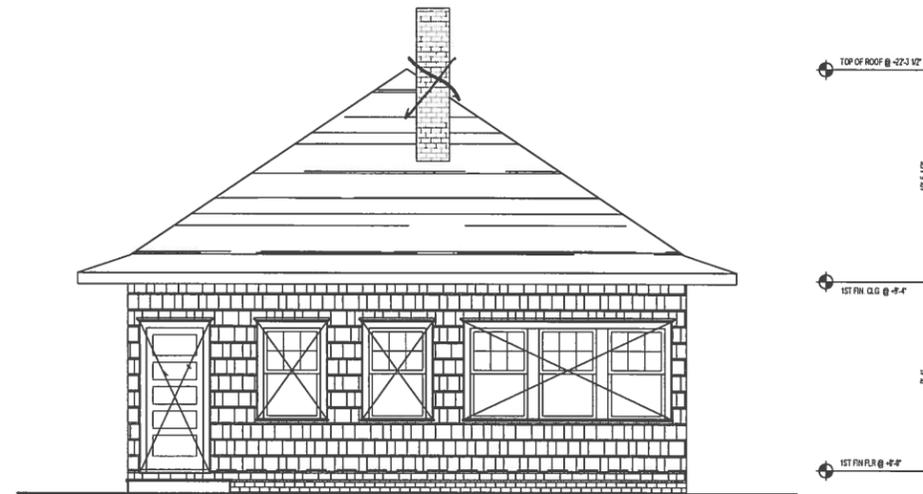
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- RAILS TO BE 38" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
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KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED



② EXISTING REAR ELEVATION  
1/4" = 1'-0"

ARCHITECTURAL COMP. SHINGLES  
1X6 WOOD FASCIA W/ SHINGLE HOULD  
CEDAR SHINGLES TO MATCH EXISTING  
WOOD STDL WINDOWS TO MATCH EXIST, SIZE & CONFIGURATION  
MATCH DETAIL OF REAR PORCH TO FRONT PORCH  
MATCH HALF COLUMNS & BRICK BASE TO EXISTING FRONT PORCH  
BRICK PORCH FLOOR

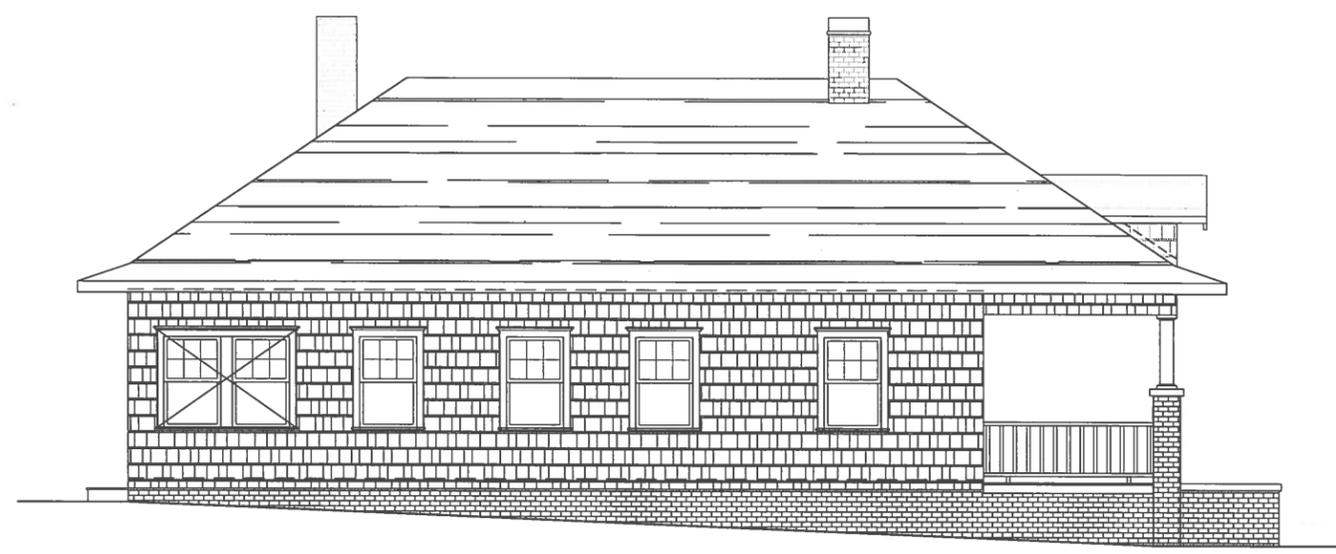


① PROPOSED REAR ELEVATION  
1/4" = 1'-0"

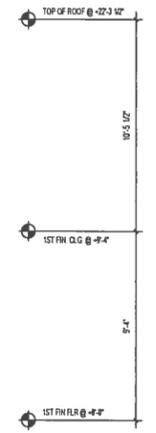
REAR ADDITION 28.2'  
5.0' SIDE ADDITION

