

# **CHARLOTTE HISTORIC DISTRICT COMMISSION**

## **CERTIFICATE OF APPROPRIATENESS-Amended**

**CERTIFICATE NUMBER: 2017-00626** 

**DATE:** April 20, 2018

ADDRESS OF PROPERTY: 1123 Berkeley Avenue

TAX PARCEL NUMBER: 12310203

**HISTORIC DISTRICT:** Dilworth

OWNER/APPLICANT: Joel Bartis/Angie Lauer, ALB Architecture

**DETAILS OF APPROVED PROJECT:** The project is a two story single family house, pool, driveway, retaining wall and detached garage. House height from finished floor is approximately 31'-7". The front setback is approximately 47 feet from Right of Way. Building materials are brick and wood lap siding with wood trim, cedar shake roof, copper gutters and downspouts and wood STDL windows. Frieze boards on the house and garage are smooth cementitious siding material. Mechanical units are located in the right side yard and screened with a fence and/or landscaping. The pool size is 20' x 50' with materials noted on the site plan. The two car garage is one story with carriage style doors in a material that meets the HDC design guidelines. The retaining wall will be constructed of a masonry material that meets the HDC design guidelines, no interlocking concrete block.

The project was approved by the HDC November 8, 2017.

- > This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- > Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- > All work must be completed in accordance with all other applicable state and local codes.
- > Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

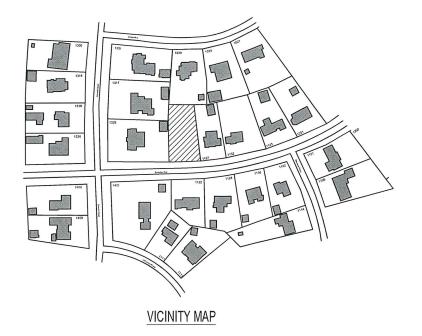
Jen John	John Gonal
Chairman	Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

600 East Fourth Street Charlotte, NC 28202-2853 PH: (704)-336-2205

www.charlotteplanning.org

FAX: (704)-336-5123





Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

# INDEX OF DRAWINGS

- Cover Sheet A-0
- A-0.1 Street Comparison
- Existing Site Plan
- Proposed Site Plan
- Proposed Foundation Plan
- Proposed First Floor Plan
- Proposed Second Floor Plan
- Proposed Roof Plan
- Proposed Front Elevation
- Proposed Right Elevation
- A-3.2 Proposed Rear Elevation Proposed Left Elevation
- A-4.0 Wall Sections & Details
- A-4.1 Wall Sections & Details
- A-4.2 Waterproofing Detail
- A-5.0 First Floor Lighting Layout (N/A)
- Second Floor Lighting Layout (N/A)
- A-6.0 Garage Plans
- A-6.1 Garage Elevations



ALB Architecture 1200 E. Morehead St. Suite 240 Charlotte, NC 28204 Phone: 704.503,9595

E-mail: brooks.alb@icloud.com lauer.alb@icloud.com

BARTIS RESIDENCE 1123 Berkeley Ave, Charlotte, NC 28204 Designed Exclusively For the:

HDC MEETING DATE:

PROJECT #: 17067 SSUED: 20 OCTOBER 20 REVISIONS:

COVER SHEET

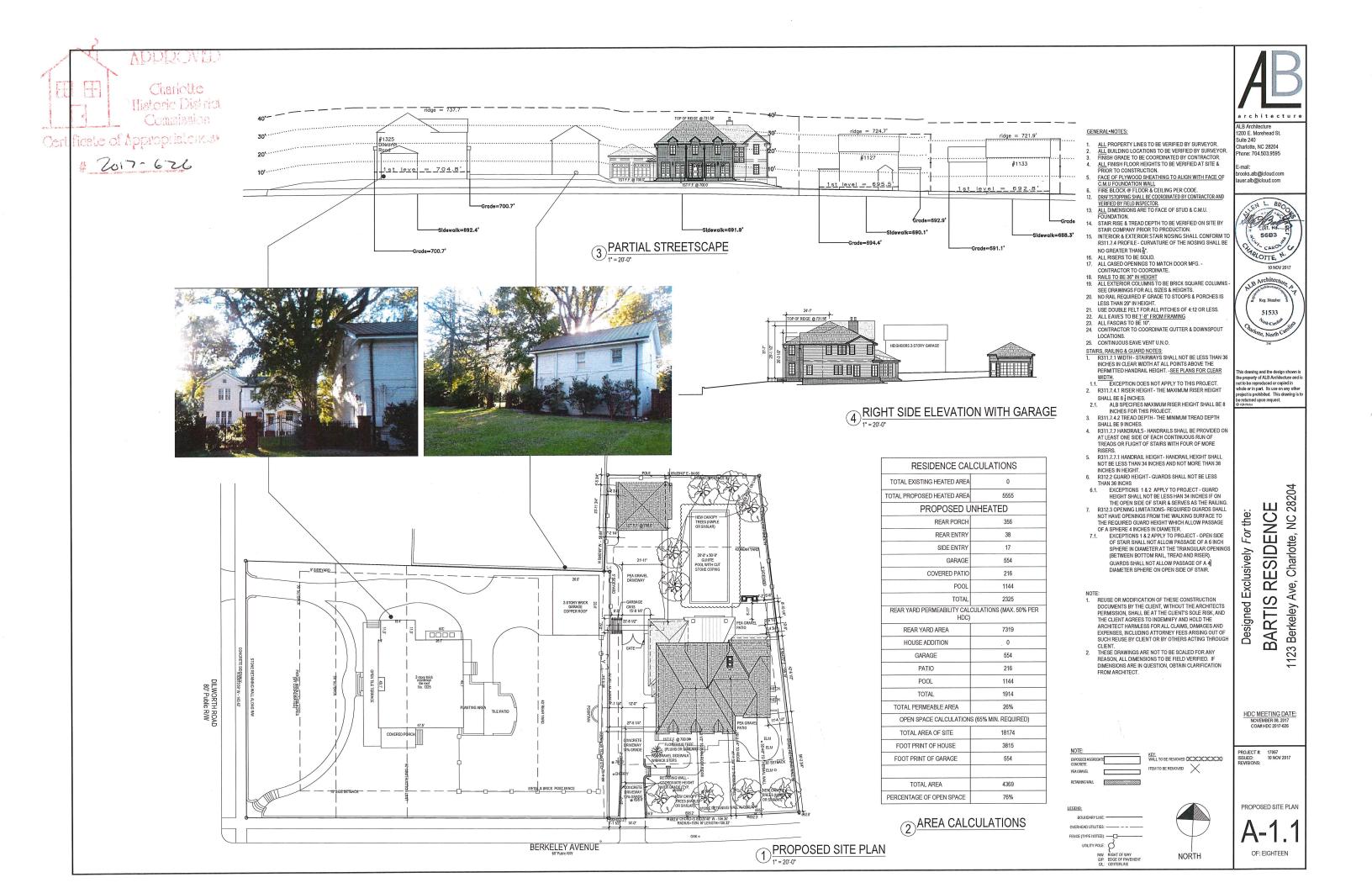
OF: FOURTEEN

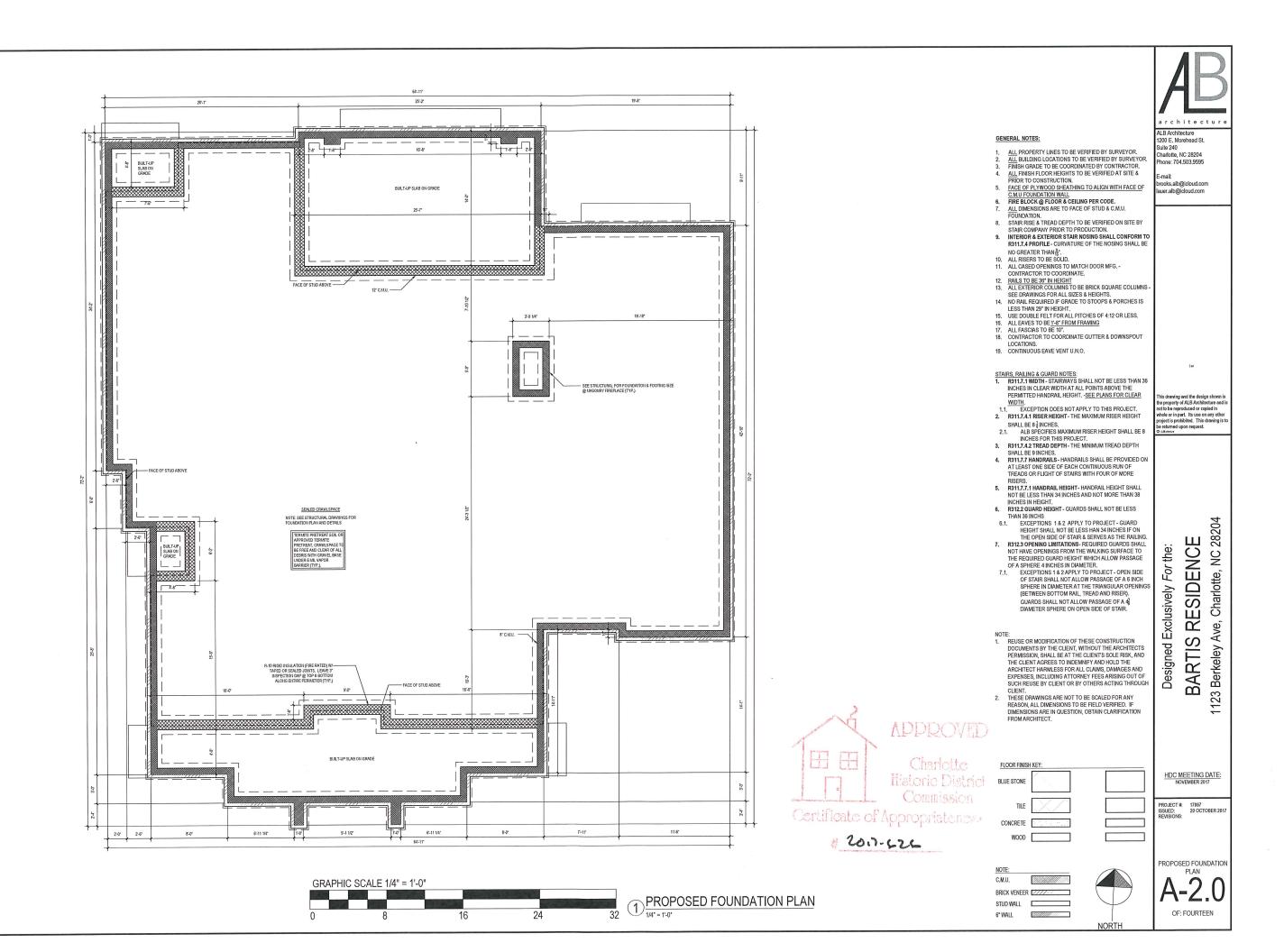
#2017-626

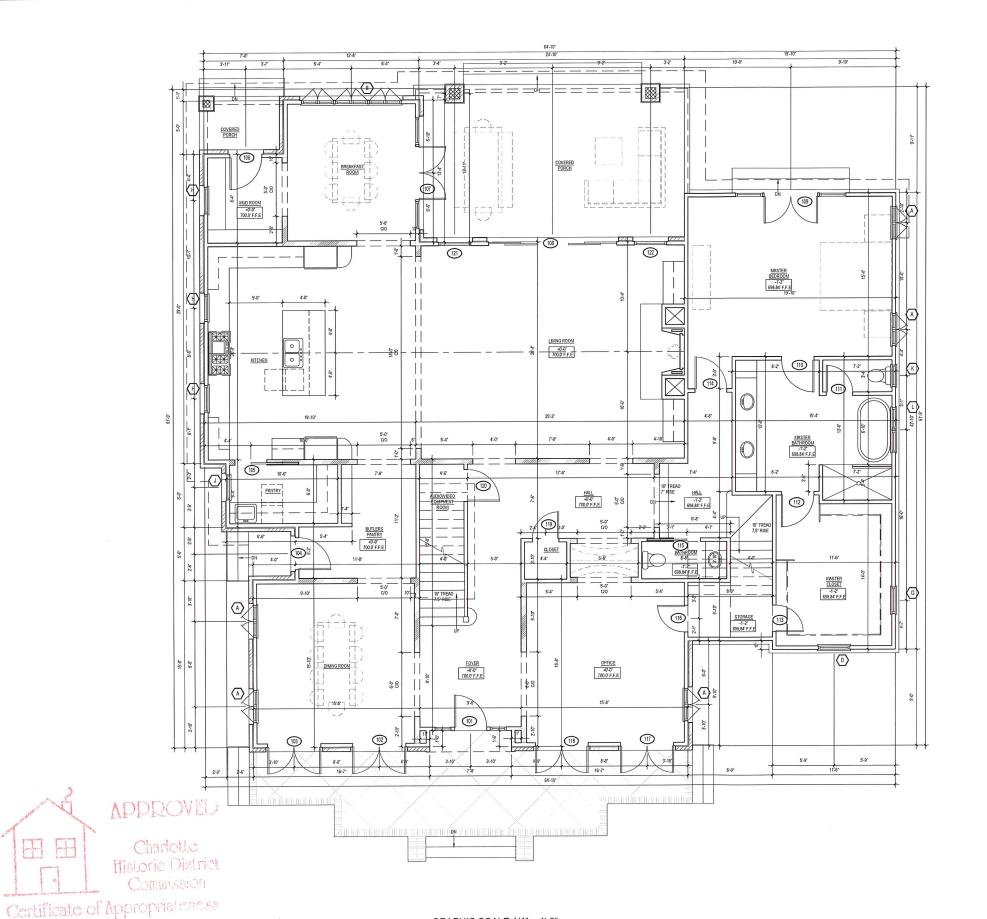
Certificate of Appropriates:

APPROVED

Charlotte







WINDO	W SCHEDULE		
(D)	SIZE	HEADER HEIGHT	TYPE
A	3-0° X 6-0°	8'-0"	FRENCH CASEMENT
$\langle \mathbb{B} \rangle$	TR 3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
©	3'-0" X 5'-0"	T-0"	FRENCH CASEMENT
0	3-0° X 5-0°	8'-0' (1ST FLOOR) 8'-2' (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
(F)	3-0. X 3-2.	T-0°	FRENCH CASEMENT
(G)	2-6' X 5-0'	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
$\langle H \rangle$	2-6" X4"-6"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
$\bigcirc$	2-6' X 2-6'	SEE ELEVATION	FIXED
$\bigcirc$	2'-4" X 4'-5"	8'-0" (1ST FLOOR)	CASEMENT
K	2'-0' X 5'-0'	8:-0:	CASEMENT
(I)	PR 2'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

TIE:

MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND
TRIM AT WINDOWS,

SEE ELEVATIONS FOR MUNTIN PATTERN, <u>VERIFY ANY REQUIREMENTS FOR</u>

EGRESS OR TEMPERED GLASS.
ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.MUST

FOR ADDITIONS & REMODELS - MATCH E

(NUM)	OPENING	LOCATION
$\stackrel{\smile}{=}$	3-0' x 8'-0'	50/50
(101)	WITH 18" SIDELIGHTS	FOYER
102	PR 2-6" x 8-0"	DINING ROOM EXTERIOR
103	PR 2'-6" x 8'-0"	DINING ROOM EXTERIOR
104	3'-0" x 8'-0"	BUTLER'S PANTRY EXTERIOR
105	3'-0" x 8'-0" POCKET DOOR	PANTRY
106	3-0" x 8-0"	MUD ROOM EXTERIOR
107	PR 2'-6" x 8'-0" WITH 30" SIDELIGHT	BREAKFAST ROOM EXTERIOR
108	12-0" x 8-0" SLIDER	LIVING ROOM EXTERIOR
109	PR 2'-6" x 8'-0" WITH 30" SIDELIGHT	MASTER BEDROOM EXTERIOR
(10)	3-0' x 8-0'	MASTER BATHROOM
(11)	Z-6" x 8-0"	MASTER BATHROOM
112	3-0" x 8-0"	MASTER CLOSET
113	2-6" x BUILD TO FIT	STORAGE
114	3-0' x 8-0'	MASTER BEDROOM
115	2-6" x 8-0" POCKET	BATHROOM
116	2-6" x BUILD TO FIT	STORAGE
117)	PR 2'-6" x 8'-0"	OFFICE EXTERIOR
118	PR 2-6" x 8'-0"	OFFICE EXTERIOR
(119)	2'-6" x 8'-0"	CLOSET
120	3-0" x 8-0"	AUDION/IDEO EQUIPMENT ROOM
(121)	3'-0" x 8'-0" DOOR BLANK	LIVING ROOM

# GENERAL NOTES:

architecture ALB Architecture 1200 E, Morehead St.

Suite 240

Charlotte NC 28204

brooks.alb@icloud.com lauer.alb@icloud.com

his drawing and the design shown is the property of ALB Architecture and is to to be reproduced or copied in hole or in part. Its use on any other roject is prohibited. This drawing is to returned upon request.

1123 Berkeley Ave, Charlotte, NC 28204

RESIDENCE

BARTIS

HDC MEETING DATE:

PROJECT #: 17067 SSUED: 20 OCTOBER 2011 REVISIONS:

For

Exclusively

ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
FINISH GRADE TO BE COORDINATED BY CONTRACTOR. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.

FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL FIRE BLOCK @ FLOOR & CEILING PER CODE.

