



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMA-2017-00742 DATE: September 11, 2018

ADDRESS OF PROPERTY: 601 West Kingston Avenue and 600-610 West Boulevard (North Site)

HISTORIC DISTRICT: Wilmore TAX PARCEL NUMBERS: 11907207 and 11907208

OWNER(S): James Scruggs, 601 Kingston LLC APPLICANT: Charles McClure

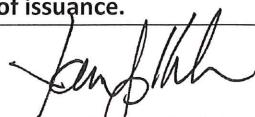
DETAILS OF APPROVED PROJECT: The project is the new construction of multi-family buildings on the subject parcels. Building heights vary depending on topography. Primary materials are brick and stone. Detail materials are wood clad windows, metal balcony railings and wood trim garage doors. Non-traditional fiber cement material is approved for use on the second floor balconies with a ¾" profile. Walkway location reflects the ROW setback required by NCDOT. The approval waives the 365-Day Stay of Demolition on the subject properties.

This COA does not include the demolition of any multi-family buildings or new construction of townhomes on the south side of West Boulevard.

The project was approved by the HDC March 14, 2018.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.



Jim Haden, Chairman



Staff



KINGSTON ON WEST CHARLOTTE, NC • SITE PLAN NORTH

PN 1017051 | 12.20.2017

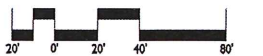


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Charlotte
Historic District
Commission

Certificate of Appropriateness

#HDCRMA-2017-00742



LandDesign.

DEVELOPMENT SUMMARY:

PID #: 11907207
KINGSTON APARTMENTS LLC
DB 18155 PG 329

EXISTING PARCEL SIZE: ±17,976 SF
±0.41 ACRES

FUTURE R/W SIZE: ±0.07 ACRES

PROPOSED SITE SIZE: ±0.34 ACRES

DIMENSIONAL REQUIREMENT: FRONT YARD: 20 FEET
SIDE YARD: 5 FEET
REAR YARD: 20 FEET

JURISDICTION: CITY OF CHARLOTTE

EXISTING ZONING: R-22MF

EXISTING LAND USE: MULTI-FAMILY

PROPOSED PRINCIPAL USE: TOWNHOMES

PROPOSED GROSS FLOOR AREA: ±3,415 SQUARE FEET

ALLOWABLE DENSITY CALCULATION: (22 UNITS/ACRE X 0.34 ACRES) = 7.48 DUA

PROPOSED DENSITY CALCULATION: (4 UNITS / 0.34 ACRES) = 1.36 DUA

MAXIMUM BUILDING HEIGHT: 40 FEET

PARKING CALCULATIONS:

VEHICULAR PARKING REQUIRED: 1.5 SPACES PER UNIT

VEHICULAR PARKING PROVIDED: 2 SPACES PER UNIT

TREE SAVE REQUIREMENTS:

TREE SAVE REQUIRED: NONE REQUIRED

OPEN SPACE REQUIREMENTS:

OPEN SPACE REQUIRED: 40%

OPEN SPACE PROVIDED: 53%

TRAFFIC CONTROL NOTE:

1. CONTRACTOR IS TO UTILIZE CDOT W.A.T.C.H. DURING CONSTRUCTION WITHIN THE RIGHT OF WAY.

DEVELOPMENT SUMMARY:

PID #: 11907208
KINGSTON APARTMENTS LLC
DB 18155 PG 242

EXISTING PARCEL SIZE: ±11,885 SF
±0.27 ACRES

DIMENSIONAL REQUIREMENT: FRONT YARD: 20 FEET
SIDE YARD: 5 FEET
REAR YARD: 20 FEET

JURISDICTION: CITY OF CHARLOTTE

EXISTING ZONING: R-22MF

EXISTING LAND USE: MULTI-FAMILY

PROPOSED PRINCIPAL USE: TOWNHOMES

PROPOSED GROSS FLOOR AREA: ±3,860 SQUARE FEET

ALLOWABLE DENSITY CALCULATION: (22 UNITS/ACRE X 0.27 ACRES) = 5.94 DUA

DENSITY CALCULATION: (4 UNITS / 0.27 ACRES) = 1.08 DUA

MAXIMUM BUILDING HEIGHT: 40 FEET

PARKING CALCULATIONS:

VEHICULAR PARKING REQUIRED: 1.5 SPACES PER UNIT

VEHICULAR PARKING PROVIDED: 2 SPACES PER UNIT

TREE SAVE REQUIREMENTS:

TREE SAVE REQUIRED: NONE REQUIRED

URBAN OPEN SPACE REQUIREMENTS:

OPEN SPACE REQUIRED: 40%

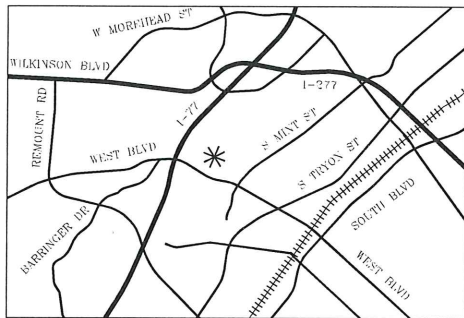
OPEN SPACE PROVIDED: 42%

TRAFFIC CONTROL NOTE:

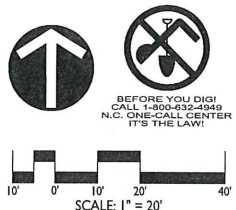
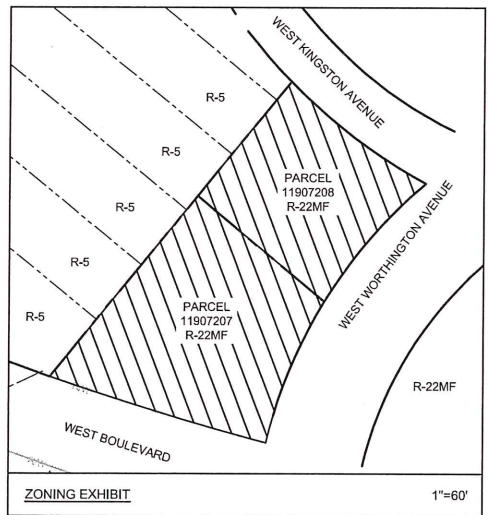
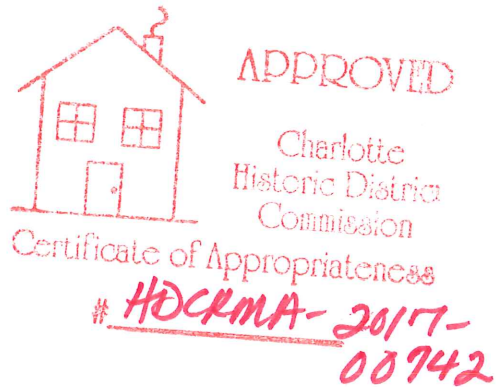
1. CONTRACTOR IS TO UTILIZE CDOT W.A.T.C.H. DURING CONSTRUCTION WITHIN THE RIGHT OF WAY.

GENERAL NOTES:

1. SITE SURVEY INFORMATION PROVIDED BY:
R.B. PHARR & ASSOCIATES, P.A.
DATED AUGUST 8, 2017



VICINITY MAP
NTS



KINGSTON ON WEST (NORTH)
TOWNHOMES
Charlotte, NC | KINGSTON APARTMENTS, LLC
SITE PLAN

REVISIONS:

DATE: DEC 2017
DESIGNED BY: A1B
CHECKED BY: A1B
O.C. BY: JPH
SCALE: 1" = 20'
PROJECT #077051

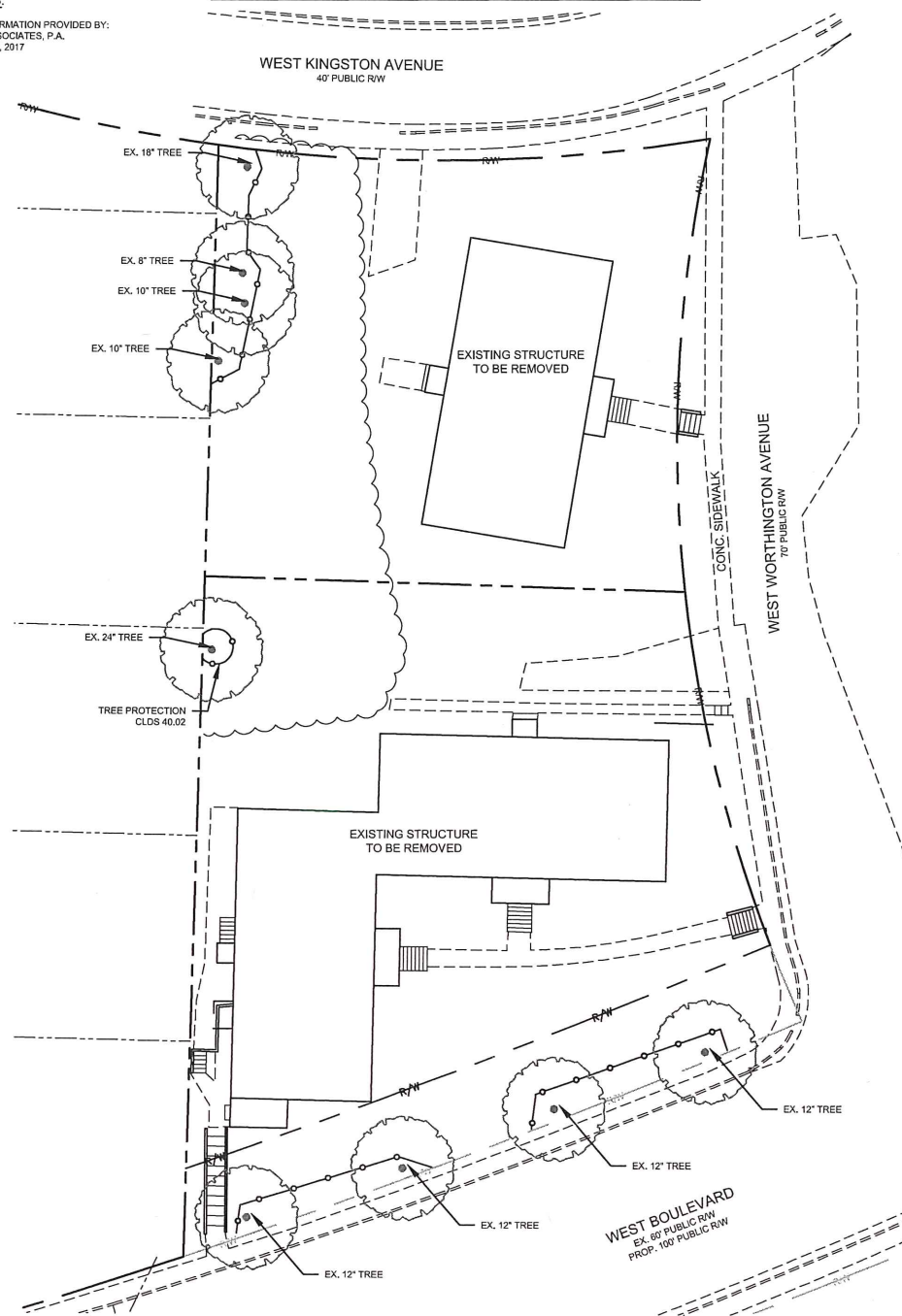
SHEET #:
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LandDesign
223 N Graham Street, Charlotte, NC 28202
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www.LandDesign.com
NC Firm License # C-0653