Designed Exclusively For the:  
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719 East Tremont Avenue, Charlotte, NC 28031

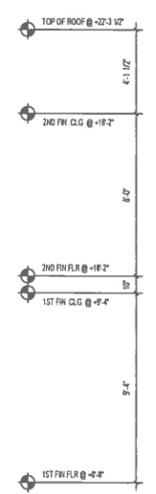
PROJECT #: 17077  
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REVISIONS:



② EXISTING LEFT ELEVATION  
1/4" = 1'-0"



① PROPOSED LEFT ELEVATION  
1/4" = 1'-0"



- GENERAL NOTES:**
1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
  2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
  6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
  7. ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
  8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
  10. ALL RISERS TO BE SOLID.
  11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  12. RAILS TO BE 36" IN HEIGHT.
  13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
  15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  16. ALL EAVES TO BE 1'-0" U.N.O.
  17. ALL FASCIAS TO BE 8".
  18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  19. CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
    - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
    - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
  3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
  4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
  5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
  6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
    - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
  7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
    - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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KEY:  
WALL TO BE REMOVED [XXXXXX]  
ITEM TO BE REMOVED [X]

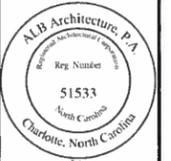
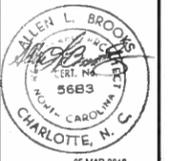
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**EHMANN RESIDENCE**  
719 East Tremont Avenue, Charlotte, NC 28031

PROJECT #: 17077  
ISSUED: 05 MAR 2018  
REVISIONS:

EXISTING AND PROPOSED LEFT ELEVATION  
**A-3.3**  
OF: FOURTEEN



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 719 East Tremont Avenue, Charlotte, NC 28031

PROJECT # 17077  
 ISSUED: 05 MAR 2018  
 REVISIONS:

EXISTING 1ST FLOOR PLAN

**A-2.1**  
 OF FOURTEEN

SALVAGE WINDOW SCHEDULE			
ID	SIZE	LOCATION	TYPE
SW1	4'-8" X 2'-4"	ROOM NAME	CASEMENT
SW2	4'-8" X 2'-4"	ROOM NAME	CASEMENT

NOTE:  
 1. PROJECT SPECIFIC NOTES HERE

SALVAGE DOOR SCHEDULE		
ID	OPENING	LOCATION
SD1	3'-0" x 8'-0"	MECHANICAL ROOM
SD2	3'-0" x 8'-0"	MECHANICAL ROOM

**GENERAL NOTES:**

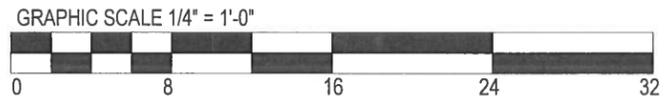
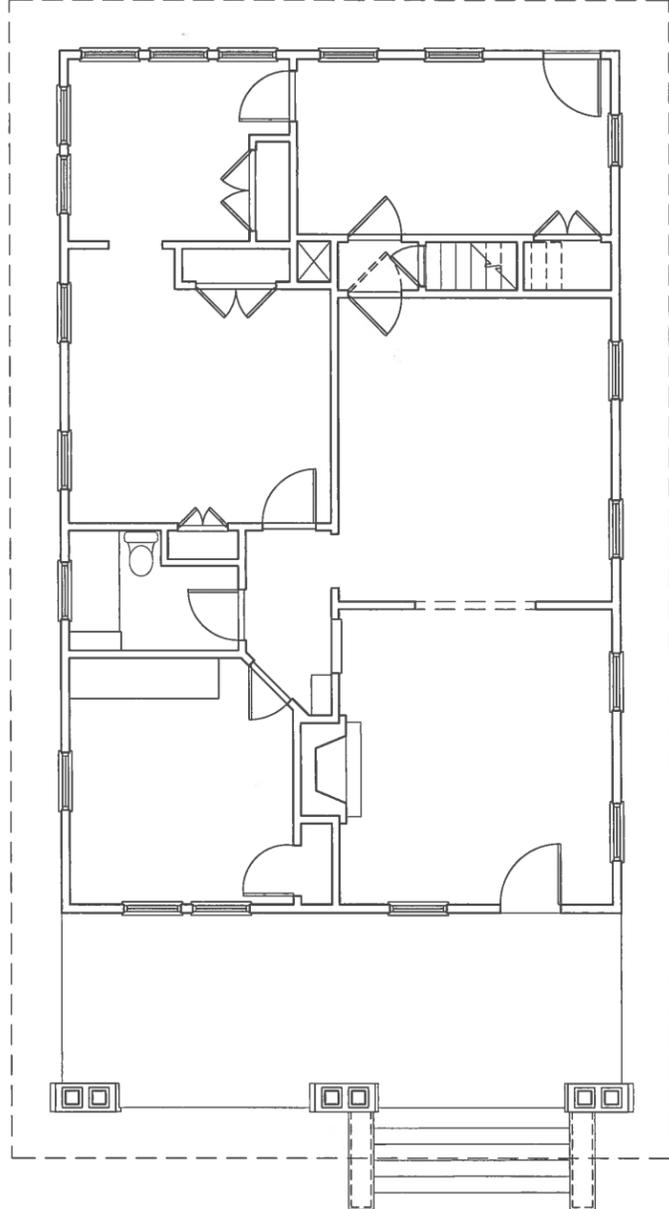
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**STAIRS, RAILING & GUARD NOTES:**