HIRE BLUCK @ FLOOR & CEILING PER COUE.
 ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
 STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
 INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO

R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 등.

10. ALL RISERS TO BE SOLID.

ALL ASSED OPENINGS TO MATCH DOOR MFG. CONTRACTOR TO COORDINATE.
 RAILS TO BE 36' IN HEIGHT
 ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS.

SEE DRAWINGS FOR ALL SIZES & HEIGHTS.

NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS
LESS THAN 29' IN HEIGHT.

USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.

ALL EAVES TO BE 1-9" FROM FRAMING
ALL FASCIAS TO BE 10".
CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT

LOCATIONS.

19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

MIDTH.

1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.

2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT

SHALL BE 8 1 INCHES.

2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.

3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH

SHALL BE 9 INCHES.

A R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

5. R311.7.7.1 HANDRAIL HEIGHT-HANDRAIL HEIGHT SHALL NOTILITAL THANDRUL RELIEF THANDRUL RELIGHT SPALL
NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38
INCHES IN HEIGHT.
 R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS
THAN 36 INCHS

THAN 36 INCHS
6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD
HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON
THE OPEN SIDE OF STARR & SERVES AS THE RAILING.

THE OPEN SIDE UP STAIR & SERVES AS THE RAILING.

7. R3123 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 HINCHES IN DIAMETER.

7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE

OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENING (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION
DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS
PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS TO INDEMNIT I AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH

THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FOR A MODIFIED. FROM ARCHITECT.

FLOOR FINISH KEY: CONCRETE WOOD

NOTE: C,M,U, BRICK VENEER ///// STUD WALL 6" WALL

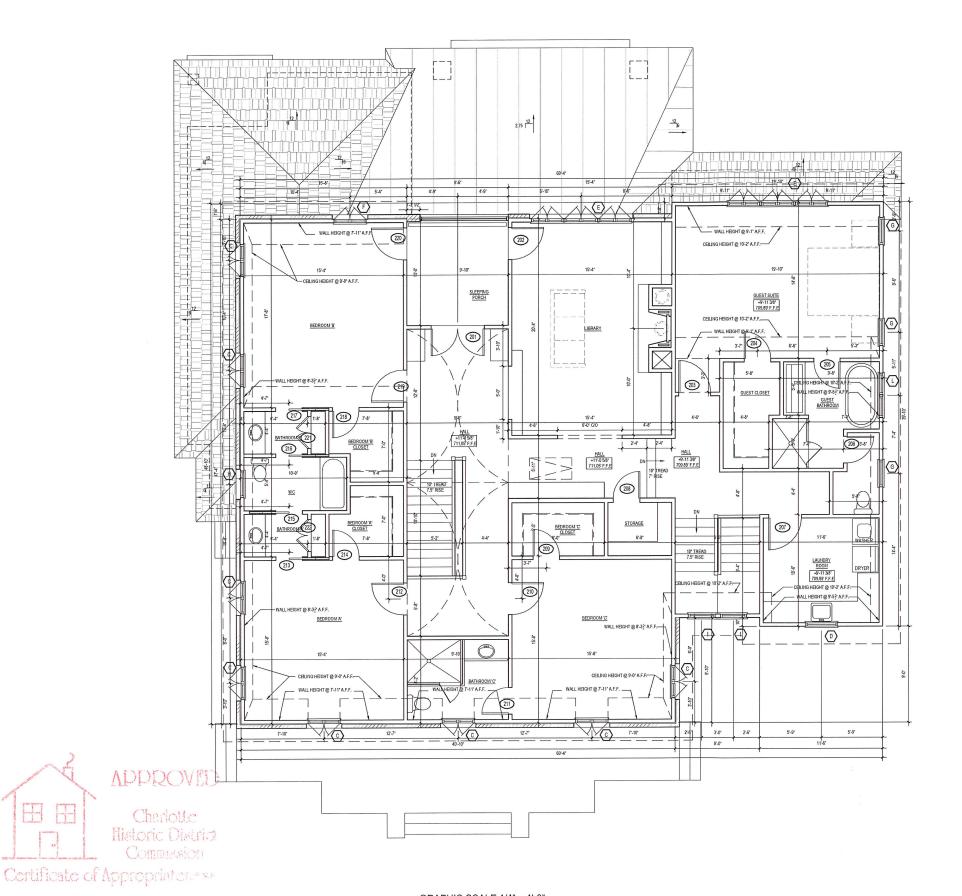
PROPOSED 1ST FLOOR PLAN 

OF: FOURTEEN

1 2017-626

GRAPHIC SCALE 1/4" = 1'-0"

PROPOSED FIRST FLOOR PLAN



WINDO	N SCHEDULE		
(ID)	SIZE	HEADER HEIGHT	TYPE
A	30. X 60.	8'-0"	FRENCH CASEMENT
$\langle \mathbb{B} \rangle$	TR 3-0" X 6-0"	8'-0"	FRENCH CASEMENT
©	3-0° X 5-0°	7-0"	FRENCH CASEMENT
0	3-0' X 5-0'	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
Œ	TR 3'-0" X 5'-0"	8-2" (GUEST WING) 8-0" (LIBRARY)	FRENCH CASEMENT
(F)	3-0. X 3-2.	T-0°	FRENCH CASEMENT
<b>(G)</b>	2'-6' X 5'-0'	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
$\left\langle H\right\rangle$	2-6" X4'-6"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
<u></u>	2'-6' X 2'-6'	SEE ELEVATION	FIXED
$\bigcirc$	2'-4" X 4'-5"	8'-0" (1ST FLOOR)	CASEMENT
$\langle K \rangle$	2'-0" X 5'-0"	8'-0"	CASEMENT
ℂ	PR 2-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

TE:
MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND
TRIM AT WINDOWS.
SEE ELEVATIONS FOR MUNTIN PATTERNL VERIFY ANY REQUIREMENTS FOR

EGRESS OR TEMPERED GLASS.
ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.MUST BE TEMPERED.
PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24' ABOVE
A.F.F. AND GREATER THAN 72' ABOVE GRADE OR WALKING SURFACE

DIMERSIONS, FOR ADDRESS - MATCH EXISTING VINDOW & DOOR NFG, INSTALL WITH DRIP CAP AND FLASHING, SEE ELEVATIONS FOR MAINTHIN PATERLY VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

ME = MATCH EXISTING 108 TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE CHUTTET CAP ADDRESS.

SECONE	FLOOR DOOR SCHEDU	JLE
NUM	OPENING	LOCATION
201	PR 2-6" x 7"-0"	HALL EXTERIOR
202	3.0° x T.0°	LIBRARY EXTERIOR
203	3-0° x T-0°	GUEST SUITE
204	Z-6' x T-0'	GUEST SUITE
205	Z-5" x T-0"	GUEST SUITE
206	2'-5" x 7'-0"	GUEST BATHROOM
207	3-0" x 7'-0"	LAUNDRY
208	2-6" x 7-0"	STORAGE
209	2'-5" x 7'-0"	BEDROOM'C' CLOS
210	3-6° x 7'-0°	BEDROOM'C
211	2-6" x 7"-0"	BATHROOM'C'
212	3-0° x 7'-0°	BEDROOM'A'
213	2-5" x 7-0" POCKET DOOR	BATHROOM'A'
214	2-5° x 7-0°	BEDROOM'A' CLOS
215	2-6" x 7-0" POCKET DOOR	wc
216	2-5' x 7-0' POCKET DOOR	wc
217	2-5" x 7-0" POCKET DOOR	BATHROOM 'B'
218	2-6° x 7-0°	BEDROOM B' CLOS
219	3-0° x 7-0°	BEDROOM B'
220	3-0' x 7-0'	BEDROOM'B' EXTER
221)	PR 3-0' x 7'-0'	BATHROOM B
222	PR 3'-0" x 7'-0"	BATHROOM 'A'

# GENERAL NOTES:

ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &
PRIOR TO CONSTRUCTION.

PRIOR TO CONSTRUCTION.

5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.

6. FIRE BLOCK @ FLOOR & CEILING PER CODE.

7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.

8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.

9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO PROTECTION AND PRIOR TO PRODUCTION. R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE

NO GREATER THAN语.

10. ALL RISERS TO BE SOLID. ALL CASED OPENINGS TO MATCH DOOR MEG.

ALL CASED OPENINGS TO MATCH DOOR MFG, CONTRACTOR TO COORDINATE.

RAILS TO BE 36" IN HEIGHT
ALL EXTERIOR COLUMNIS TO BE BRICK SQUARE COLUMNSSEE DRAWINGS FOR ALL SIZES & HEIGHTS.
NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS

LESS THAN 29" IN HEIGHT.
USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.

ALL EAVES TO BE 1'-8" FROM FRAMING ALL FASCIAS TO BE 10".

ALLE PASCAS TO BE TO .
 CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
 CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.