GENERAL NOTES:
1. SITE SURVEY INFORMATION PROVIDED BY:
R.B. PHARR & ASSOCIATES, P.A.
DATED AUGUST 8, 2017

TREE PROTECTION AND REMOVAL EXHIBIT



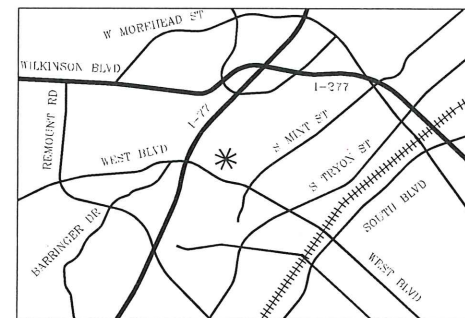
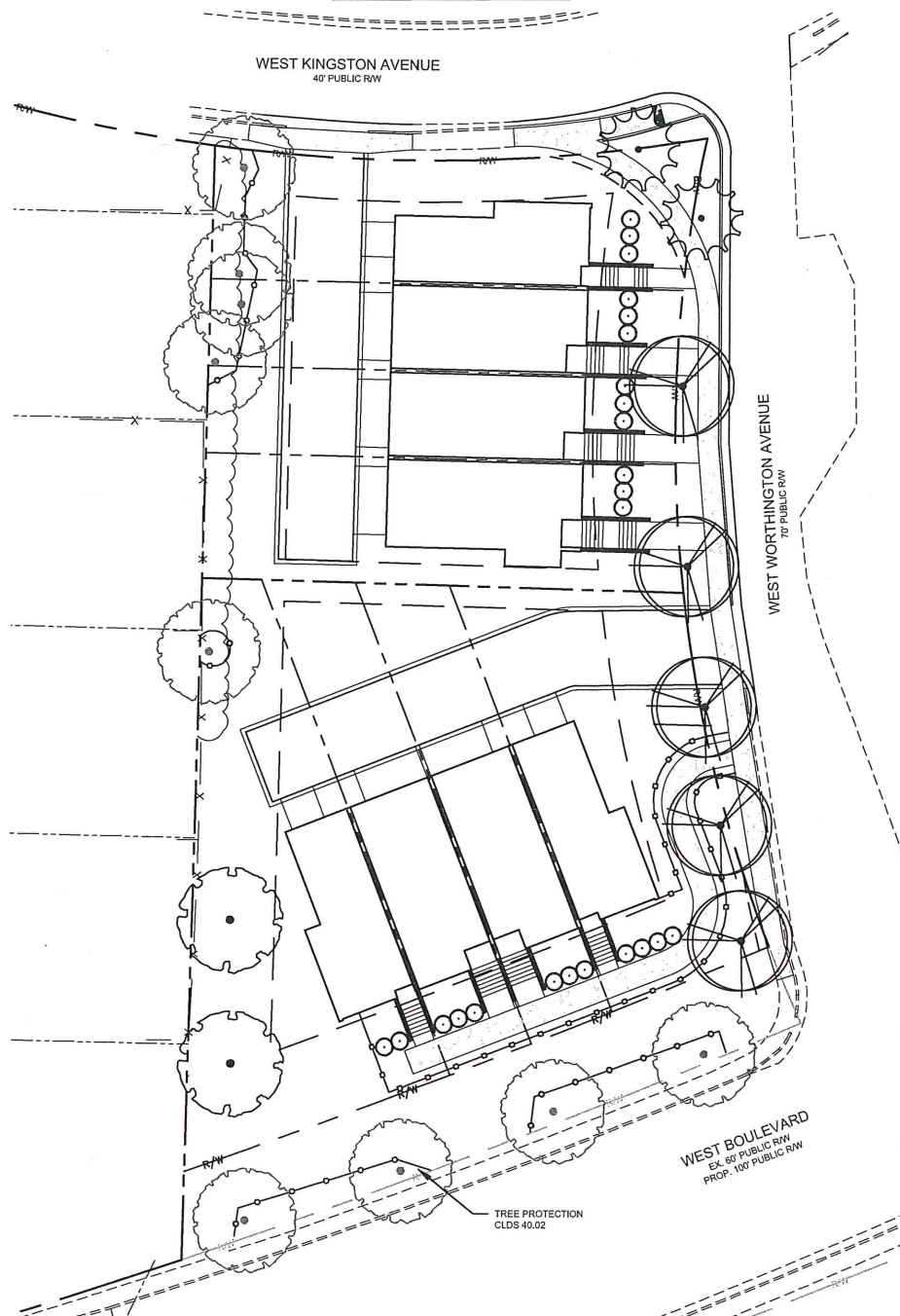
LEGEND

PROPOSED TREE PROTECTION CLDS 40.02

EXISTING TREE TO BE PROTECTED

EXISTING TREE TO BE REMOVED

LANDSCAPE EXHIBIT



VICINITY MAP
NTS

LEGEND

PROPOSED TREE PROTECTION CLDS 40.02

EXISTING TREE TO BE PROTECTED

PROPOSED STREET TREE

PROPOSED INTERNAL TREE



HDCRMA-2017-00742

INTERNAL TREES

| | |
|-------------------------|-----------------------------------|
| REQUIREMENT | 1 TREE / 10,000SF IMPERVIOUS |
| INTERNAL TREES REQUIRED | 14,129.67 SF IMPERVIOUS = 2 TREES |
| INTERNAL TREES PROVIDED | 2 TREES |

PERIMETER PLANTING REQUIREMENTS

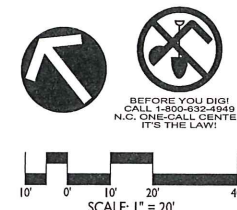
| | |
|--|-------------------------------------|
| PERIMETER TREES | |
| PERIMETER TREES REQUIRED (1 TREE PER 40 LF FRONTAGE - LARGE MATURING) | ±500 LF FRONTAGE / 40 LF = 13 TREES |
| PERIMETER TREES PROVIDED | 13 TOTAL TREES |