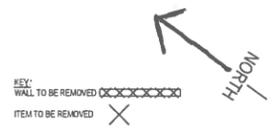
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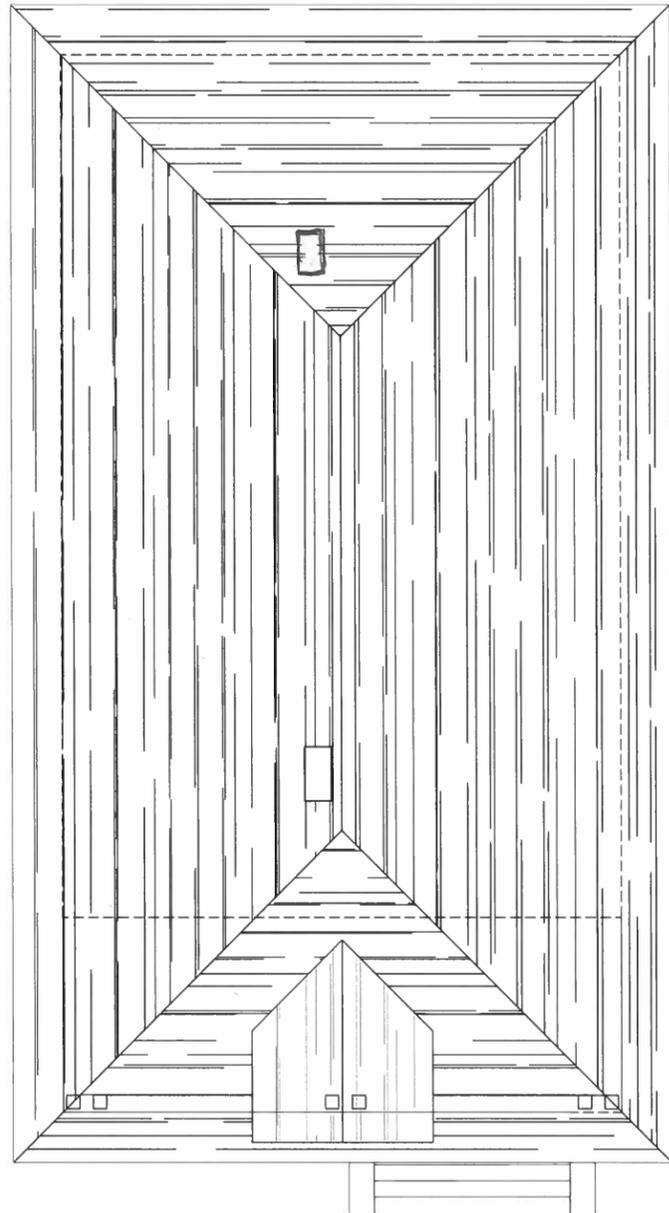
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1 EXISTING FIRST FLOOR PLAN  
 1/4" = 1'-0"





SALVAGE WINDOW SCHEDULE			
ID	SIZE	LOCATION	TYPE
SW1	4'-8" X 2'-4"	ROOM NAME	CASEMENT
SW2	4'-8" X 2'-4"	ROOM NAME	CASEMENT

NOTE:  
1. PROJECT SPECIFIC NOTES HERE

SALVAGE DOOR SCHEDULE		
NUM	OPENING	LOCATION
SD1	2'-0" x 8'-0"	MECHANICAL ROOM
SD2	2'-0" x 8'-0"	MECHANICAL ROOM

**GENERAL NOTES:**

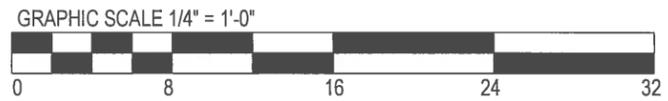
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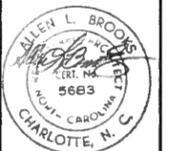


1 EXISTING ROOF PLAN  
1/4" = 1'-0"

KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED



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EXISTING ROOF PLAN  
**A-2.2**  
OF: FOURTEEN