EXCEPTION DOES NOT APPLY TO THIS PROJECT.

R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8½ INCHES.

2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8
INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH

SHALL BE 9 INCHES.

4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

RISERS.

5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38

NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.

6. R312\_2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES

6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILLING.

7. R312\_3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE GROUPED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE GROUPED GUARDS NEIGHT WHICH ALL NOW BASSACE. THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE

OF A SPHERE 4 INCHES IN DIAMETER.

EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE
OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENING (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A DIAMETER SPHERE ON OPEN SIDE OF STAIR.

 REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS
PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH

CLIENT.
2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

FLOOR FINIS	H KEY:	
BLUE STONE		
TILE	X/	
CONCRETE	Y 1 0 1 1 1 1 1 1 1 1	
WOOD		

NOTE: C.M.U. BRICK VENEER ///// STUD WALL 6" WALL

00 E. Morehead St. Charlotte, NC 28204 hone: 704.503.9595

rooks.alb@icloud.com

his drawing and the design shown is to property of ALB Architecture and is to be reproduced or copied in hole or in part. Its use on any other oject is prohibited. This drawing is be returned upon request.

Charlotte, NC 28204

RESIDENCE the: For Exclusively

Ave, **BARTIS** Designed 1123 Berkeley

PROJECT #: 17067 ISSUED: 20 OCTOBER 201 REVISIONS:

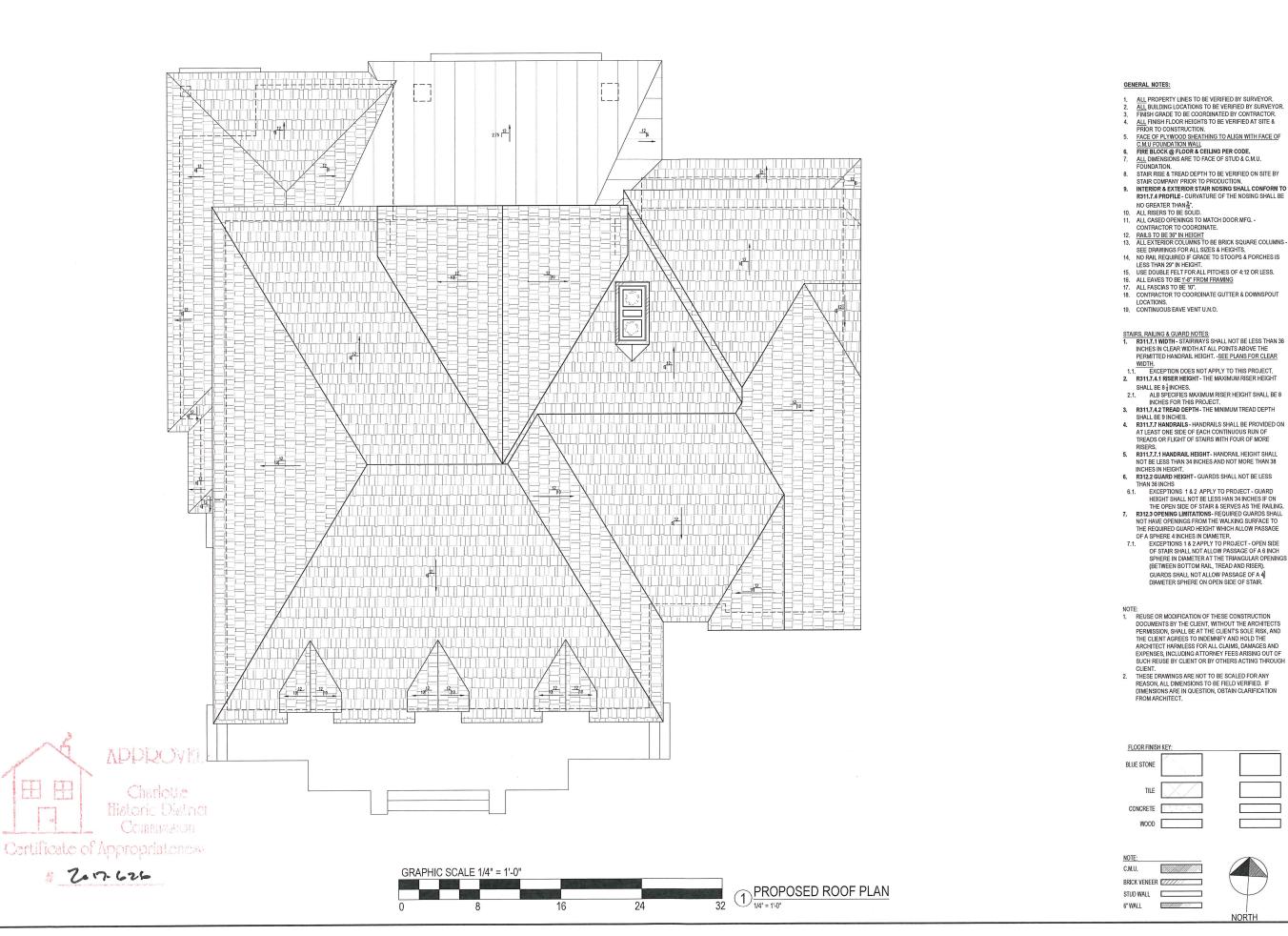
PROPOSED 2ND FLOOR 

OF: FOURTEEN

GRAPHIC SCALE 1/4" = 1'-0" 16

PROPOSED SECOND FLOOR PLAN

2017.626





ALB Architecture 1200 E. Morehead St.

Suite 240 Charlotte, NC 28204 Phone: 704.503.9595

brooks,alb@icloud.com uer.alb@icloud.com

his drawing and the design shown is to property of ALB Architecture and is to be reproduced or copied in hole or in part. Its use on any other oject is prohibited. This drawing is to returned upon request.

BARTIS RESIDENCE 1123 Berkeley Ave, Charlotte, NC 28204

 R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. FA SPHERE 4 INCHES IN DIAMETER.

EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE
OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH
SPHERE IN DIAMETER AT THE TRIANGULAR OPENING:
(BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 48 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:
1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT WITHOUT THE ARCHITECTS DOCUMENTS OF THE CLIENT, WITHOUT THE ARCHITECT PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES. INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH

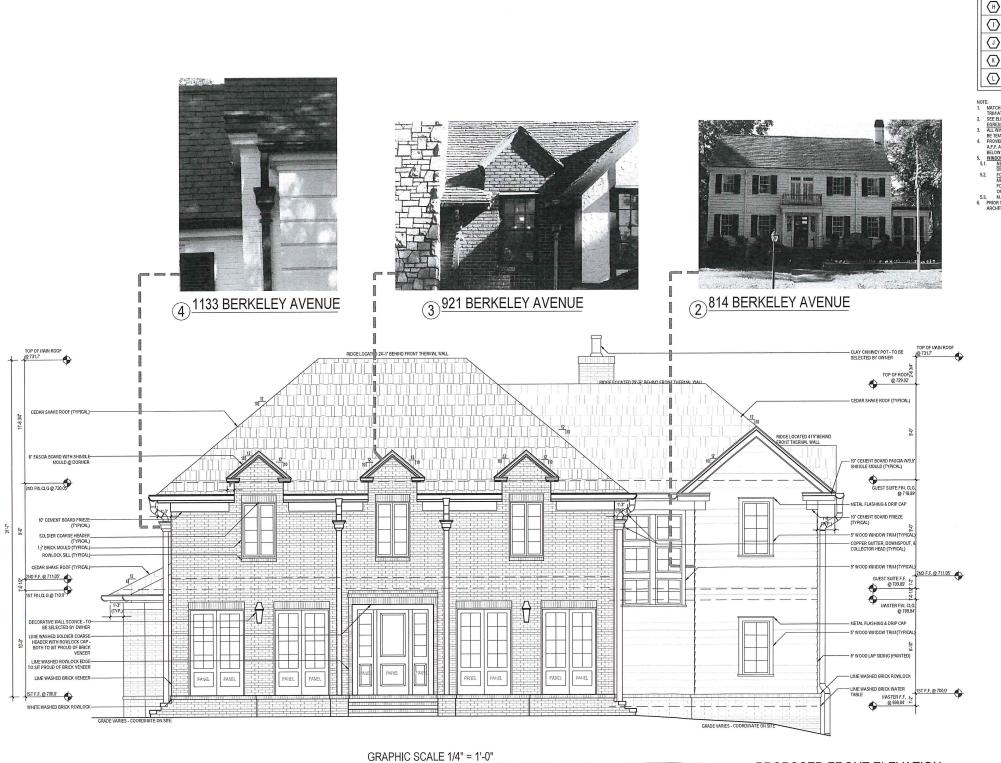
CLIENT.
THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY
REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

FLOOR FINISH KEY: PROJECT #: 17067 ISSUED: 20 OCTOBER 2017 REVISIONS:

PROPOSED ROOF PLAN

OF: FOURTEEN

HDC MEETING DATE: NOVEMBER 2017



24

32



MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS, SEE ELEVATIONS FOR MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR

MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.MUST

BE TEMPERED.
PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE

FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOM
MFG. INSTALL WITH DRIP CAP AND FLASHING, SEE ELEVATION

### GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR
- ALL PROPERTY LINES TO BE VERTIFIED BY SURVEYOR.
  ALL BUILDING LOCATIONS TO BE VERTIFIED BY SURVEYOR.
  FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  ALL FINISH FLOOR HEIGHTS TO BE VERTIFIED AT SITE &
  PRIOR TO CONSTRUCTION.