STREET TREE CALCULATIONS

| | |
|--------------------------|--|
| WEST BLVD. | |
| PERIMETER TREES REQUIRED | ±177LF @ 40' o.c. = 4 LARGE MATURING TREES |
| PERIMETER TREES PROVIDED | 4 EXISTING TREES @ 40' O.C. |
| WEST WORTHINGTON AVE. | |
| PERIMETER TREES REQUIRED | ±200LF @ 40' o.c. = 5 LARGE MATURING TREES |
| PERIMETER TREES PROVIDED | 6 PROPOSED TREES @ 40' O.C. |
| WEST KINGSTON AVE. | |
| PERIMETER TREES REQUIRED | ±123LF @ 40' o.c. = 3 LARGE MATURING TREES |
| PERIMETER TREES PROVIDED | 3 PROPOSED TREES @ 40' O.C. |

PLANT SCHEDULE

| TREES | BOTANICAL NAME / COMMON NAME | MIN. CONT. | MIN. CAL. | MIN. HT. | QTY | REMARKS |
|--------|--|------------|-----------|------------|-----|---------------------------------|
| | Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry | B & B | 2" cal. | 8'-10' ht. | 2 | |
| | Liquidambar styraciflua 'Rotundiloba' / Fruitless Sweet Gum | B & B | 3" cal | 12'-14' | 2 | MATCH SPECIMEN, STRAIGHT LEADER |
| | Quercus phellos 'Hightower' / Willow Oak | B & B | 3" cal | 12'-14' | 5 | MATCH SPECIMEN, STRAIGHT LEADER |
| SHRUBS | BOTANICAL NAME / COMMON NAME | MIN. CONT. | MIN. HT. | SPACING | QTY | REMARKS |
| | Ilex glabra 'Densa' / Inkberry Holly | 5 gal | 4' ht. | 5' o.c. | 24 | Match Specimen, Full to Ground |



REVISIONS:

DATE: DEC 2017
DESIGNED BY: ATB
CHECKED BY: JPH
O.C. BY: JPH
SCALE: 1" = 20'
PROJECT #07051

SHEET #:

HDCI.I

KINGSTON ON WEST (NORTH)

TOWNHOMES

Charlotte, NC | KINGSTON APARTMENTS, LLC

LANDSCAPING & PLANTING PLAN

LandDesign

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NC Firm License # C0653





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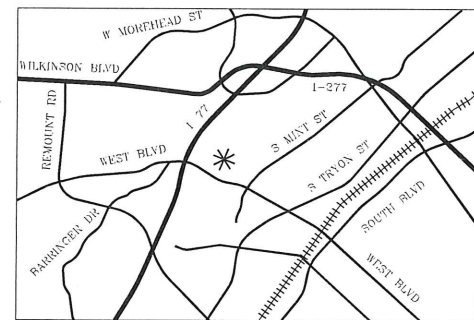
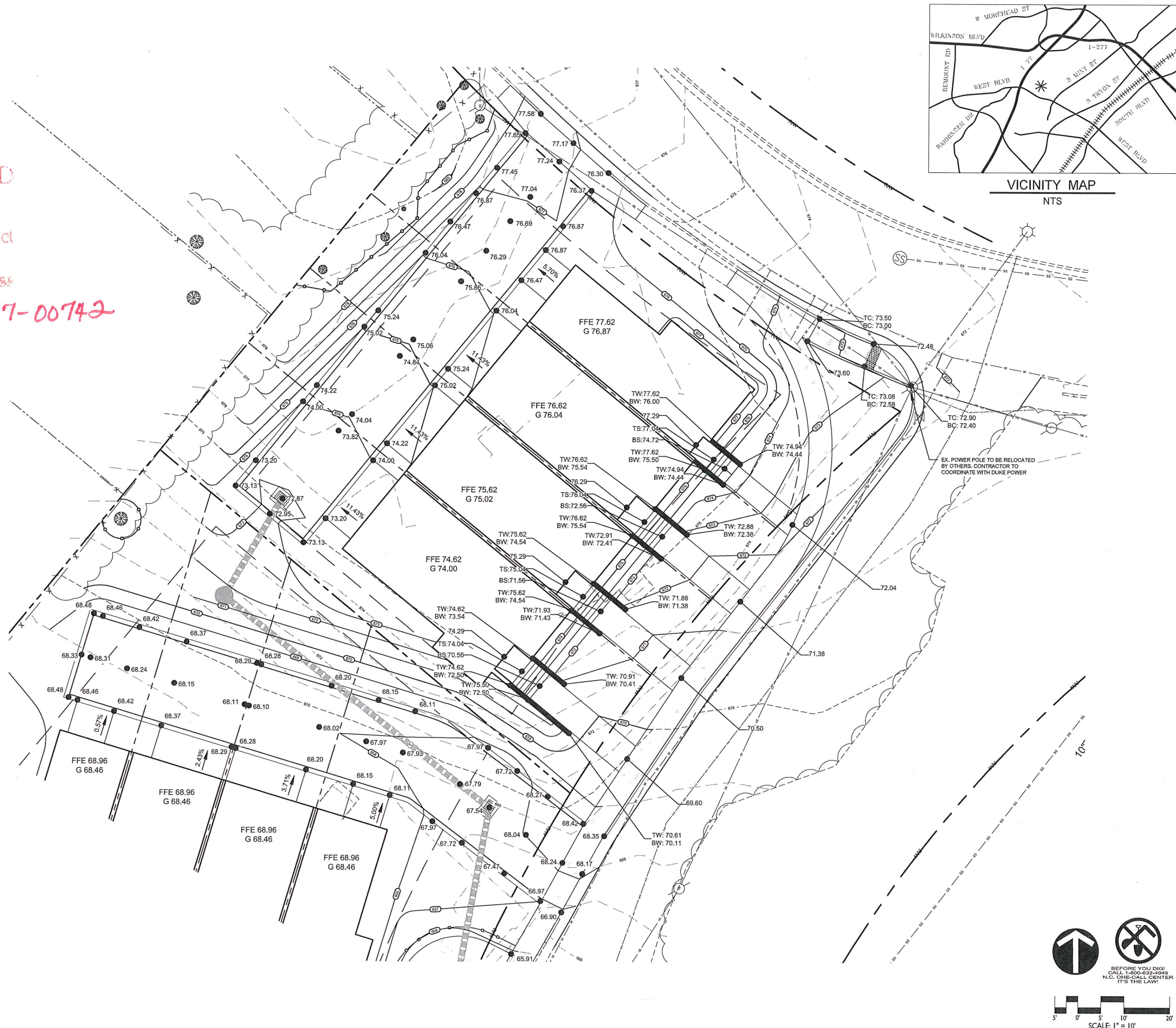
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GRADING NOTES:

- EXISTING GRADES SHOWN ON THIS PLAN REFLECT GRADING COMPLETED PRIOR TO CONSTRUCTION. THESE GRADES DO NOT REFLECT SURVEYED TOPOGRAPHIC CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADEQUATELY UNDERSTAND EXISTING CONDITIONS PRIOR TO SITE WORK COMMENCING.
- REFER TO GEOTECHNICAL ENGINEER AND GEOTECHNICAL REPORT FOR STRUCTURAL MATERIAL, DEEP FILLS, EXCAVATION, AND COMPACTION.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5 % SLOPE ON THE CURB.
- CURB & GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED ON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED ON FIELD CONDITIONS.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
- ALL PROPOSED BUILDING SPOTS ARE REFERENCED OUTSIDE BUILDING ELEVATION AT PROPOSED GRADE.
- NEW FINISHED CONTOURS SHOWN ARE TOP OF PAVING IN AREAS TO RECEIVE PAVEMENT AND TOP OF TOPSOIL IN AREAS TO BE SEEDED.
- DIMENSIONS AND ELEVATIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT FOOTINGS.
- EARTHWORK CONTRACTORS SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.
- EARTHWORK CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO ENSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.
- THE EARTHWORK CONTRACTOR SHALL USE WHATEVER MEASURES ARE REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL EROSION SEDIMENT AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL STRUCTURES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND NOT BEFORE ALL AREAS DRAINING INTO THESE STRUCTURES ARE SUFFICIENTLY STABILIZED.
- FOR ANY WORK ON THE STATE OR CITY RIGHT-OF-WAY, THE GRADING CONTRACTOR SHALL:
 - NOT STORE MATERIAL, EXCESS DIRT OR EQUIPMENT IN THE RIGHT-OF-WAY IN CASE OF MULTILANE HIGHWAYS. THE PAVEMENT SHALL BE KEPT FREE FROM ANY MUD OR EXCAVATION WASTE FROM TRUCKS OR OTHER EQUIPMENT. UPON COMPLETION OF THE WORK ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE RIGHT-OF-WAY.
 - PROVIDE ALL NECESSARY AND ADEQUATE SAFETY PRECAUTIONS SUCH AS SIGNS, FLAGS, LIGHT BARRICADES AND FLAGMEN AS REQUIRED BY THE LOCAL AUTHORITIES AND IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. THE GRADING CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HOLD HARMLESS THE CITY OF CHARLOTTE, THE STATE OF NORTH CAROLINA, THE ARCHITECT/ENGINEER, AND THE OWNER FROM ANY CLAIMS FOR DAMAGE DONE TO EXISTING PRIVATE PROPERTY, PUBLIC UTILITIES, OR TO THE TRAVELING PUBLIC.
 - COMPLETE WORK TO THE SATISFACTION OF THE CHARLOTTE MECKLENBURG UTILITIES DEPARTMENT (CMUD) AND OBTAIN A LETTER FROM THE DEPARTMENT STATING THAT THE WORK IS ACCEPTABLE.
- EARTHWORK CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING, OR BY OTHER METHODS AS DIRECTED BY ENGINEER AND/OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO OWNER.
- EARTHWORK CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL SEDIMENT CONTROL AND AIR POLLUTION ORDINANCES OR RULES.
- CONTRACTOR SHALL IMPORT SUFFICIENT MATERIAL TO COMPLETE WORK AT NO ADDITIONAL COST, IN THE EVENT OF A SHORTAGE OF STRUCTURAL FILL.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- THE DEVELOPER SHALL CONTACT CDOT (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- REFER TO SHEETS C-3.1 AND C-3.2 FOR SPOT ELEVATIONS.
- ALL FILL TO BE COMPACTED TO 98% A.A.S.H.T.O. STANDARD COMPACTION UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK WHICH MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BREAKING GROUND.



