



## CHARLOTTE HISTORIC DISTRICT COMMISSION

### CERTIFICATE OF APPROPRIATENESS

**CERTIFICATE NUMBER:** 2017-00682

**DATE:** March 21, 2018

**ADDRESS OF PROPERTY:** 800 Woodruff Place

**TAX PARCEL NUMBER:** 07103504

**HISTORIC DISTRICT:** Wesley Heights

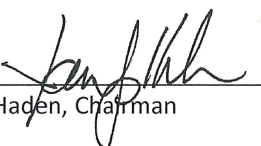
**APPLICANT/OWNER(S):** John McKeever


**DETAILS OF APPROVED PROJECT:** The project is the construction of a new two story single family house. The front setback is approximately 34 feet from the right of way to the first thermal wall. The house height is approximately 26' from the first floor. Primary façade material is brick. Architectural details include wood Simulated True Divided Light (STD L) windows, wood roof trim, copper gutters or similar, wrought iron hand rail and wood porch columns. One mature tree in the rear yard will be removed and a new tree planted in the front yard. The detached garage materials match the house, the garage height is approximately 23'-6".

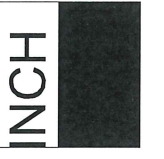
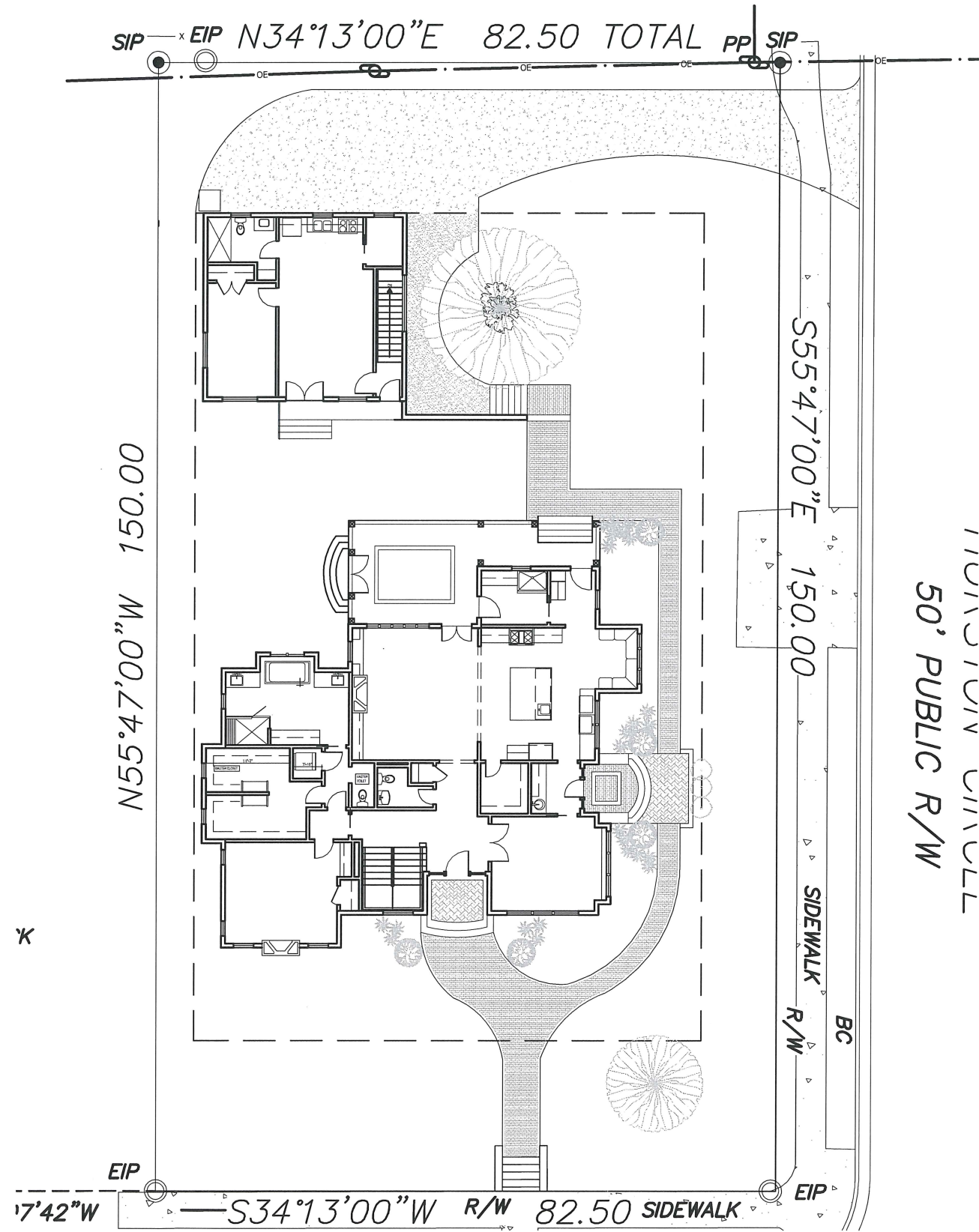
The project was approved by the HDC February 14, 2018.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

