



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2017-00683

DATE: May 3, 2018

ADDRESS OF PROPERTY: 409 Rensselaer Avenue

TAX PARCEL NUMBER: 12302903

HISTORIC DISTRICT: Dilworth

APPLICANT/OWNER(S): Allen Brooks, ALB Architecture/Rudolph and Kathryn Thomas

DETAILS OF APPROVED PROJECT: The project is the removal of the existing front porch and construction of a new porch including handrails, 8" square columns, masonry deck, arbor and membrane roof. Porch materials are wood with a brick veneer foundation. Porch depth is 8'.

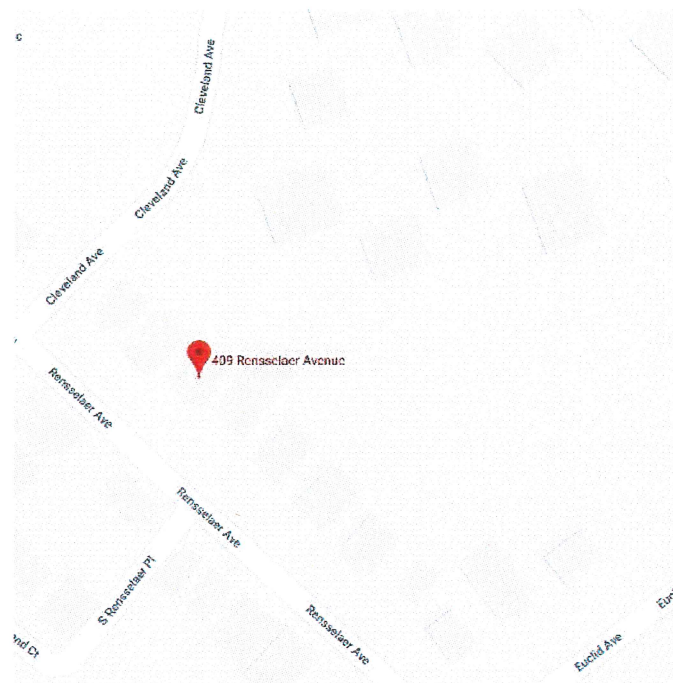
The project was approved by the HDC March 14, 2018.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Jim Haden, Chairman

Staff



VICINITY MAP



NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

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- A-1.0 Existing and Proposed Site Plans
- A-2.0 Existing Foundation/Basement Floor Plan
- A-2.1 Existing First Floor Plan
- A-2.2 Existing Second Floor Plan
- A-2.3 Existing Roof Plan
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- A-3.1 Existing and Proposed Right Elevation
- A-3.2 Existing and Proposed Rear Elevation
- A-3.3 Existing and Proposed Left Elevation
- A-3.4 Sections and Details
- A-4.0 Proposed Foundation/Basement Plan
- A-4.1 Proposed First Floor Plan
- A-4.2 Proposed Second Floor Plan
- A-4.3 Proposed Roof Plan

SQUARE FOOTAGE CALCULATIONS

	Heated/Habitable	Unheated
Existing Basement Floor:	1047 S.F.	
Existing Basement Patio:		172 S.F.
Existing First Floor:	1047 S.F.	
Existing Front Porch:		84 S.F.(to be removed)
Existing Rear Deck:		312 S.F.(to be removed)
Subtotal:	2094 S.F. (50% = 1133 SF)	
Proposed Basement Floor:	538 S.F.	
Proposed Front Porch:		144 S.F.
Proposed First Floor:	469 S.F.	
Subtotal:	1007 S.F. (LESS THAN 50%)	
Proposed Balcony:		274 S.F.
Proposed Second Floor:	1065 S.F.	
Proposed Balcony:		52 S.F.
Total(Proposed):	2,072 S.F.	326 S.F.
Total Under Roof:	4,808 S.F.	