- PRIOR TO CONSTRUCTION.

  5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M. J FOUNDATION WALL.

  6. FIRE BLOCK @ FLOOR & CEILING PER CODE.

  7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U., FOUNDATION.

  8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.

  9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO PROTUCE TO PROTUCE SHALL BE STAIR CONFORM TO PROTUCE TO STAIR NOSING SHALL OF PROTUCE TO STAIR ADDRESS OF THE MOSING SHALL OF PROTUCE TO STAIR ADDRESS OF THE MOSING SHALL OF THE PROTUCE SHALL BE STAIR TO S
- R311 7 4 PROFILE CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 등".

  10. ALL RISERS TO BE SOLID.
- ALL RISERS TO BE SOULD.
   ALL CASED OPENINGS TO MATCH DOOR MFG. CONTRACTOR TO COORDINATE.
   RAILS TO BE 36' IN HEIGHT
   ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS.
- SEE DRAWINGS FOR ALL SIZES & HEIGHTS.

  14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29' IN HEIGHT.

  15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.

- 15. OSE DUDBLE FELL FOR ALL PICKES OF 4,12 OR LESS.

  16. ALL EAVES TO BE 10\*.

  18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.

  19. CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:

  1. R311.7.1 WIDTH STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. SEE PLANS FOR CLEAR WIDTH.

  EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT- THE MAXIMUM RISER HEIGHT
- SHALL BE 8 1 INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.

  3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH
- SHALL BE 9 INCHES.

  4. R311.7.7 HANDRAILS HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE
- RISERS.

  5. R311.7.7.1 HANDRAIL HEIGHT- HANDRAIL HEIGHT SHALL

- R311.7.7.1 HANDRAIL HEIGHT HANDRAIL HEIGHT SHALL NOT BE LESS THAM 34 INCHES AND NOT MORE THAM 38 INCHES IN HEIGHT.
   R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS THAM 36 INCHS
   SINCHS
   STALE SUBJECT GUARDS SHALL NOT BE LESS THAM 36 INCHS
   STALE SUBJECT GUARD GUARDS SHALL NOT HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVIES AS THE RAILING.
   7. R312.3 OPENING LIMITATIONS REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
   7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS
- SPHERE IN DIAMETER AT THE TRIANGULAR OPENING (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR

THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY



2017-626

Suite 240

rchitecture

ALB Architecture 1200 E. Morehead St.

Charlotte, NC 28204

brooks.alb@icloud.com

This drawing and the design shown is the property of ALB Architecture and is to to be reproduced or copied in whole or in part. Its use on any other roject is prohibited. This drawing is the returned upon request.

BARTIS RESIDENCE 1123 Berkeley Ave, Charlotte, NC 28204

Exclusively

- REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE THE CLIENT AGREES TO INDEMNIFT AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH
- REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

HDC MEETING DATE:

PROJECT #: 17067 ISSUED: 20 OCTOBER 201 REVISIONS:

PROPOSED FRONT FI EVATION

A-3.0OF: FOURTEEN

PROPOSED FRONT ELEVATION



(2) MODEL VIEW FROM SIDEWALK



24

32

### WINDOW SCHEDULE (ID) SIZE HEADER HEIGHT TYPE $\langle A \rangle$ 8'-0" FRENCH CASEMENT 3-0, X 6-0, $\bigcirc$ B TR 3-0" X 6-0" 8'-0" (C) 3'-0' X 5'-0' 7-0 0 8'-0" (1ST FLOOR) 8'-2" (GUEST WING) 3'-0' X 5'-0' CASEMENT (E) TR 3-0" X 5'-0" (F) 3-0. X 3-2. 7'-0" G 8'-0" (1ST FLOOR) 8'-2" (GUEST WING) 2-6" X 5'-0" $\langle H \rangle$ 8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR) 2-6" X4"-6" 2-6\* X 2-6\* SEE ELEVATION $\langle J \rangle$ 2-4" X 4"-6 $\langle K \rangle$ 2'-0' X 5'-0' 8'-0" 8'-0" (1ST FLOOR) 8'-2" (GUEST WING) (L) PR 2-0" X 5'-0"

PROPOSED RIGHT ELEVATION

- PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24' ABOVE
- WINDOW SIZING:

  NEW CONSTRUCTION DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS, UNIVERSIONS.
  FOR ADOTTOMS & REMODELS - MATCH EXISTING WINDOWS A DOOR
  MFG, INSTALL WITH DRIP CAP AND FLASHING , SEE BLEVATIONS
  FOR MULTIMI PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS
  OR TEMPERED GLASS.

### GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &
- PRIOR TO CONSTRUCTION. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL
- C.M.U FOUNDATION WALL
  FIRE BLOCK @ FLOOR & CEILING PER CODE.
  ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U.
  FOUNDATION. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY
- STAIR COMPANY PRIOR TO PRODUCTION.

  INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO
  R311.7.4 PROFILE CURVATURE OF THE NOSING SHALL BE
- NO GREATER THAN គឺ". 10. ALL RISERS TO BE SOLID.
- ALL RISERS TO BE SOLID.
   ALL CASED OPENINGS TO MATCH DOOR MFG. -CONTRACTOR TO COORDINATE.
- CONTRACTOR TO COORDINATE
  ALLS TO BE 36" IN HEIGHT
  ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS
  SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS
- LESS THAN 29" IN HEIGHT.
  USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 1'-8" FROM FRAMING ALL FASCIAS TO BE 10".
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT
- LOCATIONS.

  19. CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:
  1. R311.7.1 WIDTH STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.

  EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- 2. R311.7.4.1 RISER HEIGHT THE MAXIMUM RISER HEIGHT SHALL BE 8 1 INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT
- R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.

  4. R311.7.7 HANDRAILS HANDRAILS SHALL BE PROVIDED ON
- AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE
- RISERS.

  5. R311.7.7.1 HANDRAIL HEIGHT- HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- 6. R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS THAN 36 INCHS
  6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT GUARD
- HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON G.
  THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
  R312.3 OPENING LIMITATIONS REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- A SPHERE 4 INCHES IN DIAME IER.
  EXCEPTIONS 1 & 2 APPLY TO PROJECT OPEN SIDE
  OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH
  SPHERE IN DIAMETER AT THE TRIANGULAR OPENING: (BETWEEN BOTTOM RAIL, TREAD AND RISER) GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

- REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH
- 2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.



Historic Distric

Certificate of Appropriations

# 2017-626

BARTIS

Designed

rchitecture

ALB Architecture

1200 E. Morehead St. Suite 240 Charlotte, NC 28204

Phone: 704.503.9595

brooks.alb@icloud.com lauer.alb@icloud.com

This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

RESIDENCE
Ave, Charlotte, NC 28204

Berkeley Ave,

1123

PROJECT #. 17067 ISSUED: 20 OCTOBER 201 REVISIONS:

PROPOSED RIGHT ELEVATION A-3.1

OF: FOURTEEN



# 20.7-626

WINDOW SCHEDULE			
(D)	SIZE	HEADER HEIGHT	TYPE
A	3-0, X 6-0,	8:-0"	FRENCH CASEMENT
B	TR 3-0" X 6-0"	8'-0"	FRENCH CASEMENT
(c)	3-0' X 5-0'	T-0°	FRENCH CASEMENT
(D)	3-0' X 5-0'	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
F	3-0, X 3-2,	7-0"	FRENCH CASEMENT
G	2'-6' X 5'-0'	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
$\langle H \rangle$	2'-6" X4'-6"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
<u>-</u>	2-6" X 2-6"	SEE ELEVATION	FIXED
( <u>-</u> )	2'-4" X 4'-6"	8'-0" (1ST FLOOR)	CASEMENT
$\langle K \rangle$	2-0' X 5-0'	8:-0*	CASEMENT
(L)	PR 2'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

- DIE.

  MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND
  TRIMAT WINDOWS.