**This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.**

  
James Haden, Chairman

  
Staff



Plot Branch: c:\704\222\9001 rbranch@studio1616.net

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NOT FOR CONSTRUCTION  
FOR PRICING ONLY

PROJECT

Woodruff Pl  
Residence  
Custom Home

PREPARED FOR

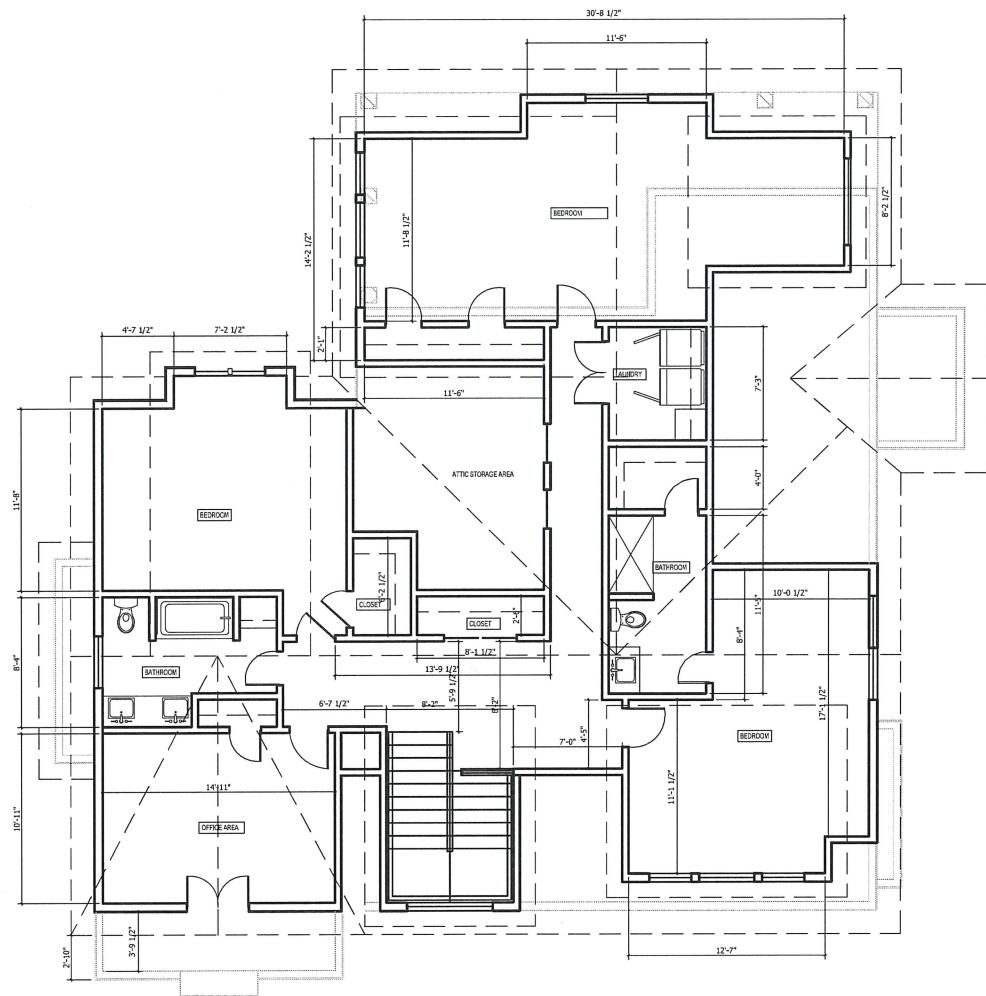
John McKeever &  
Marshal Carter

SHEET TITLE

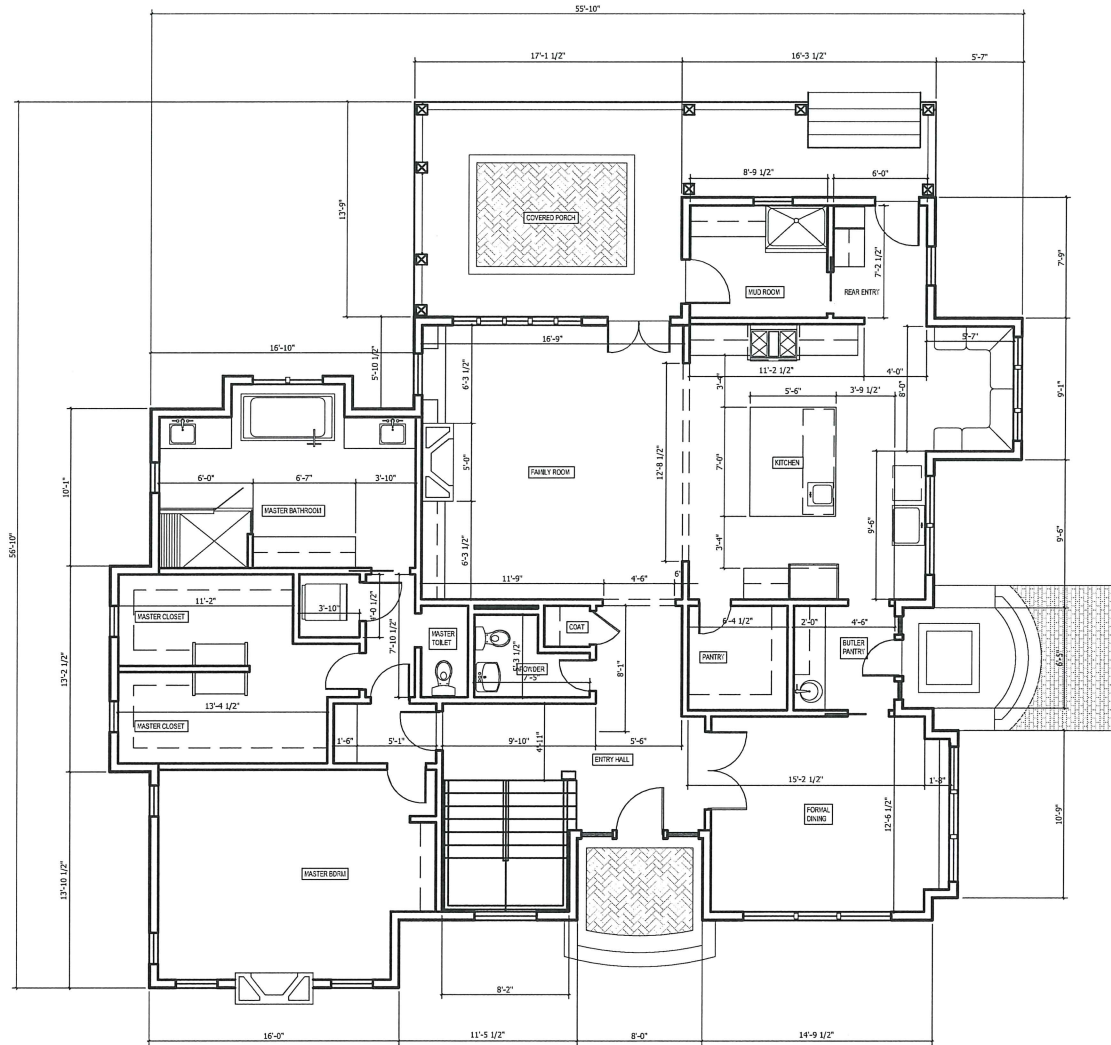
SHEET INFORMATION

PROJECT NO. McKeever/Carter  
SCALE AS NOTED  
ISSUED FOR  
DATE February 2018  
REVISIONS