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Designed Exclusively For the:
THOMAS RESIDENCE
409 Rensselaer Avenue, Charlotte, NC 28203

PROJECT #: 17054
ISSUED: 18 APR 2018
REVISIONS:

COVER SHEET

A-0

OF: TWENTY



APPROVED

Charlotte
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Commission

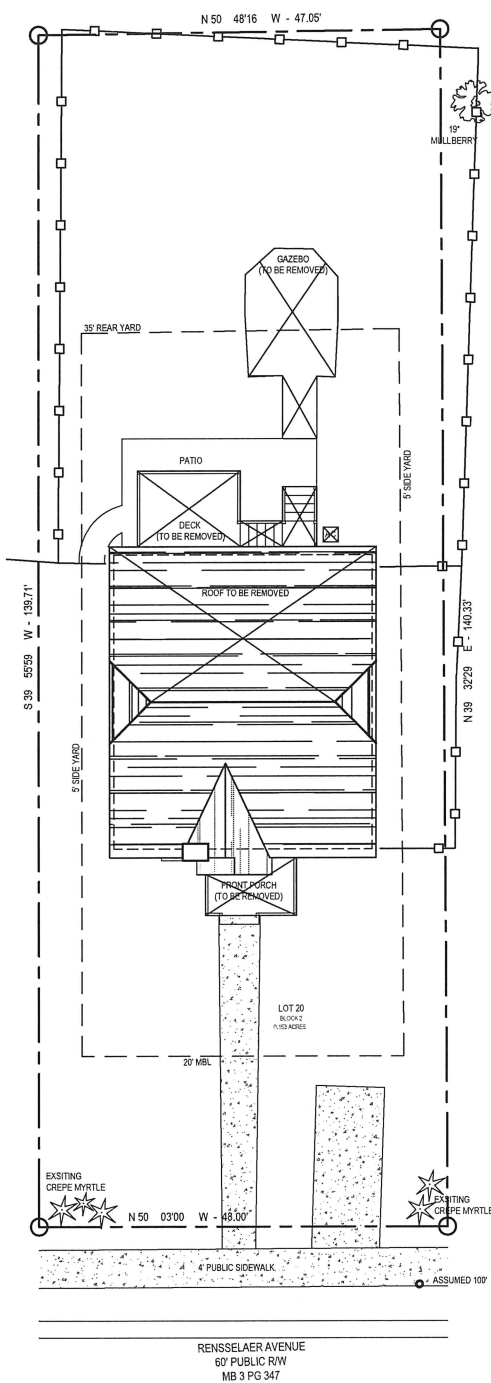
Certificate of Appropriateness

2017-483

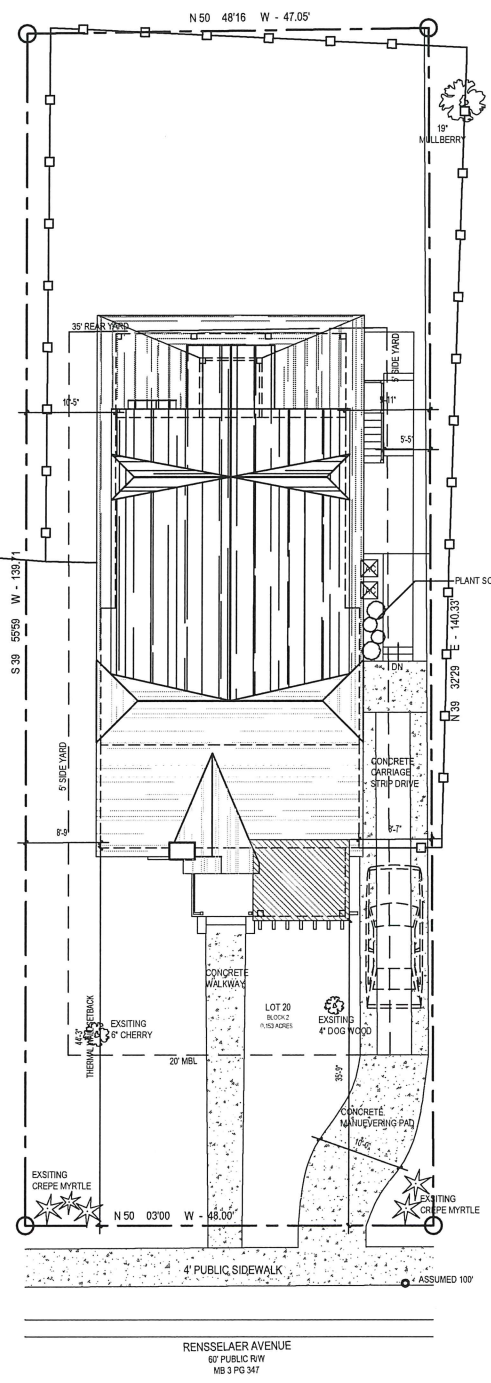


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② EXISTING SITE PLAN
1" = 10'-0"



