



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS-Amended

CERTIFICATE NUMBER: 2017-00626

DATE: April 20, 2018

ADDRESS OF PROPERTY: 1123 Berkeley Avenue

TAX PARCEL NUMBER: 12310203

HISTORIC DISTRICT: Dilworth

OWNER/APPLICANT: Joel Bartis/Angie Lauer, ALB Architecture

DETAILS OF APPROVED PROJECT: The project is a two story single family house, pool, driveway, retaining wall and detached garage. House height from finished floor is approximately 31'-7". The front setback is approximately 47 feet from Right of Way. Building materials are brick and wood lap siding with wood trim, cedar shake roof, copper gutters and downspouts and wood STDL windows. Frieze boards on the house and garage are smooth cementitious siding material. Mechanical units are located in the right side yard and screened with a fence and/or landscaping. The pool size is 20' x 50' with materials noted on the site plan. The two car garage is one story with carriage style doors in a material that meets the HDC design guidelines. The retaining wall will be constructed of a masonry material that meets the HDC design guidelines, no interlocking concrete block.

The project was approved by the HDC November 8, 2017.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman

Staff



VICINITY MAP



NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

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- A-3.1 Proposed Right Elevation
- A-3.2 Proposed Rear Elevation
- A-3.3 Proposed Left Elevation
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- A-4.1 Wall Sections & Details
- A-4.2 Waterproofing Detail
- A-5.0 First Floor Lighting Layout (N/A)
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- A-6.1 Garage Elevations



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Designed Exclusively For the:
BARTIS RESIDENCE
1123 Berkeley Ave, Charlotte, NC 28204



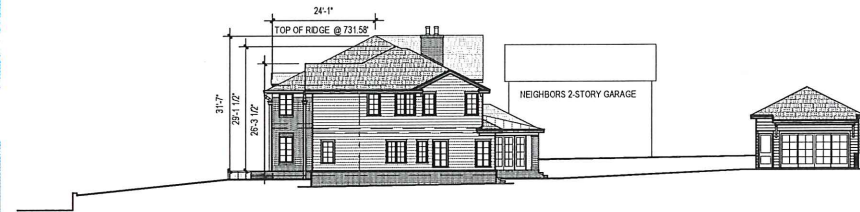
HDC MEETING DATE:
NOVEMBER 2017

PROJECT # 17067
ISSUED: 20 OCTOBER 2017
REVISIONS:

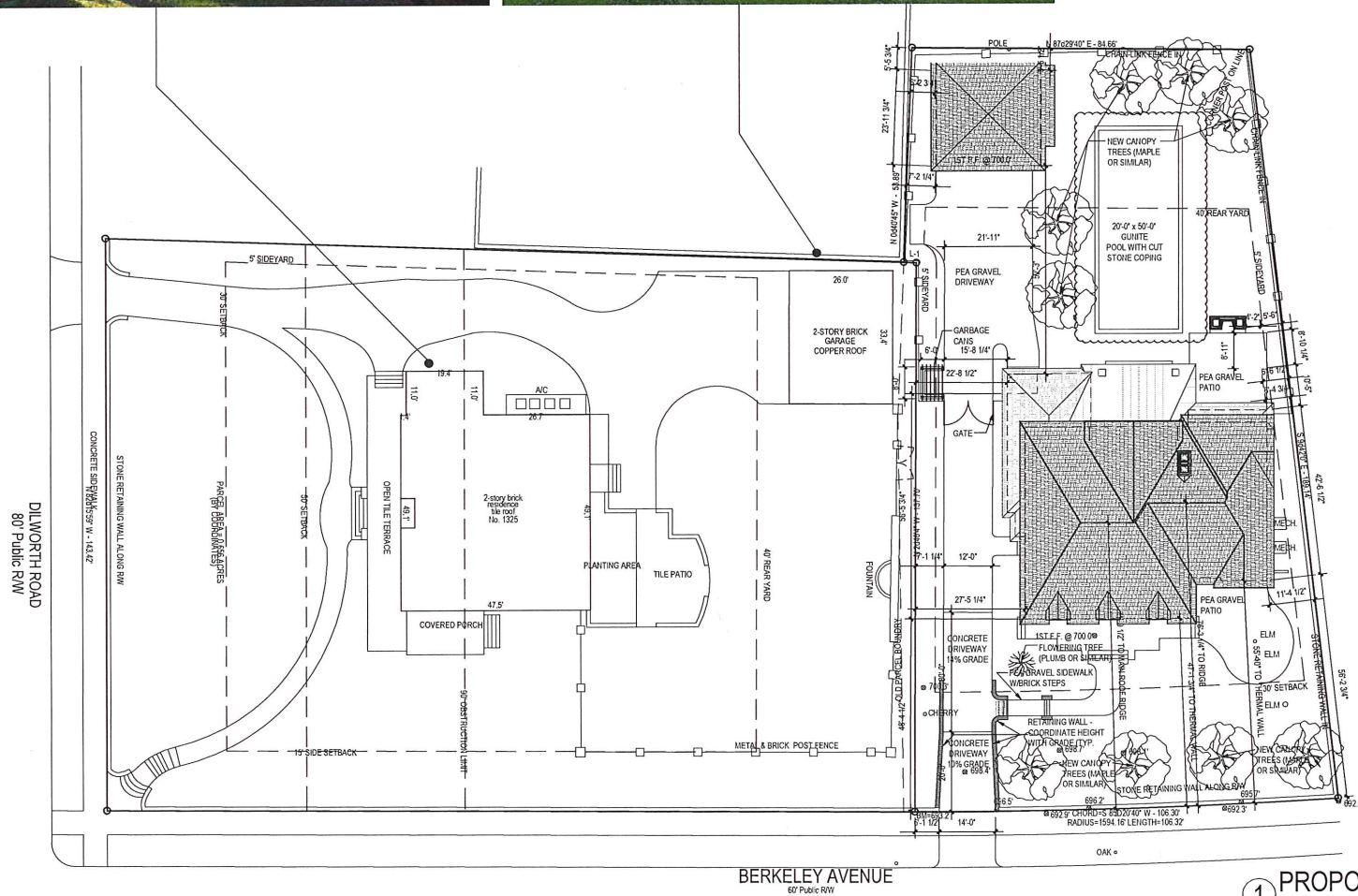
COVER SHEET

A-0

OF: FOURTEEN



4 RIGHT SIDE ELEVATION WITH GARAGE
1" = 20'-0"



1 PROPOSED SITE PLAN
1" = 20'-0"

RESIDENCE CALCULATIONS	
TOTAL EXISTING HEATED AREA	0
TOTAL PROPOSED HEATED AREA	5555
PROPOSED UNHEATED	
REAR PORCH	356
REAR ENTRY	38
SIDE ENTRY	17
GARAGE	554
COVERED PATIO	216
POOL	1144
TOTAL	2325
REAR YARD PERMEABILITY CALCULATIONS (MAX. 50% PER HDC)	
REAR YARD AREA	7319
HOUSE ADDITION	0
GARAGE	554
PATIO	216
POOL	1144
TOTAL	1914
TOTAL PERMEABLE AREA	26%
OPEN SPACE CALCULATIONS (65% MIN. REQUIRED)	
TOTAL AREA OF SITE	18174
FOOT PRINT OF HOUSE	3815
FOOT PRINT OF GARAGE	554
TOTAL AREA	4369
PERCENTAGE OF OPEN SPACE	76%

2 AREA CALCULATIONS

GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U. FOUNDATION WALL.
- FIRE BLOCK @ FLOOR & CEILING PER CODE.
- DRAFTSTOPPING SHALL BE COORDINATED BY CONTRACTOR AND VERIFIED BY FIELD INSPECTOR.
- ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{1}{8}$ ".
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 28" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 1'-8" FROM FRAMING.
- ALL FASCIAS TO BE 10".
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.
 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{4}$ INCHES.
 - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
- R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
- R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

- REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECT'S PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
- THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

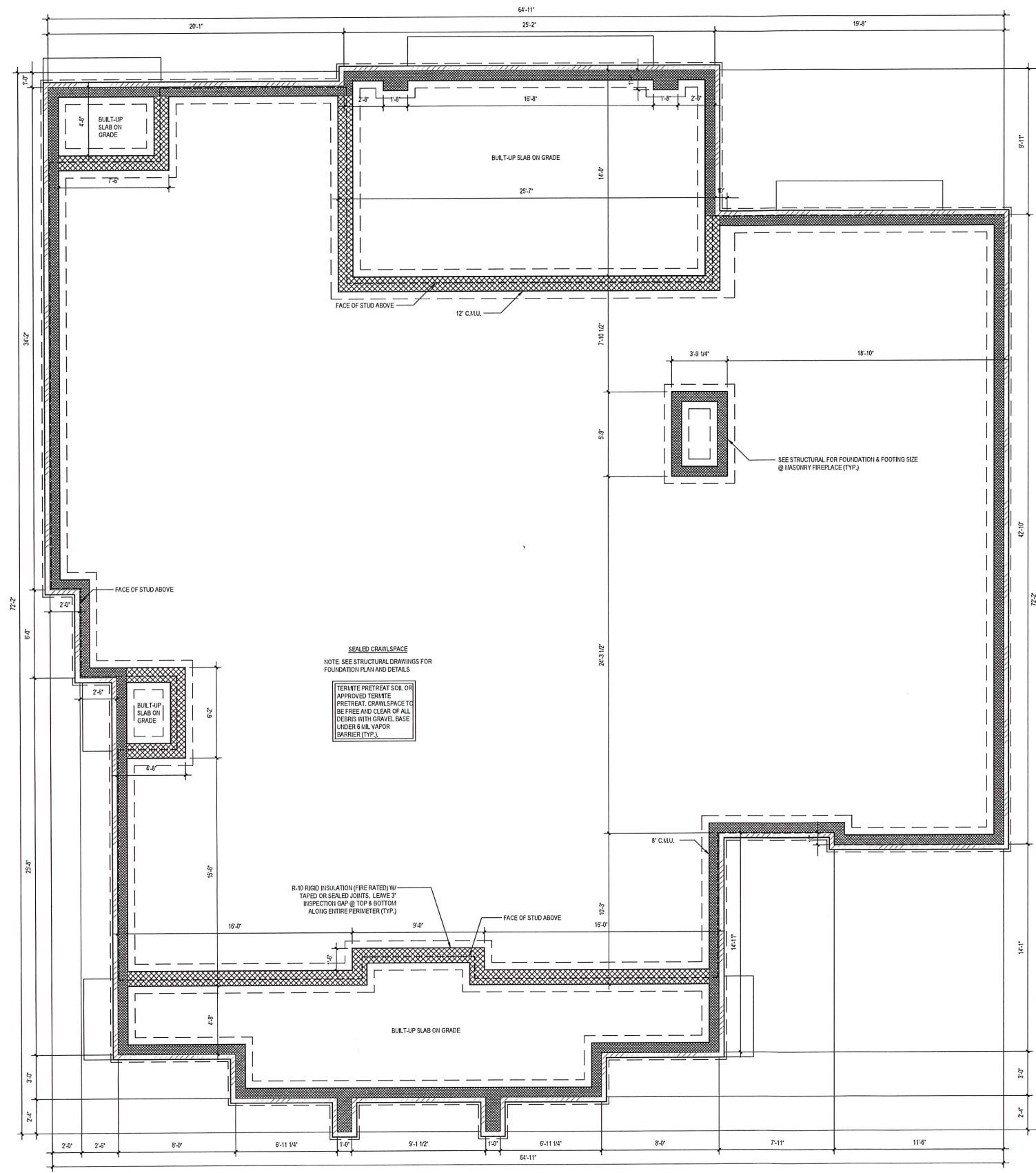
NOTE:

- EXPOSED AGGREGATE
CONCRETE
PEA GRAVEL
RETAINING WALL
- KEY:
WALL TO BE REMOVED
ITEM TO BE REMOVED

LEGEND:

- BOUNDARY LINE
OVERHEAD UTILITIES
FENCE (TYPE NOTED)
UTILITY POLE
R.W. RIGHT OF WAY
E.P. EDGE OF PAVEMENT
C.L. CENTERLINE





GENERAL NOTES:

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4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U. FOUNDATION WALL.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
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8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{1}{8}$ ".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 1'-8" FROM FRAMING.
17. ALL FASCIAS TO BE 10".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{4}$ INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
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- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 $\frac{1}{8}$ DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

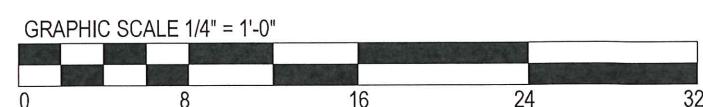
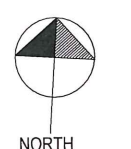
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FLOOR FINISH KEY:

BLUE STONE		
TILE		
CONCRETE		
WOOD		

NOTE:

C.M.U.	
BRICK VENEER	
STUD WALL	
6" WALL	



1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"



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HDC MEETING DATE:
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PROJECT #: 17067
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PROPOSED FOUNDATION
PLAN
A-2.0
OF: FOURTEEN