SHEET NUMBER



02 SECOND FLOOR PLAN scale: 3/16" = 1'



01 FIRST FLOOR PLAN scale: 3/16" = 1'

SQUARE FOOTAGE	
FIRST FLOOR FOOTPRINT:	2185
SECOND FLOOR HEATED:	1853



Ron Branch c: 704.222.3001 rbranch@elsido1616.net

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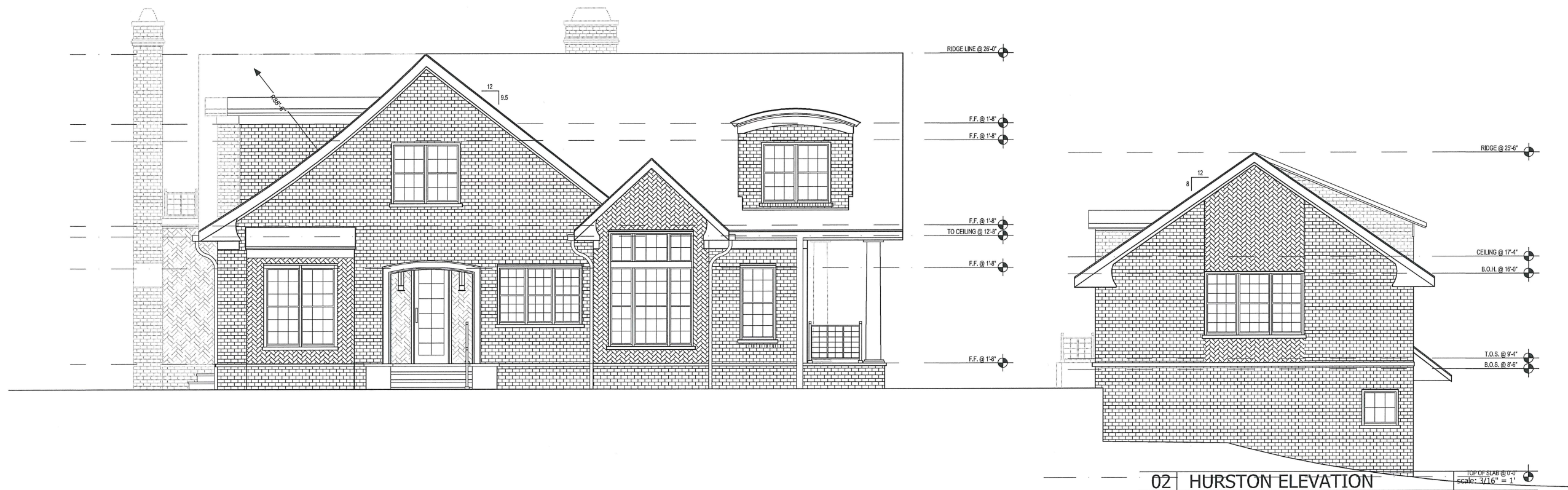
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01 WOODRUFF ELEVATION scale: 3/16" = 1'