  SEE ELEVATIONS FOR MUNTIN PATTERN, <u>VERIFY ANY RECURREMENTS FOR
  EGRESS OR TEMPERED GASS.</u>

  ALL WINDOWS WITH 95 FOR GASS OR MORE & LESS THAN 18" AFF<u>MUST</u>
  ALL WINDOWS WITH 95 FOR GASS OR MORE & LESS THAN 18" AFF<u>MUST</u>

- DIMENSIONS.
  FOR ADDITIONS & REMODELS MATCH EXISTING YINDOW & DOO!
  MFG. INSTALL WITH DRIP CAP AND FLASHING, SEE ELEVATIONS
  FOR MUNITIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRES

### GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR
- 1. ALL PROPERTY LINES TO BE VENIFIED BY SURVEYOR.
  2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.

- PRIOR TO CONSTRUCTION.

  5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.

  6. FIRE BLOCK @ FLOOR & CEILUNG PER CODE.

  7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.

  8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.

  9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO PROTE OF A POPOLE C. PLOYAGINE OF THE NOSING SHALL SHALL BE
- R311.7.4 PROFILE CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 등.

  10. ALL RISERS TO BE SOLID.

- 10. ALL RISERS TO BE SOLID.

  11. ALL CASED OPENINGS TO MATCH DOOR MFG. CONTRACTOR TO COORDINATE.

  12. RAILS TO BE 35" IN HEIGHT

  13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS SEE DRAWINGS FOR ALL SIZES & HEIGHTS.

  14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS
- LESS THAN 29" IN HEIGHT.
  USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 1'-8" FROM FRAMING ALL FASCIAS TO BE 10".
- 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.

  19. CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:

  1. R311.7.1 WIDTH STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.

  EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- 2. R311.7.4.1 RISER HEIGHT THE MAXIMUM RISER HEIGHT SHALL BE 8 \$\frac{1}{4}\text{ INCHES.}
- STALL BE 94 INCHES.

  2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8
  INCHES FOR THIS PROJECT.

  3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH
- SHALL BE 9 INCHES.
  4. R311.7.7 HANDRAILS HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE
- RISERS.

  5. R311.7.7.1 HANDRAIL HEIGHT HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38

- NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.

  6. R3122 GUARD HEIGHT GUARDS SHALL NOT BE LESS THAN 36 INCHS

  6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.

  7. R312.3 OPENING LIMITATIONS RECURIED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE GEOLUBERG GUIARD SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE GEOLUBERG GUIARD BEIGHT WHICH ALL OW PASSACE THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE
- OF A SPHERE 4 INCHES IN DIAMETER.

  EXCEPTIONS 1 & 2 APPLY TO PROJECT OPEN SIDE
  OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENING (BETWEEN BOTTOM RAIL, TREAD AND RISER).
  GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR

- REUSE OR MODIFICATION OF THESE CONSTRUCTION
   DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS
   PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUG
- THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

ALB Architecture 1200 E. Morehead St. Suite 240 Charlotte, NC 28204 none: 704,503,9595

orooks.alb@icloud.com auer.alb@icloud.com

This drawing and the design shown is the property of ALB Architecture and i not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

9. MS-REAL

RESIDENCE
Ave, Charlotte, NC 28204 For Exclusively 1123 Berkeley Ave, BARTIS Designed

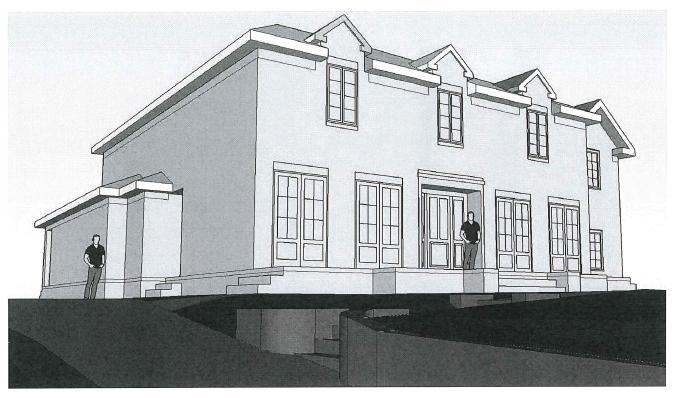
PROJECT #. 17067 ISSUED: 20 OCTOBER 2017 REVISIONS:

PROPOSED REAR ELEVATION A-3.2 OF: FOURTEEN



24

32



2 MODEL VIEW FROM END OF DRIVEWAY



24

32

GRAPHIC SCALE 1/4" = 1'-0"

WINDO	W SCHEDULE		
(D)	SIZE	HEADER HEIGHT	TYPE
A	3-0, X 6-0,	8:-0'	FRENCH CASEMENT
B	TR 3-0" X 6-0"	8:-0"	FRENCH CASEMENT
©	3-0, X 2-0,	7'-0'	FRENCH CASEMENT
0	3-0, X 2-0,	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
(E)	TR 3'-0' X 5'-0'	8-2" (GUEST WING) 8-0" (LIBRARY)	FRENCH CASEMENT
$\langle F \rangle$	3.0. X 3.2.	7'-0'	FRENCH CASEMENT
G	2'-6' X 5'-0'	8'-0' (1ST FLOOR) 8'-2' (GUEST WING)	CASEMENT
$\left\langle H\right\rangle$	2-6" X4'-6"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
<u>-</u>	2-6° X 2-6°	SEE ELEVATION	FIXED
$\overline{\bigcirc}$	2-4" X 4"-5"	8'-0" (1ST FLOOR)	CASEMENT
$\langle K \rangle$	2'-0" X 5'-0"	8'-0'	CASEMENT
$\langle \Gamma \rangle$	PR 2'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
SEE ELEVATIONS FOR MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR

- EGRESS OR TEMPERED GLASS. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.<u>MUST</u>

# GENERAL NOTES:

ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
FINISH GRADE TO BE COORDINATED BY CONTRACTOR.

TAGE OF THE OFFICE OFFICE OF THE OFFICE OFFICE

9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN ?.".

12. RAILS TO BE 36\* IN HEIGHT
13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS

SEE DRAWINGS FOR ALL SIZES & HEIGHTS.

NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS
LESS THAN 29' IN HEIGHT.

USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

SHALL BE 9 INCHES.

4. R311.77 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENING (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4

rchitecture LB Architecture 200 E. Morehead St.

uite 240

harlotte, NC 28204

rooks.alb@icloud.com auer.alb@icloud.com

his drawing and the design shown is to property of ALB Architecture and in to be reproduced or copied in hole or in part. Its use on any other roject is prohibited. This drawing is to returned upon request.

Charlotte, NC 28204

1123 Berkeley Ave,

RESIDENCE

BARTIS

For the:

Exclusively

Designed

ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
 FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF PLYWOOD SHEATHING WITH FACE OF

10. ALL RISERS TO BE SOLID

ALL CASED OPENINGS TO MATCH DOOR MFG. CONTRACTOR TO COORDINATE.

ALL EAVES TO BE 1-8" FROM FRAMING
ALL FASCIAS TO BE 10".
CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT

LOCATIONS.

19. CONTINUOUS EAVE VENT U.N.O.

WIDTH.

1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.

2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT

SHALL BE 8 INCHES.

2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8
INCHES FOR THIS PROJECT.

3. R31.7.4.2 TREAD DEPTH—THE MINIMUM TREAD DEPTH

5. R311.7.7.1 HANDRAIL HEIGHT- HANDRAIL HEIGHT SHALL

NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT - GUARDS SHALL NOT BE LESS

6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS

THAN 36 INCHS

6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.

7. R3123 OPENING LIMITATIONS - RECUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 HIOCHES IN DIAMETER.
7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE

DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION
DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS
PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAWAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH

CLIENT.

2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT

APPROVED Charlotta Historic District Certificate of Appropriateness

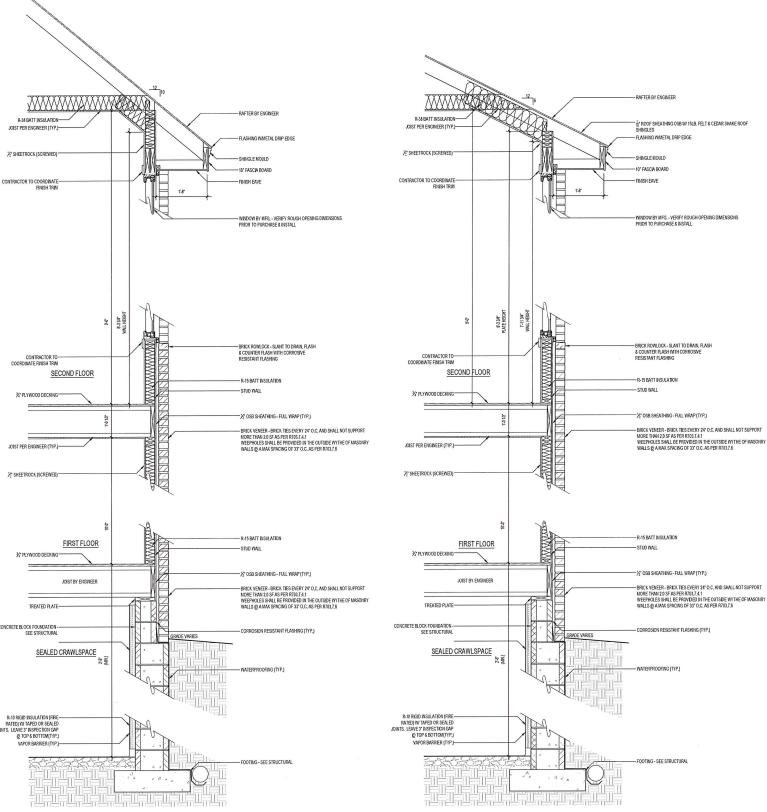
# 2017-626

HDC MEETING DATE: PROJECT #: 17067 ISSUED: 20 OCTOBER 2017 REVISIONS:

ROPOSED LEFT ELEVATIO

A-3.3 OF: FOURTEEN

PROPOSED LEFT ELEVATION





ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.