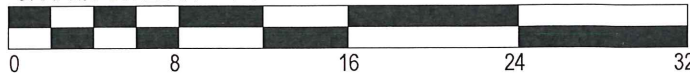
Certificate of Appropriateness

2017-626

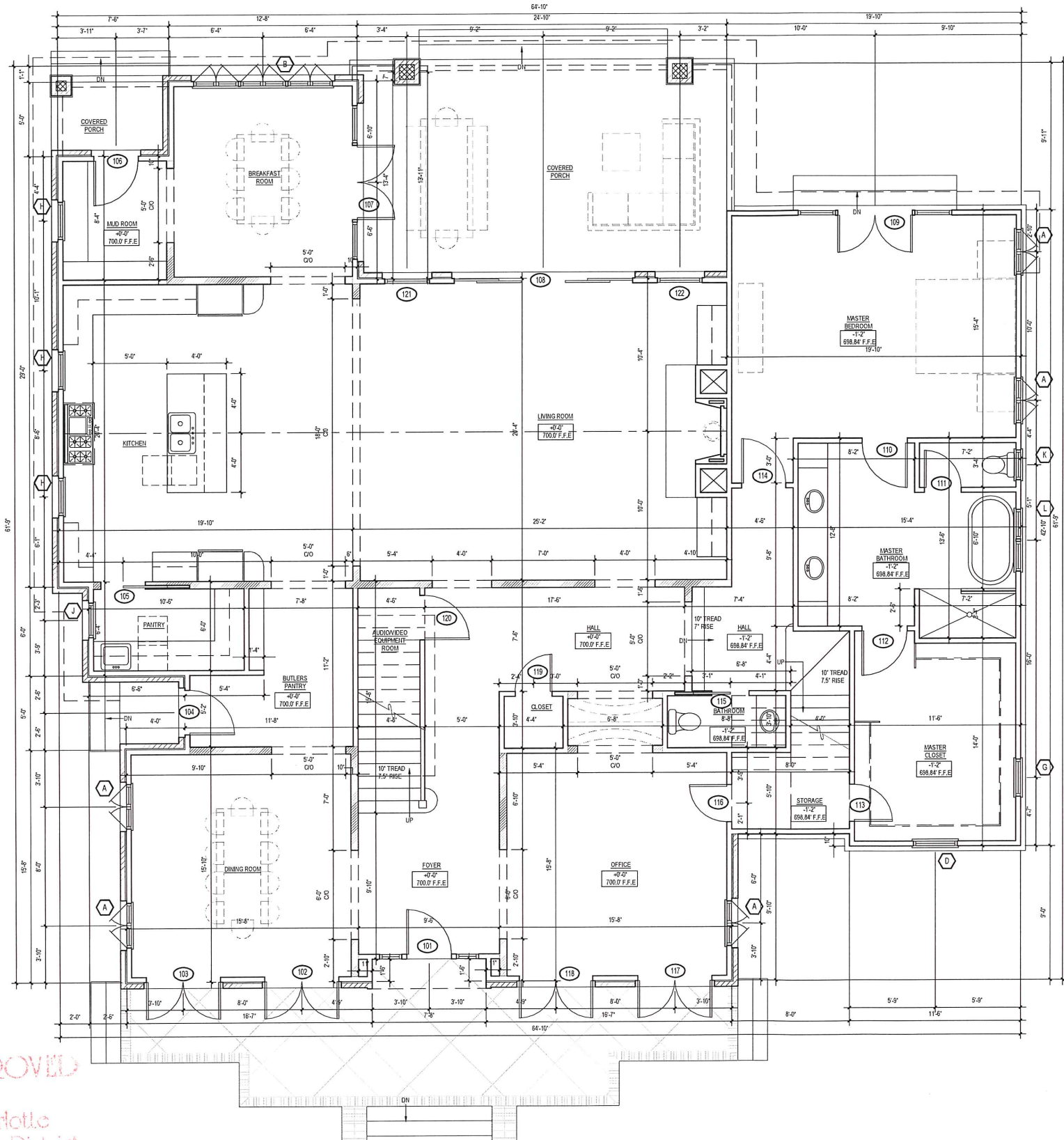
APPROVED

Charlotte
Historic District
Commission

GRAPHIC SCALE 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 8'-0"	8'-0"	FRENCH CASEMENT
B	TR 3'-0" X 5'-0"	8'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
F	3'-0" X 3'-5"	7'-0"	FRENCH CASEMENT
G	2'-5" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
H	2'-5" X 4'-5"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
I	2'-4" X 2'-5"	SEE ELEVATION	FIXED
J	2'-4" X 4'-5"	8'-0" (1ST FLOOR)	CASEMENT
K	2'-0" X 5'-0"	8'-0"	CASEMENT
L	PR 2'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 - SEE ELEVATIONS FOR MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE BELOW.
 - WINDOW SIZING:
 - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - M.E. - MATCH EXISTING
 - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

FIRST FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
101	3'-0" x 8'-0" WITH 18" SIDELIGHTS	FOYER
102	PR 2'-5" x 8'-0"	DINING ROOM EXTERIOR
103	PR 2'-5" x 8'-0"	DINING ROOM EXTERIOR
104	3'-0" x 8'-0"	BUTLER'S PANTRY EXTERIOR
105	3'-0" x 8'-0" POCKET DOOR	PANTRY
106	3'-0" x 8'-0"	MUD ROOM EXTERIOR
107	PR 2'-5" x 8'-0" WITH 30" SIDELIGHT	BREAKFAST ROOM EXTERIOR
108	12'-0" x 8'-0" SLIDER	LIVING ROOM EXTERIOR
109	PR 2'-5" x 8'-0" WITH 30" SIDELIGHT	MASTER BEDROOM EXTERIOR
110	3'-0" x 8'-0"	MASTER BATHROOM
111	2'-5" x 8'-0"	MASTER BATHROOM
112	3'-0" x 8'-0"	MASTER CLOSET
113	2'-5" x BUILD TO FIT	STORAGE
114	3'-0" x 8'-0"	MASTER BEDROOM
115	2'-5" x 8'-0" POCKET	BATHROOM
116	2'-5" x BUILD TO FIT	STORAGE
117	PR 2'-5" x 8'-0"	OFFICE EXTERIOR
118	PR 2'-5" x 8'-0"	OFFICE EXTERIOR
119	2'-5" x 8'-0"	CLOSET
120	3'-0" x 8'-0"	AUDIO/VIDEO EQUIPMENT ROOM
121	3'-0" x 8'-0" DOOR BLANK	LIVING ROOM
122	3'-0" x 8'-0" DOOR BLANK	LIVING ROOM

FLOOR FINISH KEY:

BLUE STONE		
TILE		
CONCRETE		
WOOD		

NOTE:

C.M.U.	
BRICK VENEER	
STUD WALL	
6" WALL	



STAIRS, RAILING & GUARD NOTES:

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HDC MEETING DATE:
NOVEMBER 2017

PROJECT # 17067
ISSUED: 20 OCTOBER 2017
REVISIONS:

PROPOSED 1ST FLOOR
PLAN

A-2.1

OF: FOURTEEN



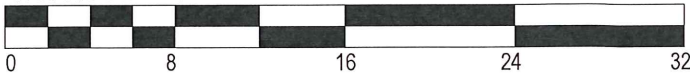
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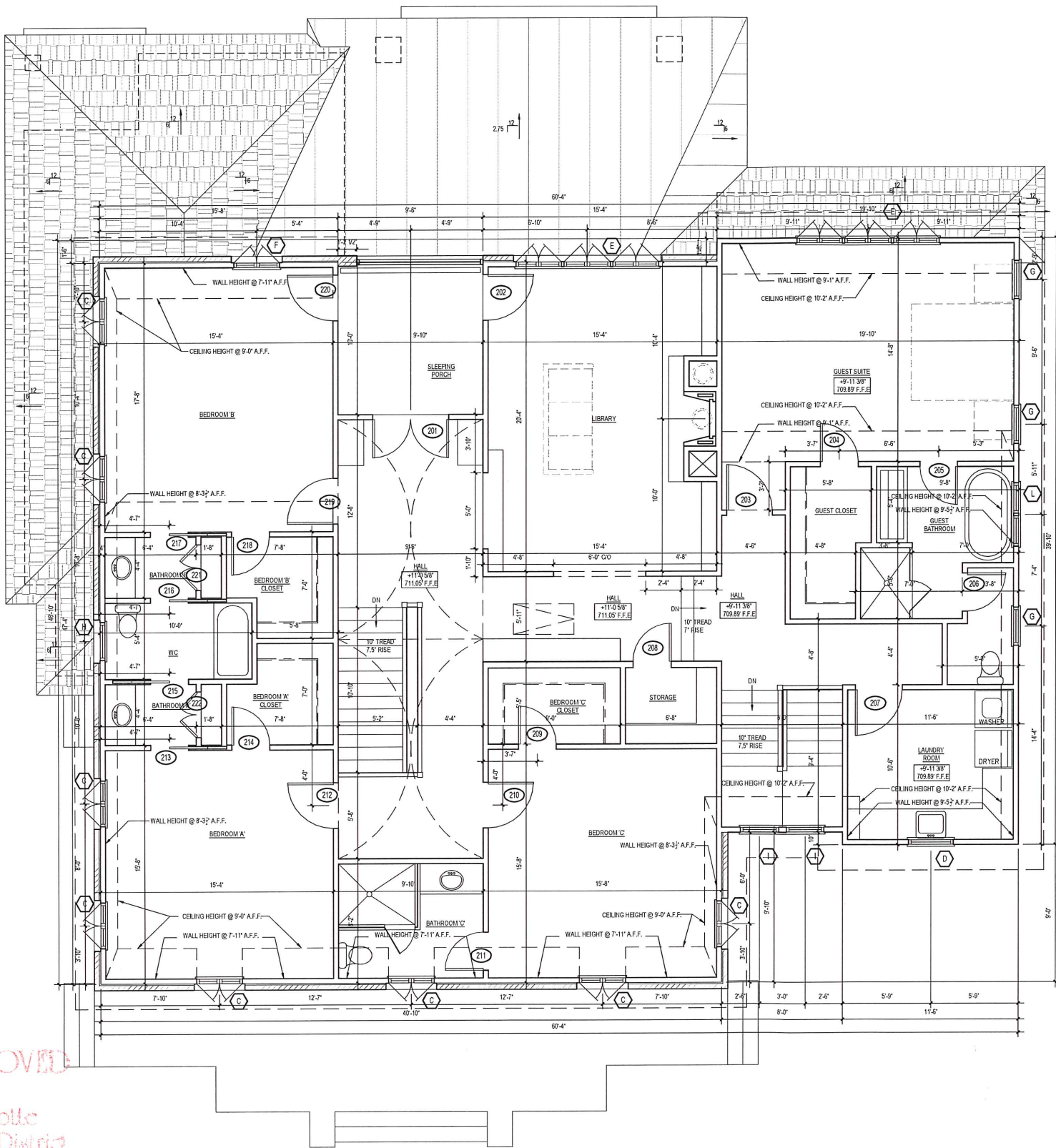
Certificate of Appropriateness