① PROPOSED SITE PLAN
1" = 10'-0"

RESIDENCE CALCULATIONS	
TOTAL PROPOSED HEATED AREA	2200
PROPOSED UNHEATED	
REAR PORCH	426
FRONT PORCH	144
TOTAL	570
REAR YARD PERMEABILITY CALCULATIONS (50 % AS REQUIRED BY HDC)	
EXISTING REAR YARD AREA	2907
CONCRETE DRIVE	0
IMPERVIOUS AREA AT REAR YARD	934
TOTAL AREA	934
TOTAL PERMEABLE AREA	68%
OPEN SPACE CALCULATIONS PER ZONING (AT LEAST 65% REQUIRED)	
TOTAL AREA OF SITE	6655
FOOTPRINT OF HOUSE	1934
TOTAL AREA	1934
PERCENTAGE OF OPEN SPACE	71%

NOTE:

CONCRETE: [Pattern]

GRAVEL: [Pattern]

RETAINING WALL: [Pattern]

PAVER SYSTEM: [Pattern]

KEY:

WALL TO BE REMOVED: [Pattern]

ITEM TO BE REMOVED: [Pattern]

LEGEND:

BOUNDARY LINE: [Line Style]

OVERHEAD UTILITIES: [Line Style]

FENCE (TYPE NOTED): [Line Style]

UTILITY POLE: [Symbol]

RW: RIGHT OF WAY

EP: EDGE OF PAVEMENT

CL: CENTERLINE

NORTH

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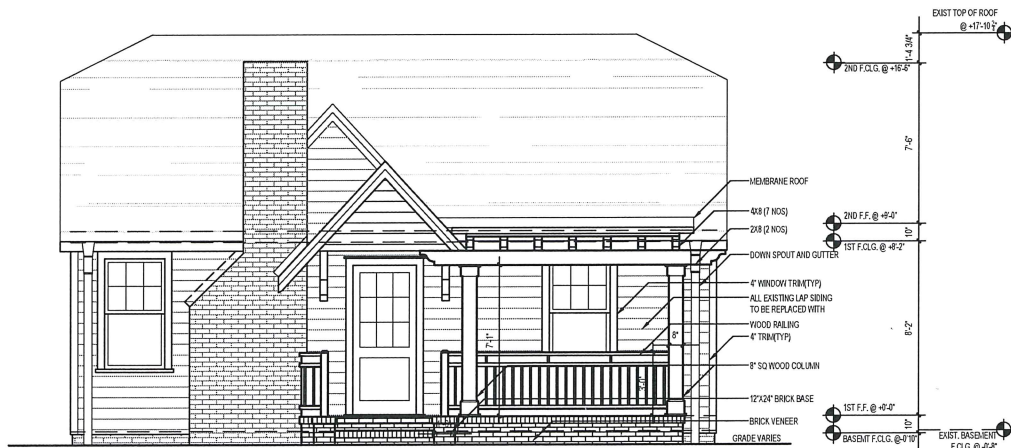
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② EXISTING FRONT ELEVATION
1/4" = 1'-0"



① PROPOSED FRONT ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	7'-8" - 8'-0" MATCH EXISTING - FF 6'-0" - 5'-0"	DOUBLE HUNG
B	2'-0" X 1'-0"	7'-8"	CASEMENT
C	2'-0" X 3'-0"	7'-8" - 8'-0" MATCH EXISTING - FF 6'-0" - 5'-0"	DOUBLE HUNG
D	2'-0" X 2'-0"	6'-8"	CASEMENT
E	2'-8" X 3'-0"	MATCH EXISTING	DOUBLE HUNG
F	2'-8" X 4'-0"	5'-8"	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - ALL WINDOWS WITH 3 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
 - WINDOW SIZING:
 - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - N.E. = MATCH EXISTING
 - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

GENERAL NOTES:

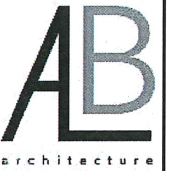
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
- FIRE BLOCK @ FLOOR & CEILING PER CODE.
- ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/4".
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- WATER PROOF MEMBRANE TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12.
- FLASHING & COUNTER FLASHING AS REQUIRED, MARINE GRADE PLYWOOD TO BE USED FOR ENTIRE ROOF SURFACE.
- ALL EAVES TO MATCH THE EXISTING HOUSE.
- ALL NEW FASCIAS MATCH EXISTING HOUSE AND ALIGNED.
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
- R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
- R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

- REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECT'S PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
- THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.