VICINITY MAP
NTS



KINGSTON ON WEST
TOWNHOMES
Charlotte, NC | KINGSTON APARTMENTS, LLC
GRADING PLAN

REVISIONS:

DATE: FEB 2018
DESIGNED BY: JTB
DRAWN BY: JTB
CHECKED BY: JTB
O.C. BY: JTB
PROJECT #1017051
SHEET #

C-3.1

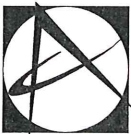
GENERAL NOTES: SEE WALL SECTION & ENLARGED PARTIAL
ELEVATIONS FOR BRICK VENEER, BRICK MOULD AT WINDOWS & DOORS,
& GFRC



MARCH - WEST BLVD. REAR ELEVATION - N. SITE



MARCH - WEST BLVD. FRONT ELEVATION - N. SITE



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www.mnmarchitects.com

KINGSTON ON WEST
CHARLOTTE, NORTH CAROLINA

SCHEMATICS
SCALE: 1/4" = 1'

MARCH 2018

PRE-FINISH
COLLECTION

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Commission

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GENERAL NOTES: SEE WALL SECTION & ENLARGED PARTIAL ELEVATIONS FOR BRICK VENEER, BRICK MOULD AT WINDOWS & DOORS, & GFRC

MARCH - W. WORTHINGTON REAR ELEVATION - N. SITE



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MARCH - W. WORTHINGTON FRONT ELEVATION - N. SITE



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**KINGSTON ON WEST
CHARLOTTE, NORTH CAROLINA**

SCHEMATICS
SCALE: $\frac{1}{4}" = 1'$

MARCH 2018



MARCH - W. WORTHINGTON SIDE ELEVATION - N.SITE

GENERAL NOTES: SEE WALL SECTION & ENLARGED PARTIAL ELEVATIONS FOR BRICK VENEER, BRICK MOULD AT WINDOWS & DOORS, & GFR



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MARCH - W. WORTHINGTON SIDE ELEVATION - N. SITE



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**KINGSTON ON WEST
CHARLOTTE, NORTH CAROLINA**

SCHEMATICS
SCALE: 1/4" = 1'