2017-226

GRAPHIC SCALE 1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
B	TR 3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
F	3'-0" X 3'-5"	7'-0"	FRENCH CASEMENT
G	2'-5" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
H	2'-5" X 4'-5"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
I	2'-5" X 2'-5"	SEE ELEVATION	FIXED
J	2'-4" X 4'-5"	8'-0" (1ST FLOOR)	CASEMENT
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- NOTE:
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 - M.E. - MATCH EXISTING
 - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

SECOND FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
201	PR 2'-5" X 7'-0"	HALL EXTERIOR
202	3'-0" X 7'-0"	LIBRARY EXTERIOR
203	3'-0" X 7'-0"	GUEST SUITE
204	2'-5" X 7'-0"	GUEST SUITE
205	2'-5" X 7'-0"	GUEST SUITE
206	2'-5" X 7'-0"	GUEST BATHROOM
207	3'-0" X 7'-0"	LAUNDRY
208	2'-5" X 7'-0"	STORAGE
209	2'-5" X 7'-0"	BEDROOM 'C' CLOSET
210	3'-5" X 7'-0"	BEDROOM 'C'
211	2'-5" X 7'-0"	BATHROOM 'C'
212	3'-0" X 7'-0"	BEDROOM 'A'
213	2'-5" X 7'-0"	BATHROOM 'A'
214	2'-5" X 7'-0"	BEDROOM 'A' CLOSET
215	2'-5" X 7'-0"	WC
216	2'-5" X 7'-0"	WC
217	2'-5" X 7'-0"	BATHROOM 'B'
218	2'-5" X 7'-0"	BEDROOM 'B' CLOSET
219	3'-0" X 7'-0"	BEDROOM 'B'
220	3'-0" X 7'-0"	BEDROOM 'B' EXTERIOR
221	PR 3'-0" X 7'-0"	BATHROOM 'B'
222	PR 3'-0" X 7'-0"	BATHROOM 'A'

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FLOOR FINISH KEY:

BLUE STONE		
TILE		
CONCRETE		
WOOD		

- NOTE:
- C.M.U.
 - BRICK VENEER
 - STUD WALL
 - 6" WALL



- GENERAL NOTES:
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
 - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
 - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
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 - FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U. FOUNDATION WALL.
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 - ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
 - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
 - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
 - ALL RISERS TO BE SOLID.
 - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
 - RAILS TO BE 36" IN HEIGHT
 - ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
 - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 28" IN HEIGHT.
 - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
 - ALL EAVES TO BE 1'-8" FROM FRAMING
 - ALL FASCIAS TO BE 10".
 - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
 - CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
 - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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- R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
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 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

Designed Exclusively For the:
BARTIS RESIDENCE
1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:
NOVEMBER 2017

PROJECT #: 17067
ISSUED: 20 OCTOBER 2017
REVISIONS:

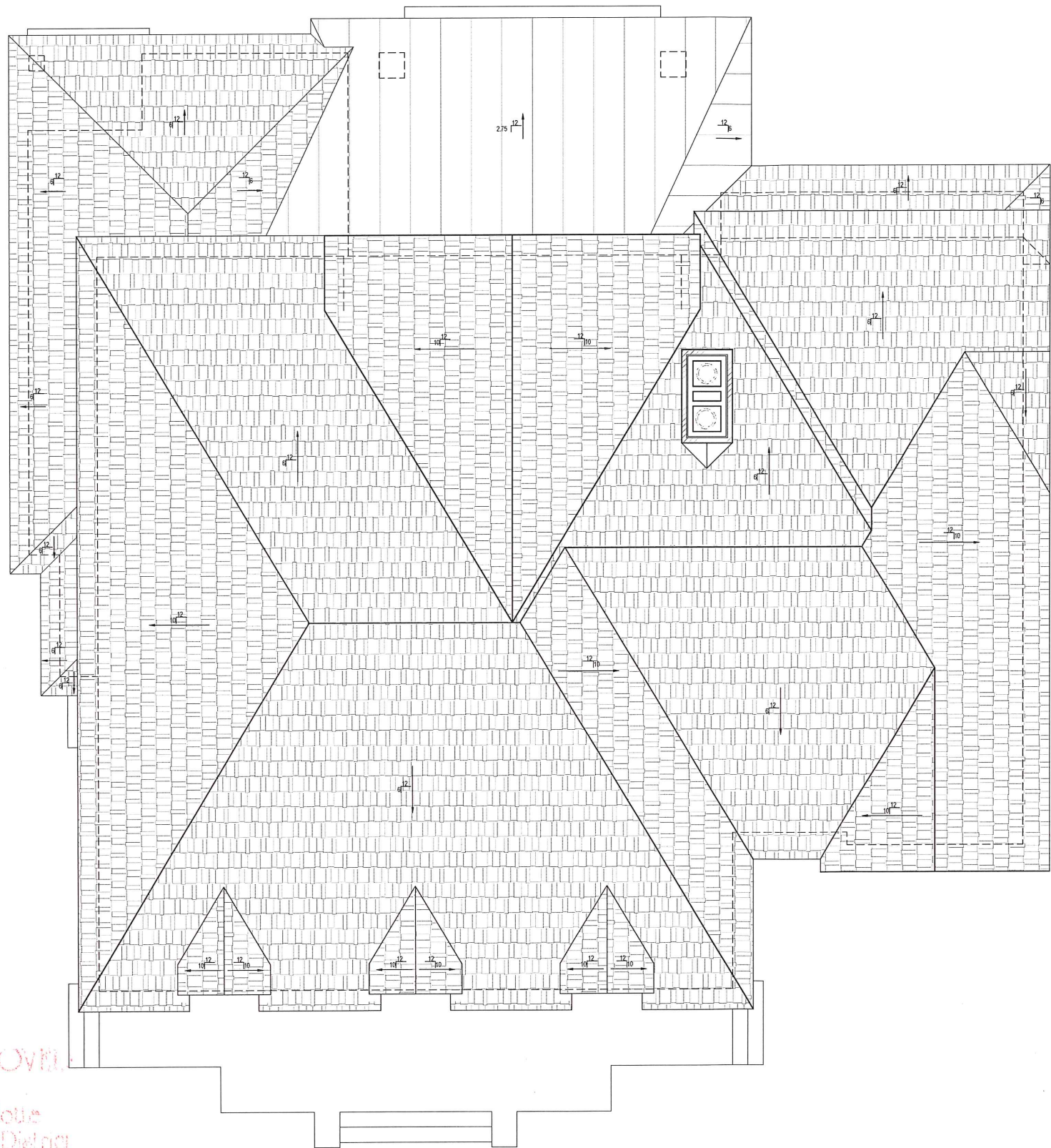
PROPOSED 2ND FLOOR PLAN
A-2.2
OF: FOURTEEN


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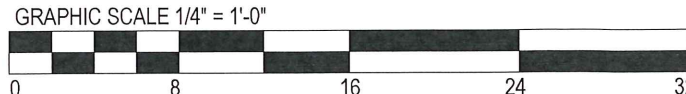
ALB
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APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
2017-626



1 PROPOSED ROOF PLAN
1/4" = 1'-0"

- GENERAL NOTES:**
1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
 2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
 4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
 5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U. FOUNDATION WALL.
 6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
 7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
 8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 3/8".
 10. ALL RISERS TO BE SOLID.
 11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
 12. RAILS TO BE 36" IN HEIGHT.
 13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
 14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
 16. ALL EAVES TO BE 1'-8" FROM FRAMING.
 17. ALL FASCIAS TO BE 10".
 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
 19. CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
 3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
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 7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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FLOOR FINISH KEY:

BLUE STONE		
TILE		
CONCRETE		
WOOD		

NOTE:

C.M.U.	
BRICK VENEER	
STUD WALL	
6" WALL	



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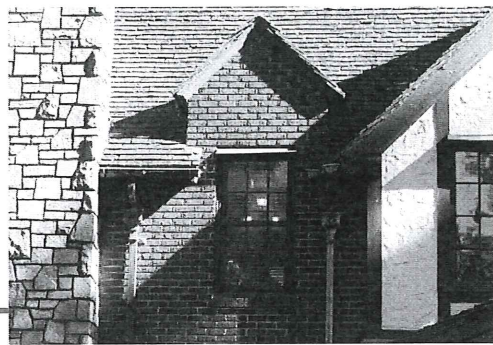
HDC MEETING DATE:
NOVEMBER 2017

PROJECT #: 11067
ISSUED: 29 OCTOBER 2017
REVISIONS:

PROPOSED ROOF PLAN
A-2.3
OF: FOURTEEN



④ 1133 BERKELEY AVENUE



③ 921 BERKELEY AVENUE



② 814 BERKELEY AVENUE

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 5'-0"	8'-0"	FRENCH CASEMENT
B	TR 3'-0" X 5'-0"	8'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-2" (LIBRARY)	FRENCH CASEMENT
F	3'-0" X 3'-5"	7'-0"	FRENCH CASEMENT
G	2'-6" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
H	2'-6" X 4'-5"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
I	2'-6" X 2'-5"	SEE ELEVATION	FIXED
J	2'-4" X 4'-5"	8'-0" (1ST FLOOR)	CASEMENT
K	2'-0" X 5'-0"	8'-0"	CASEMENT
L	PR 2'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE BELOW.
 5. WINDOW SIZING:
 - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - 5.2. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - 5.3. M.E. = MATCH EXISTING.
 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