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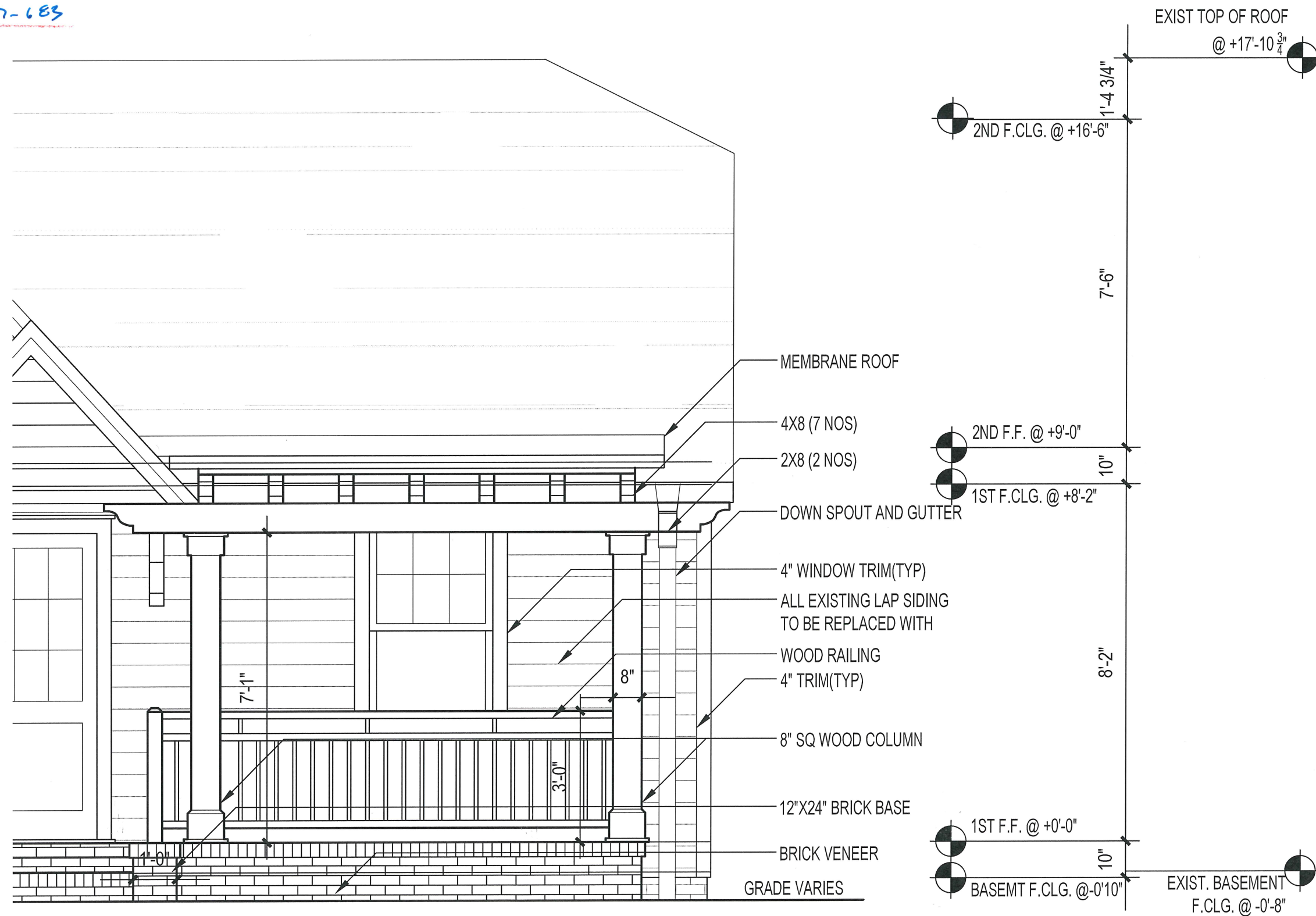


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