R311 7 4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN ក៏". 10. ALL RISERS TO BE SOLID.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR

SHALL BE 9 INCHES. 4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON

RISERS.

5. R311.7.7.1 HANDRAIL HEIGHT- HANDRAIL HEIGHT SHALL

R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE

THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY

Suite 240 Charlotte, NC 28204 Phone: 704.503,9595

ırchitectur ALB Architecture

This drawing and the design shown i the property of ALB Architecture and not to be reproduced or copied in

hole or in part. Its use on any other roject is prohibited. This drawing is t e returned upon request.

Charlotte, NC 28204

1123 Berkeley Ave,

RESIDENCE

BARTIS

Exclusively

ALL PROPERT LINES TO BE VERHIED BY SURVEYOR.
ALL BUILDING LOCATIONS TO BE VERHIED BY SURVEYOR.
FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
ALL FINISH FLOOR HEIGHTS TO BE VERHIED AT SITE &
PRIOR TO CONSTRUCTION.

brooks.alb@icloud.com lauer.alb@icloud.com

PRIOR TO CONSTRUCTION.

5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.

6. FIRE BLOCK @ FLOOR & CEILUNG PER CODE.

7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.

8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.

9. INTERIOR & EXTERIOR STAIR NOSING SHALL BE CONTROL OF SHALL BE CONTROL.

ALL RISERS DE SOLID.
 ALL CASED OPENINGS TO MATCH DOOR MFG. CONTRACTOR TO COORDINATE.
 RAILS TO BE 36" IN HEIGHT
 ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS.

SEE DRAWINGS FOR ALL SIZES & HEIGHTS. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29' IN HEIGHT.

15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.

16. ALL EAVES TO BE 1-8" FROM FRAMING
17. ALL FASCIAS TO BE 10".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

WIDTH.

1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.

2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT

SHALL BE 8 1 INCHES.

STALL BE 8 | INCHES.

2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8
INCHES FOR THIS PROJECT.

3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH

AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS

HAN 36 INCHS

EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD

HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON

THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.

OF A SPHERE 4 INCHES IN DIAMETER.

EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE
OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENING (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 43 DIAMETER SPHERE ON OPEN SIDE OF STAIR

REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH

PIESE DRAWINGS ARE NOT TO BE SAFED FOR MY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

HDC MEETING DATE:

PROJECT #: 17067 ISSUED: 20 OCTOBER 201 REVISIONS:

SECTIONS & DETAILS

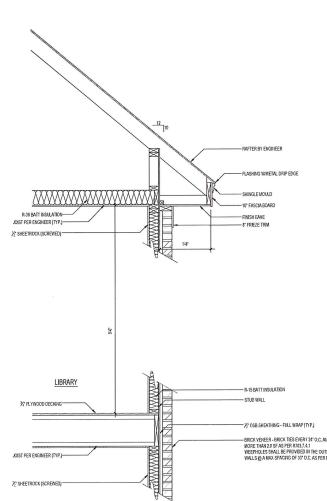
OF: FOURTEEN

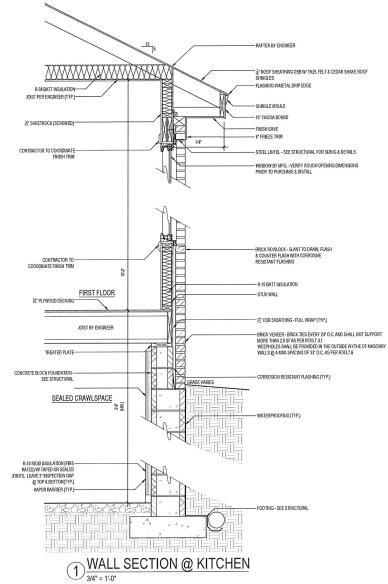
 $\bigcirc \underbrace{\text{WALL SECTION @ LEFT \& RIGHT}}_{3/4^*=1^{\text{L}}0^{\text{*}}}$ 

 $\bigcirc \underbrace{\text{WALL SECTION @ FRONT \& REAR}}_{3/4"=1"\cdot 0"}$ 

APPROVED Charlotte Historic District Certificate of Appropriatoreas

#2017-626







ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.

Suite 240 Charlotte, NC 28204 Phone: 704.503.9595

rchitecture ALB Architecture

1200 E. Morehead St.

brooks.alb@icloud.com lauer.alb@icloud.com

his drawing and the design shown is he property of ALB Architecture and i to to be reproduced or copied in whole or in part. Its use on any other roject is prohibited. This drawing is to refurmed upon request.

RESIDENCE
Ave, Charlotte, NC 28204

Berkeley Ave,

STAIR COMPANY PRIOR TO PRODUCTION.

INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE

ALL RISERS TO BE SOLID.
 ALL CASED OPENINGS TO MATCH DOOR MFG. CONTRACTOR TO COORDINATE.

18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT

STAIRS, RAILING & GUARD NOTES:
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

WIDTH.

EXCEPTION DOES NOT APPLY TO THIS PROJECT.

ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8

AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

RISERS.

5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.

R3122 GUARD HEIGHT - GUARDS SHALL NOT BE LESS
 THAN 36 INCHS
 EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD

1.1. EXCEPTIONS 1 & Z APPLY TO PROJECT 1 - GOARD
HEIGHT SHALL NOT BE LESS HAN 3 KINCHES IF ON
THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
R3123 OPENING SIMITATIONS - REQUIRED GUARDS SHALL
NOT HAVE OPENINGS FROM THE WALKING SURFACE TO
THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE

A SPHERE 4 INCHES IN DIAME IER.

EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE

OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH

SPHERE IN DIAMETER AT THE TRIANGULAR OPENING (BETWEEN BOTTOM RAIL, TREAD AND RISER).

THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY

ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. FINISH GRADE TO BE COORDINATED BY CONTRACTOR. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.

PRIOR TO CONSTRUCTION.

5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.

6. FIRE BLOCK @ FLOOR & CELIUNG PER CODE.

7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.

8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY

NO GREATER THAN 등.

10. ALL RISERS TO BE SOLID.

12. RAILS TO BE 36\* IN HEIGHT

13. ALL EXTERIOR COLUMNIS TO BE BRICK SQUARE COLUMNS SEE DRAWINGS FOR ALL SIZES & HEIGHTS.

14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS

LESS THAN 29' IN HEIGHT.

15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.

16. ALL EAVES TO BE 1-9\* FROM FRAMING

17. ALL FASCIAS TO BE 10'.

LOCATIONS.

19. CONTINUOUS EAVE VENT U.N.O.

2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 \$\frac{1}{4}\text{ INCHES.} \]
2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE \$\frac{1}{4}\text{ INCHES.} \]

2.1. ALB GREENING INVOLVENTING THE DEC INCHES FOR THIS PROJECT.

3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.

4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON

OF A SPHERE 4 INCHES IN DIAMETER.

GUARDS SHALL NOT ALLOW PASSAGE OF A 48 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

 REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS
PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND
THE CLIENT AGREES TO INDEMNIFY AND HOLD THE
ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROU CLIENT.

REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

HDC MEETING DATE:

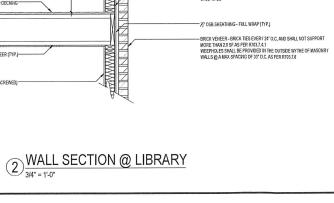
BARTIS

PROJECT #: 17067 ISSUED: 20 OCTOBER 201 REVISIONS:

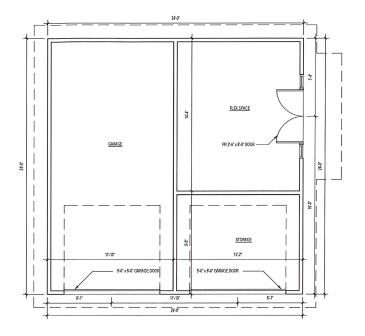
SECTIONS & DETAILS

OF: FOURTEEN

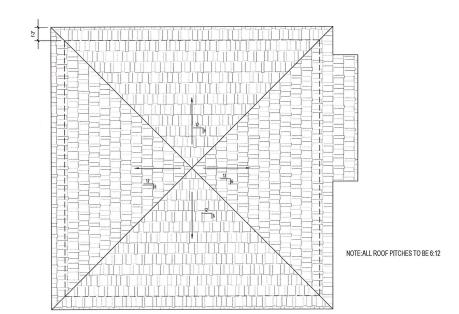




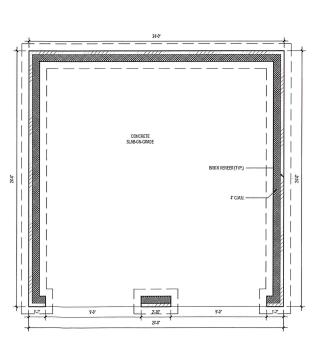
# 2017-626



2 PROPOSED GARAGE PLAN



3 PROPOSED GARAGE PLAN



 $\bigcirc \frac{\mathsf{PROPOSED}}{\mathsf{Id} \mathsf{Id}^* = \mathsf{1}^* \mathsf{LO}^*} \mathsf{PROPOSED} \mathsf{GARAGE} \mathsf{FOUNDATION} \mathsf{PLAN}$ 

GENERAL NOTES:

ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
FINISH GRADE TO BE COORDINATED BY CONTRACTOR.

3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &
PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
C.M.U FOUNDATION WALL
6. FIRE BLOCK © FLOOR & CELINO PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U.
FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY
STAIR COMPANY PRIOR TO PRODUCTION.

STAIR COMPANY PRIOR TO PRODUCTION.

NITERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 8.".

NO GREATER HANTS.
 ALL RISERS TO BE SOLID.
 ALL CASED OPENINGS TO MATCH DOOR MFG.-CONTRACTOR TO COORDINATE.

12. RAILS TO BE 36" IN HEIGHT
13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS

SEE DRAWINGS FOR ALL SIZES & HEIGHTS.

14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29' IN HEIGHT.

15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.

16. ALL EAVES TO BE 1'-8' FROM FRAMING
17. ALL FASCIAS TO BE 10".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT

LOCATIONS.

19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH- STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT, -SEE PLANS FOR CLEAR

WIDTH.

1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.

2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT

SHALL BE 8 INCHES.

2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.

3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH

SHALL BE 9 INCHES.

4. R311.71 HANDRAILS. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

5. R311.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT. 6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS

THAN 36 INCHS

6.1. EXCEPTIONS 1.8.2 APPLY TO PROJECT - GUARD
HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON
THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.

THE OPEN SIDE OF STAIR & SERVES AS THE RAILING,

7. R312.0 SPENING LIMITATIONS - REQUIRED GUARDS SHALL
NOT HAVE OPENINGS FROM THE WALKING SURFACE TO
THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE
OF A SPHERE 4 INCHES IN DIAMETER.

7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE
OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH

SPHERE IN DIAMETER AT THE TRIANGULAR OPENING (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 48 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION
DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS
PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH

CLIENT.
THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY
REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF
DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION

Suite 240

harlotte, NC 28204 hone: 704.503.9595

rchitecture ALB Architecture 1200 E. Morehead St.

brooks.alb@icloud.com lauer.alb@icloud.com

his drawing and the design shown is he property of ALB Architecture and i ot to be reproduced or copied in whole or in part. Its use on any other roject is prohibited. This drawing is t e returned upon request.

1123 Berkeley Ave, Charlotte, NC 28204 RESIDENCE Exclusively

BARTIS

HDC MEETING DATE:

PROJECT #. 17067 ISSUED: 20 OCTOBER 201' REVISIONS:

PROPOSED GARAGE PLANS

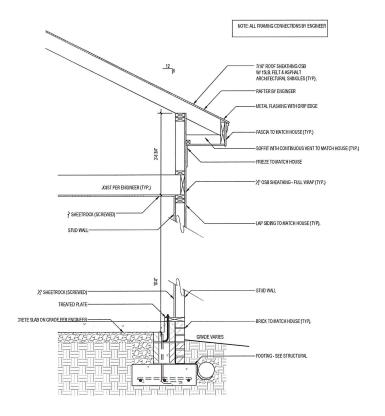
A-6.0 BRICK VENEER

OF: FOURTEEN

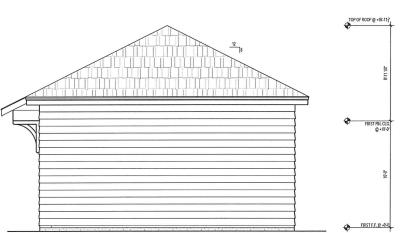




# LO17-626



 $4) \frac{\text{TYPICAL WALL SECTION}}{3/4^* = 1^{1} \cdot 0^*}$ 



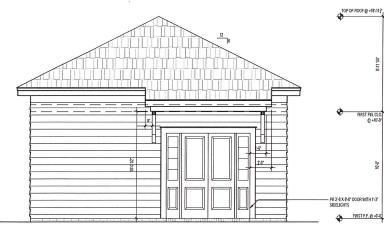
NOTE: ALL ROOF PITCHES TO BE 6:12 DOOR TRIM TO MATCH THE HOUSE

 $\bigcirc \frac{\mathsf{PROPOSED} \; \mathsf{REAR} \; \mathsf{ELEVATION}}{\mathsf{1}\mathsf{1}\mathsf{1}^{\mathsf{1}} \cdot \mathsf{1}^{\mathsf{1}}\mathsf{0}^{\mathsf{1}}}$ 



CONTRACTOR TO COORDINATE SARAGE DOOR STYLE & SIZE APSIDING TO MATCH THE HOUSE

FIRST F.F. (0 +0'-0)



ALB Architecture 1200 E. Morehead St. Suite 240 Charlotte, NC 28204 Phone: 704 503 9595

brooks.alb@icloud.com lauer.alb@icloud.com

his drawing and the design shown is the property of ALB Architecture and is of to be reproduced or copied in thole or in part. Its use on any other roject is prohibited. This drawing is to returned upon request.

PRIOR I COURS FRUCTION.

FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.

FIRE BLOCK & FLOOR & CEILING PER CODE.

ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.

STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY CRIME ON A MAY DEPTH TO BE VERIFIED ON SITE BY CRIME ON A MAY DROPE TO DEPONDETION.

ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.

ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. FINISH GRADE TO BE COORDINATED BY CONTRACTOR. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.

STAIR RISE & TREAD LEFT IT O BE VERHIELD ON SHE BY STAIR COMPANY PRIOR TO PRODUCTION.
 INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE

NO GREATER THAN \$\frac{1}{2}\tau\$.

10. ALL RISERS TO BE SOLID.

11. ALL CASED OPENINGS TO MATCH DOOR MFG, -

GENERAL NOTES:

CONTRACTOR TO COORDINATE.

12. RAILS TO BE 35' IN HEIGHT

13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS SEE DRAWINGS FOR ALL SIZES & HEIGHTS.

14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS

LESS THAN 29" IN HEIGHT.

15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.

16. ALL EAVES TO BE 1-25 FROM FRAMING

17. ALL FASCIAS TO BE 10".

18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.

19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.71 WIDTH- STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.

WIDTH.

EXCEPTION DOES NOT APPLY TO THIS PROJECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT

2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 9 INCHES.
2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.1 ANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TECHNOR DE LICHAT OF EMBER WITH CRUIP OF LANGE. TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

RISERS.

5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38

NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.

R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS

6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON

THE OPEN SIDE OF STAIR & SERVES AS THE RAILING,
R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL
NOT HAVE OPENINGS FROM THE WALKING SURFACE TO
THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER

A SPHERE 4 INCHES IN DIAMELER.
EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE
OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH
SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 48 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

 REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS
PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND
THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUG CLIENT.

2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY

REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION

RESIDENCE For the: Exclusively BARTIS Designed

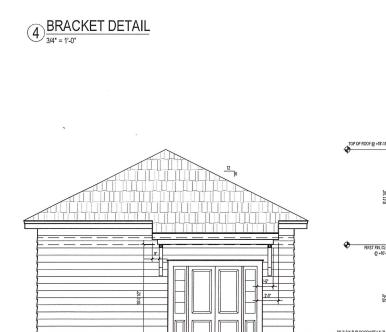
Charlotte, NC 28204

1123 Berkeley Ave,

PROJECT #: 17067 ISSUED: 20 OCTOBER 201 REVISIONS:

PROPOSED GARAGE ELEVATIONS

OF: FOURTEEN



3 PROPOSED RIGHT ELEVATION