MARCH 2018

KINGSTON ON WEST
CHARLOTTE, NORTH CAROLINA

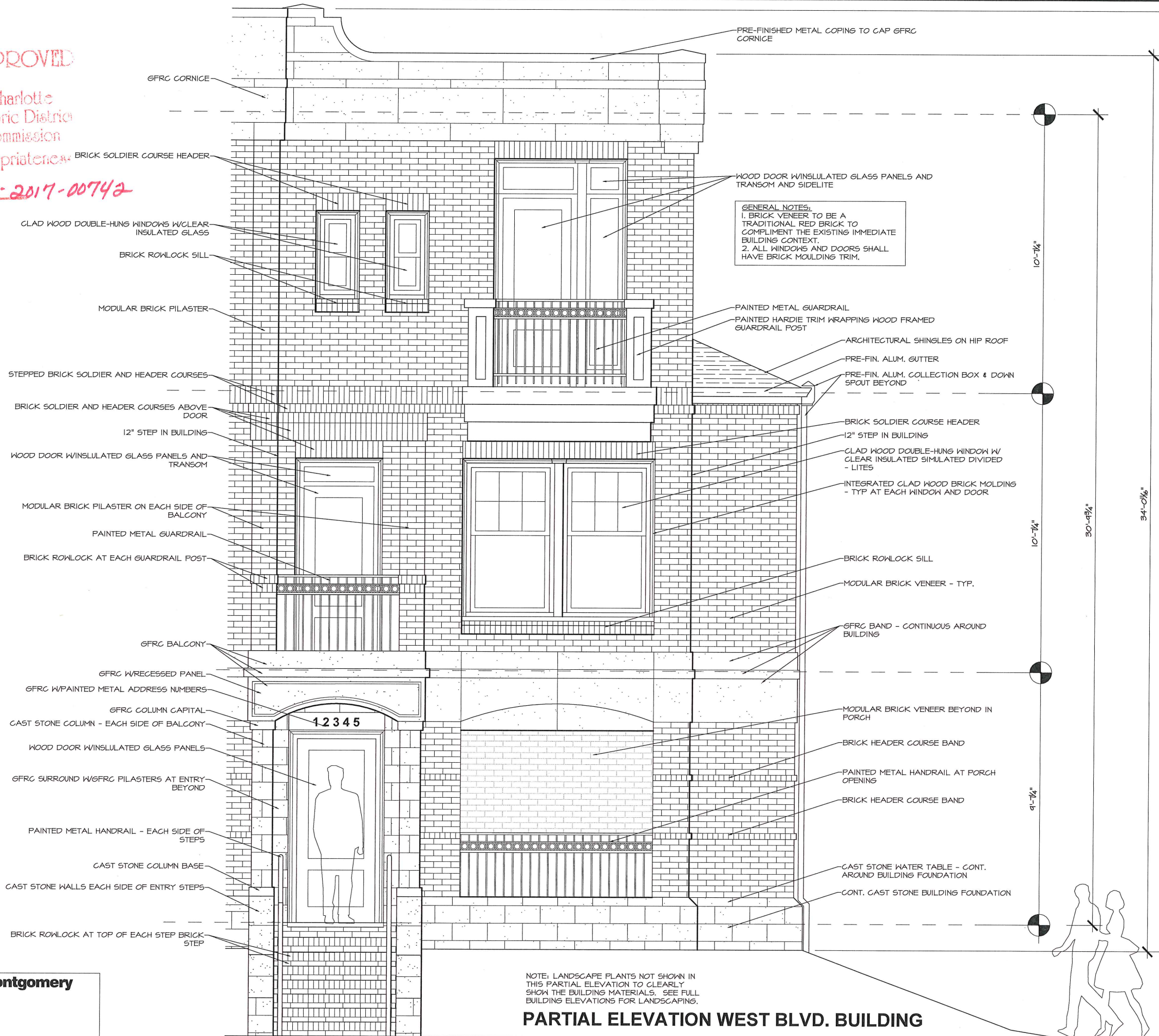


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3.14.2018

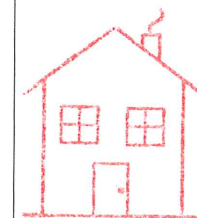
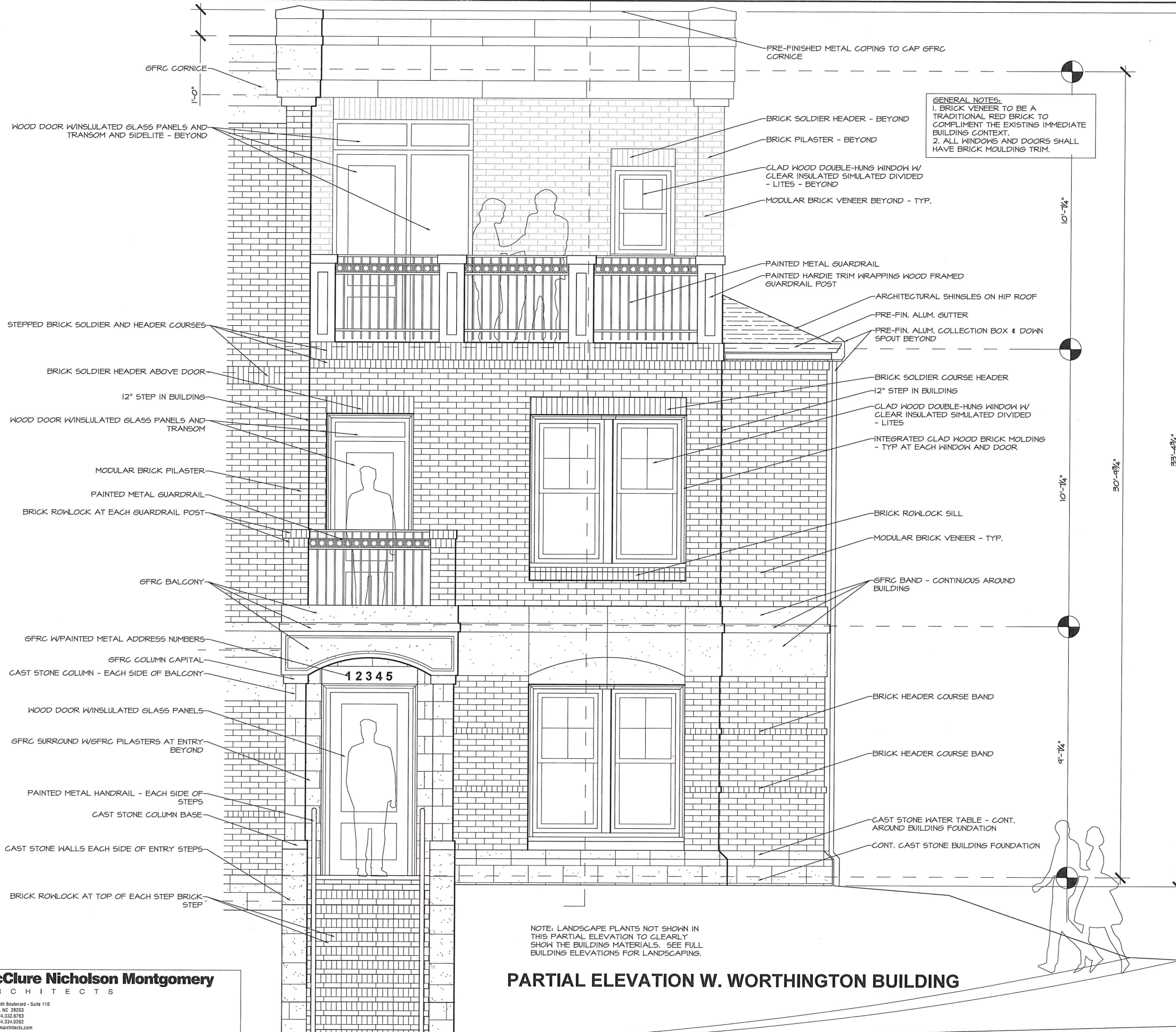
SCHEMATICS
SCALE: 3/8" = 1'

KINGSTON ON WEST
CHARLOTTE, NORTH CAROLINA



McClure Nicholson Montgomery
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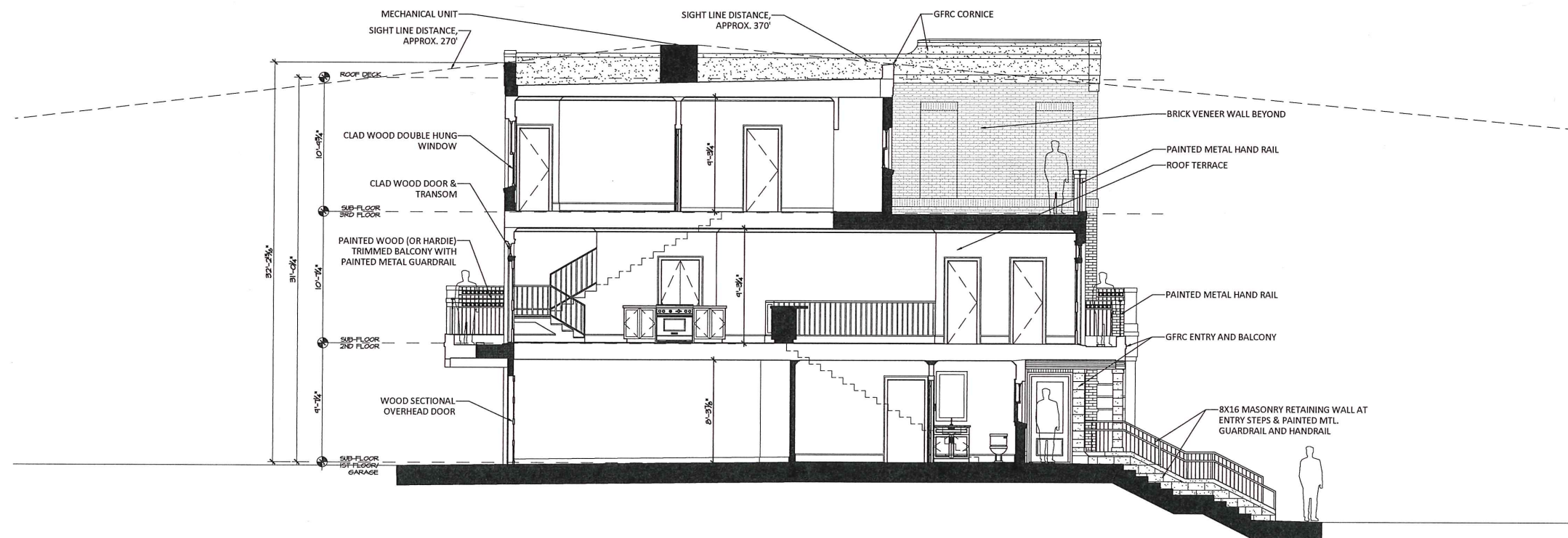
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00742