02 HURSTON ELEVATION scale: 3/16" = 1'



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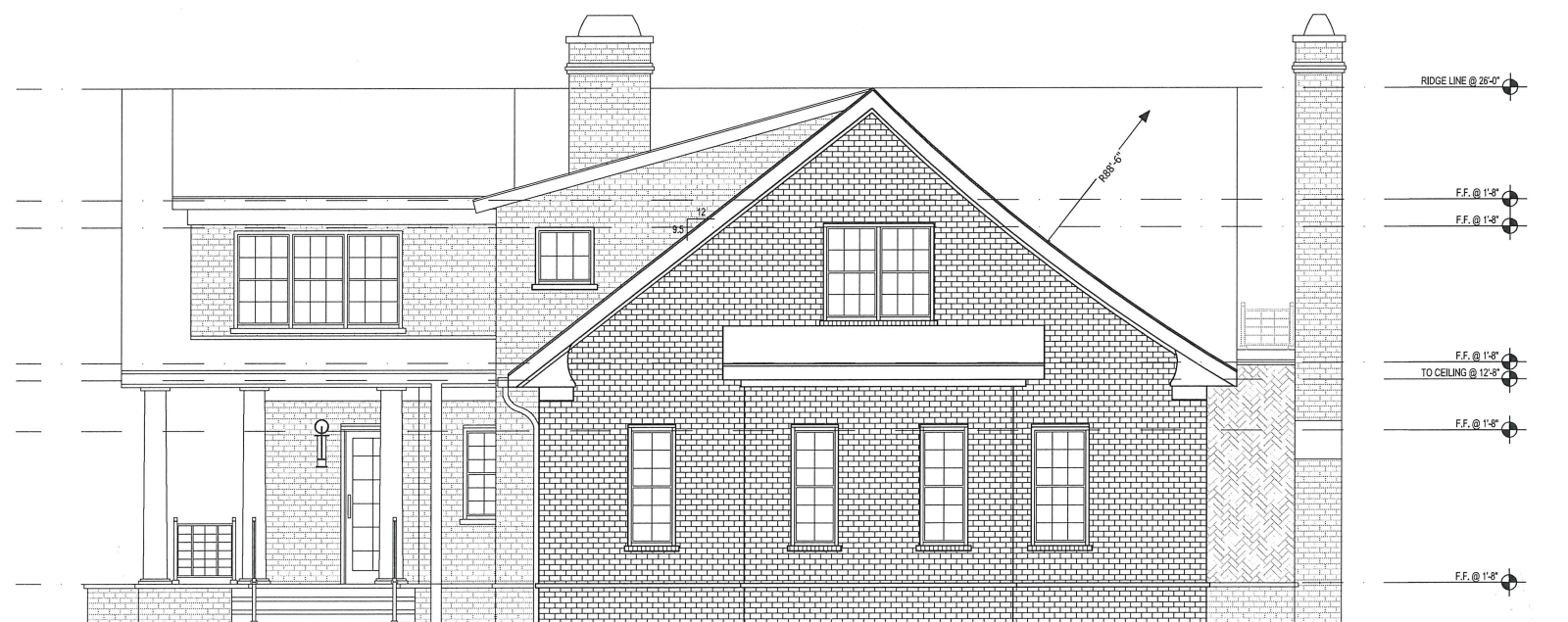
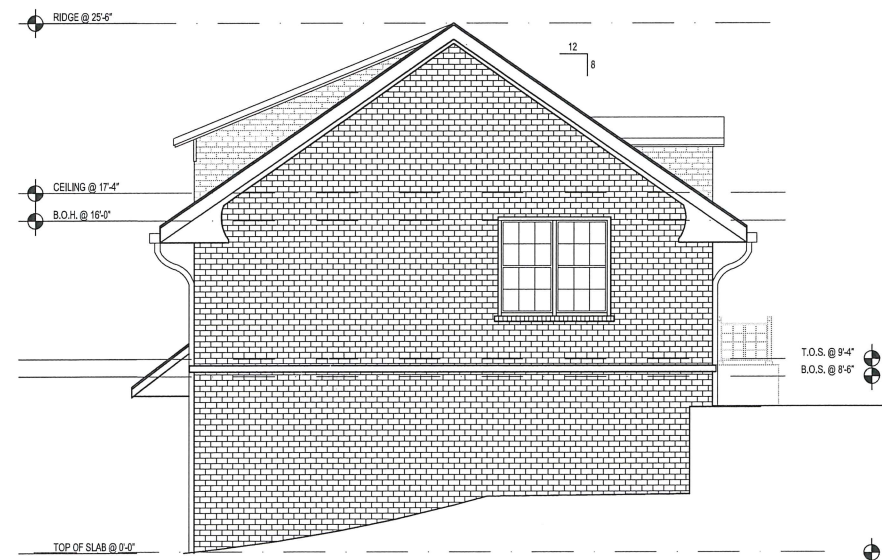
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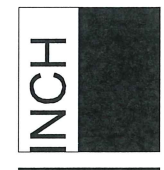
APPROVED  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
# 2017-00622



01 | REAR ELEVATION scale: 3/16" = 1'



02 | SIDE ELEVATION scale: 3/16" = 1'