PARTIAL ELEVATION W. WORTHINGTON BUILDING



McClure Nicholson Montgomery
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KINGSTON ON WEST CHARLOTTE , NORTH CAROLINA

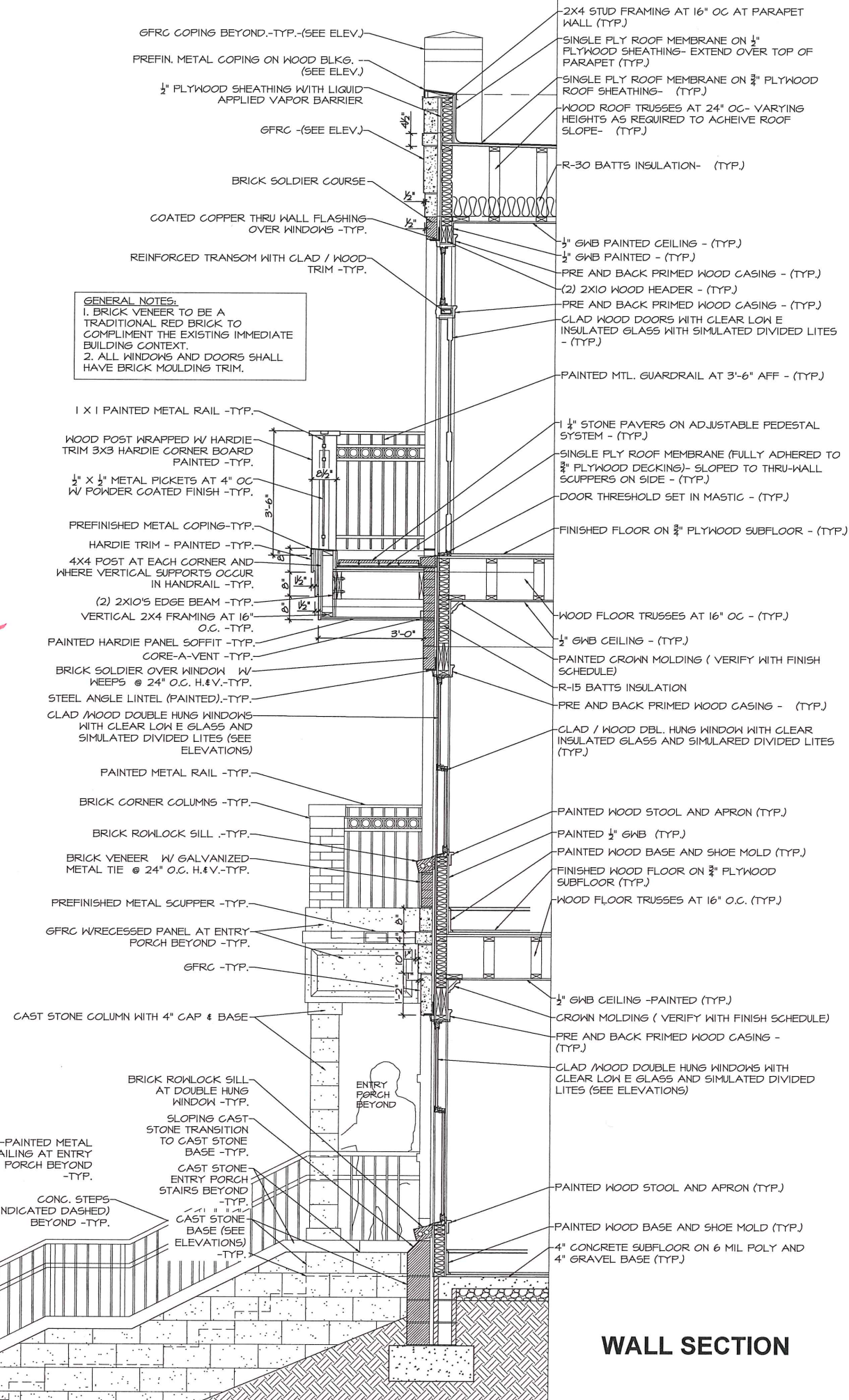
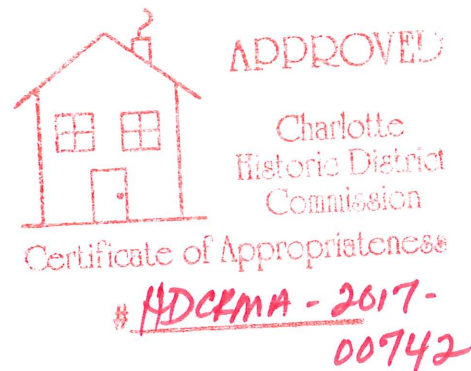
SCHEMATICS
SCALE: 1/4" = 1'

MARCH 2018

3.14.2018

SCHEMATICS
SCALE: 3/4" = 1'

KINGSTON ON WEST
CHARLOTTE, NORTH CAROLINA



WALL SECTION



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