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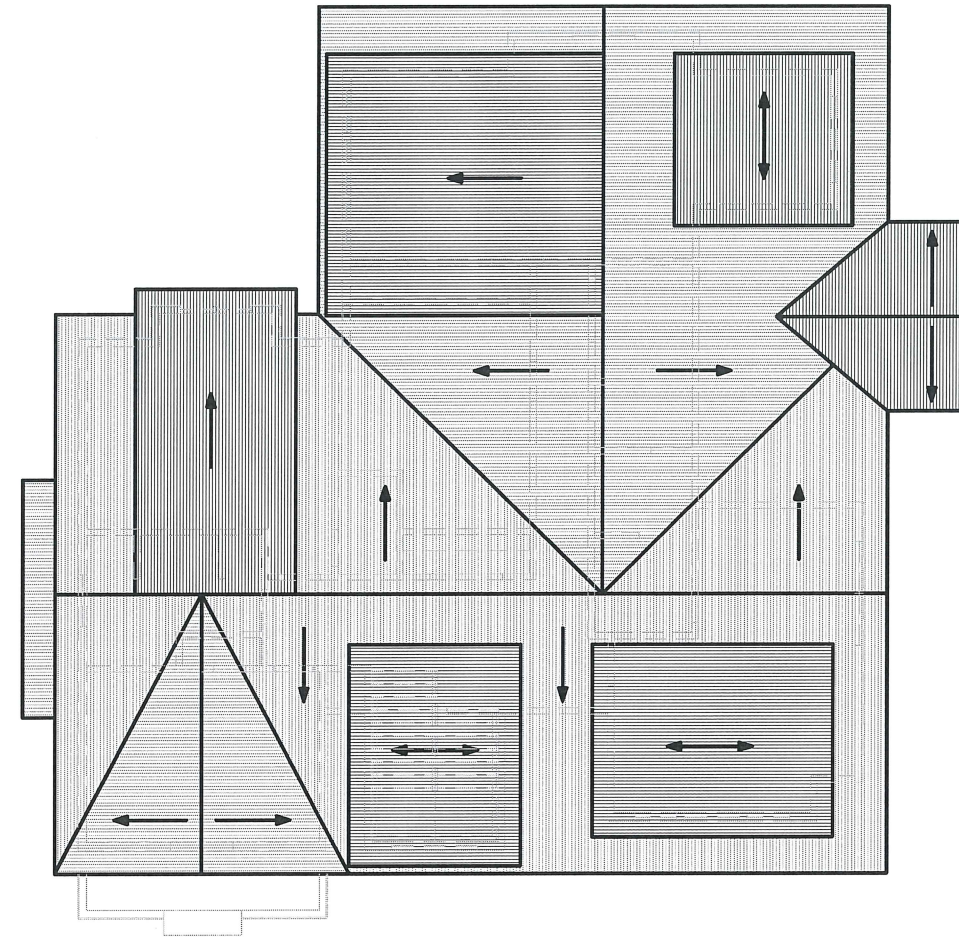
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01 | ROOF PLAN scale: 3/16" = 1'



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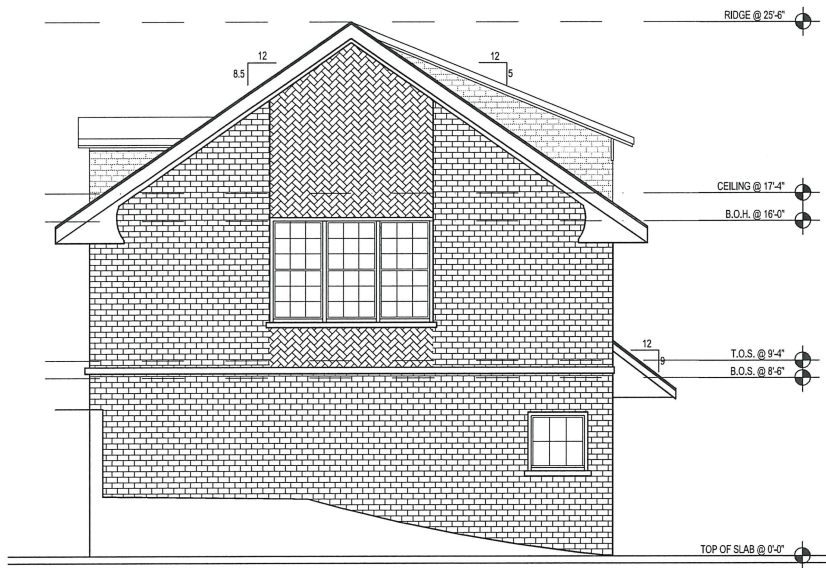
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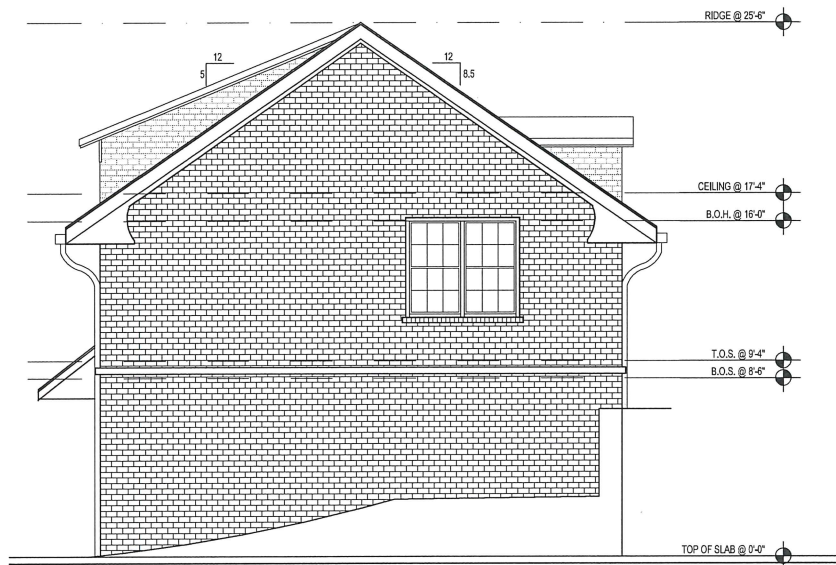




05 GARAGE ELEVATION-HURSTON scale: 1/4" = 1'



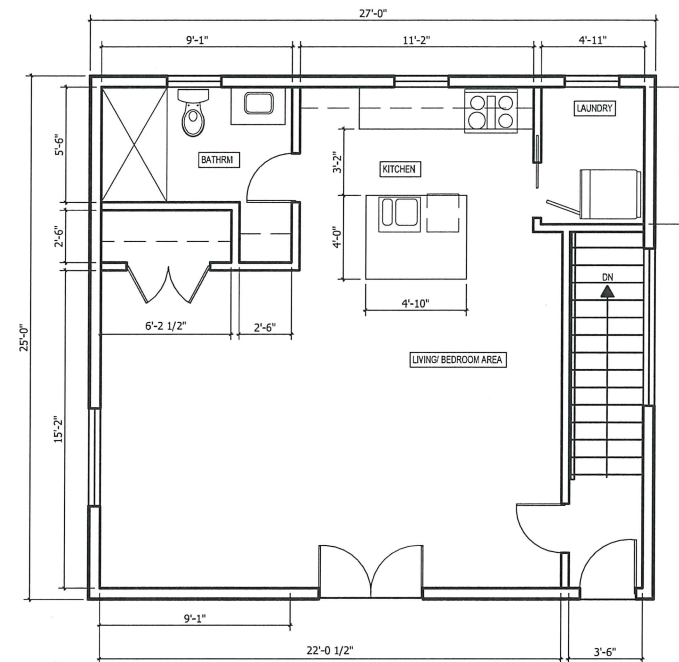
06 GARAGE ELEVATION-REAR scale: 1/4" = 1'



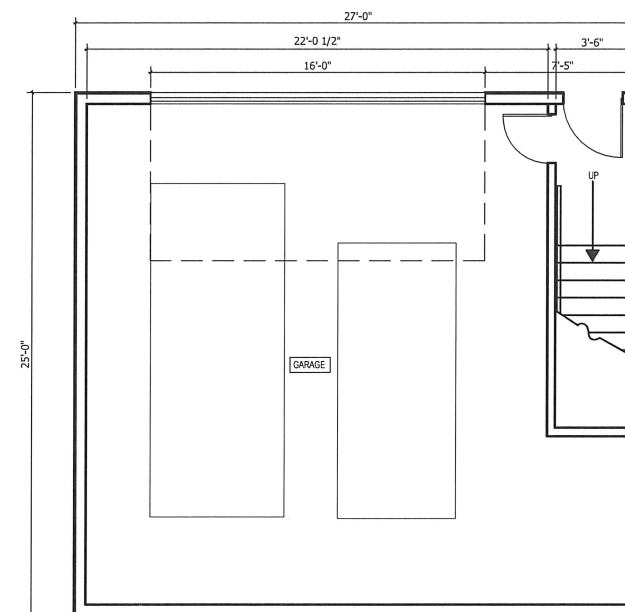
04 GARAGE ELEVATION-SIDE scale: 1/4" = 1'



03 GARAGE ELEVATION-FRONT scale: 1/4" = 1'



02 APARTMENT PLAN-2ND FL scale: 1/4" = 1'



01 GARAGE PLAN scale: 1/4" = 1'

INCH

Rev Branch c: 704.222.9001 rbranch@studio1616.net

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