GENERAL NOTES:

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19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

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 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{2}$ INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
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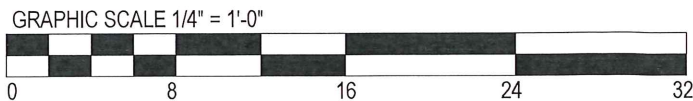
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HDC MEETING DATE:
NOVEMBER 2017

PROJECT #: 17067
ISSUED: 20 OCTOBER 2017
REVISIONS:

PROPOSED FRONT
ELEVATION
A-3.0
OF: FOURTEEN



① PROPOSED FRONT ELEVATION
1/4" = 1'-0"





2 MODEL VIEW FROM SIDEWALK

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
B	TR 3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
F	3'-0" X 3'-6"	7'-0"	FRENCH CASEMENT
G	2'-6" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
H	2'-8" X 8'-8"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
I	2'-6" X 2'-6"	SEE ELEVATION	FIXED
J	2'-4" X 4'-4"	8'-0" (1ST FLOOR)	CASEMENT
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GENERAL NOTES:

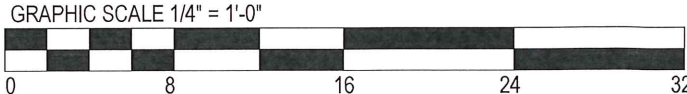
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1/4" = 1'-0"



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HDC MEETING DATE:
NOVEMBER 17

PROJECT #: 17067
ISSUED: 20 OCTOBER 2017
REVISIONS:

PROPOSED RIGHT
ELEVATION
A-3.1
OF: FOURTEEN



WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 5'-0"	8'-0"	FRENCH CASEMENT
B	TR 3'-0" X 5'-0"	8'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
F	3'-0" X 3'-6"	7'-0"	FRENCH CASEMENT
G	2'-6" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
H	2'-6" X 4'-6"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
I	2'-6" X 2'-6"	SEE ELEVATION	FIXED
J	2'-4" X 4'-6"	8'-0" (1ST FLOOR)	CASEMENT
K	2'-0" X 5'-0"	8'-0"	CASEMENT
L	PR 2'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE BELOW.
 - WINDOW SIZING:
 - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
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- ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{1}{8}"$.
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
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STAIRS, RAILING & GUARD NOTES:

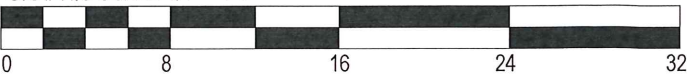
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 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 INCHES.
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- R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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GRAPHIC SCALE 1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
1/4" = 1'-0"



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Designed Exclusively For the:
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1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:
NOVEMBER 2017

PROJECT #: 17067
ISSUED: 20 OCTOBER 2017
REVISIONS:

PROPOSED REAR
ELEVATION
A-3.2
OF: FOURTEEN



2 MODEL VIEW FROM END OF DRIVEWAY



GRAPHIC SCALE 1/4" = 1'-0"



1 PROPOSED LEFT ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
B	TR 3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
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I	2'-6" X 2'-6"	SEE ELEVATION	FIXED
J	2'-4" X 4'-6"	8'-0" (1ST FLOOR)	CASEMENT
K	2'-0" X 5'-0"	8'-0"	CASEMENT
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 - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
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 - 5.3. M.E. = MATCH EXISTING
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2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{2}$ INCHES.
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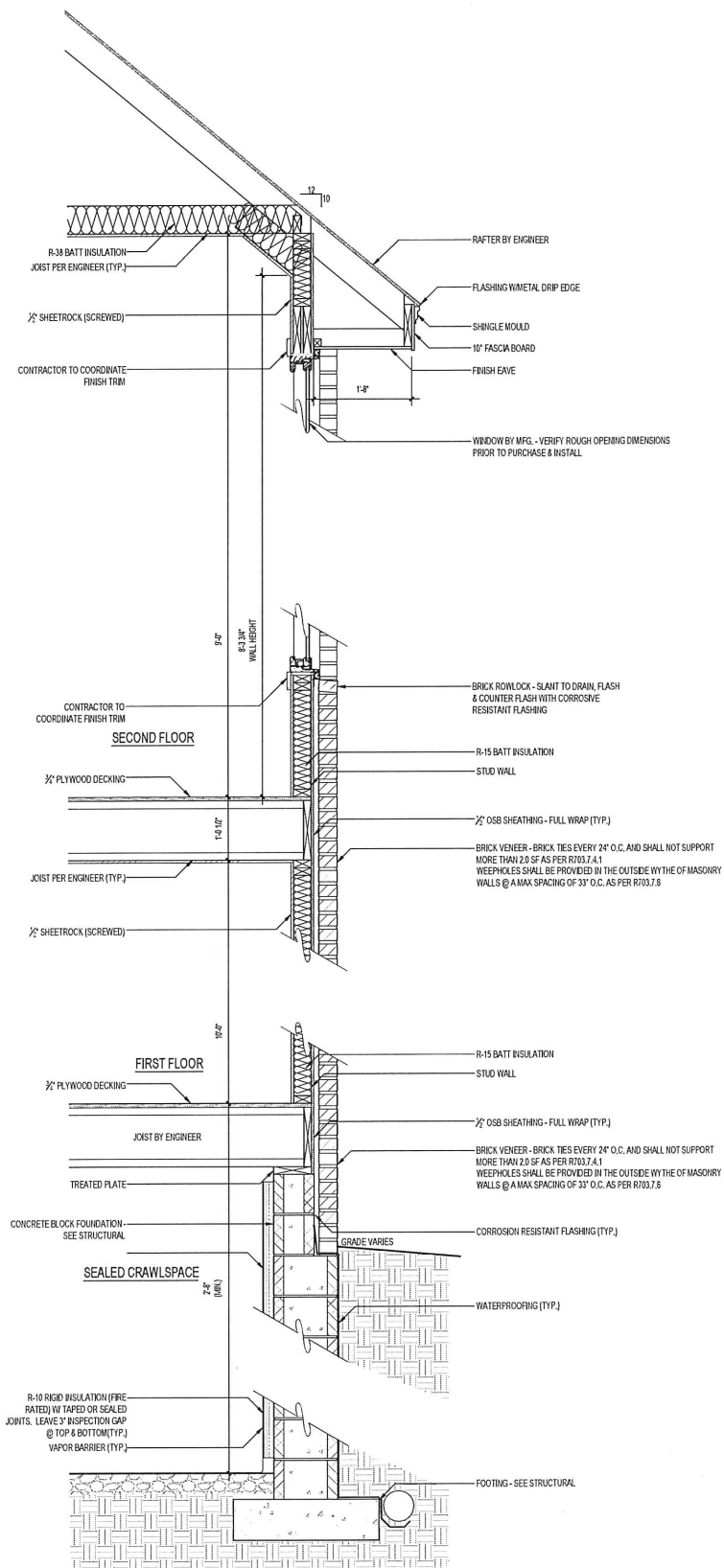
PROJECT # 17067
ISSUED: 20 OCTOBER 2017
REVISIONS:

PROPOSED LEFT ELEVATION

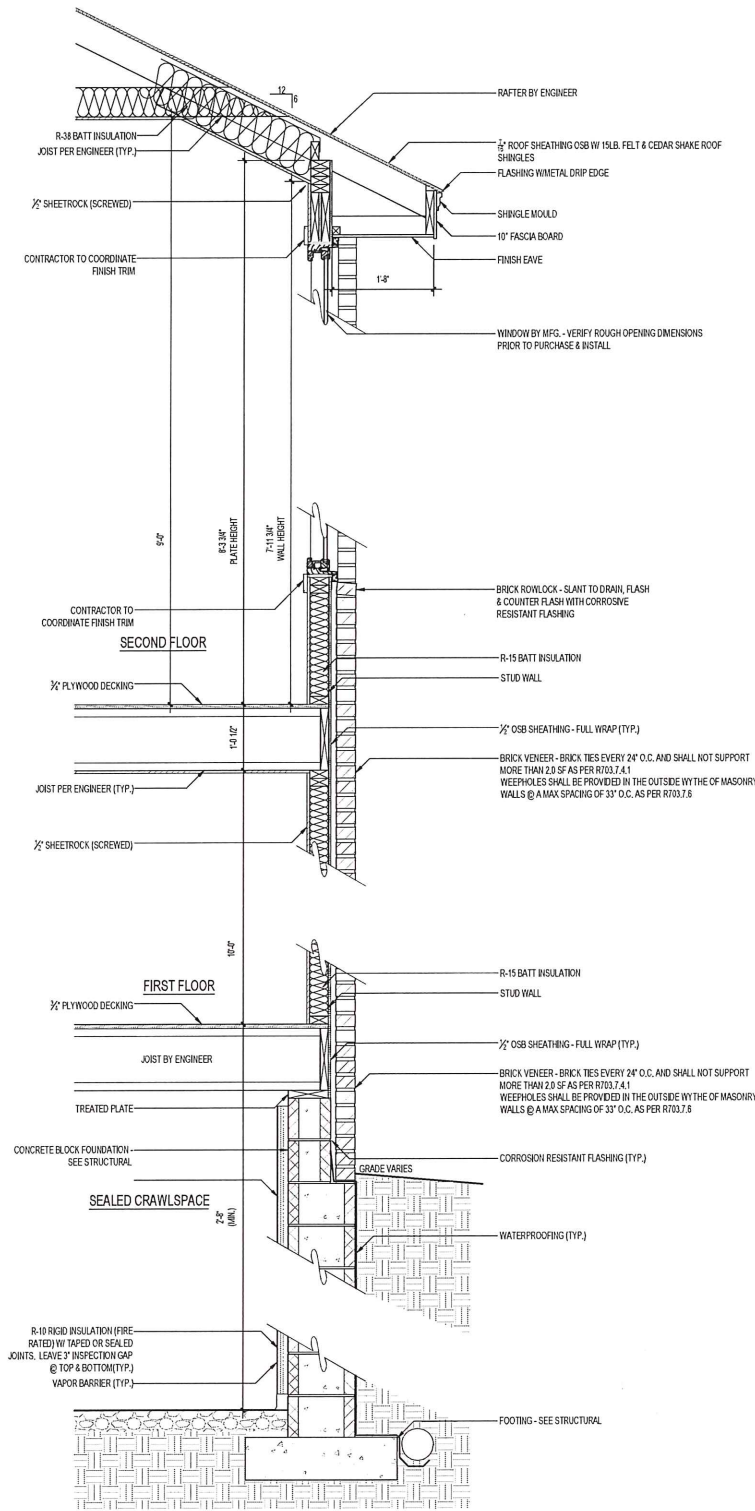
A-3.3
OF: FOURTEEN



#2017-626



1 WALL SECTION @ LEFT & RIGHT
3/4" = 1'-0"



1 WALL SECTION @ FRONT & REAR
3/4" = 1'-0"

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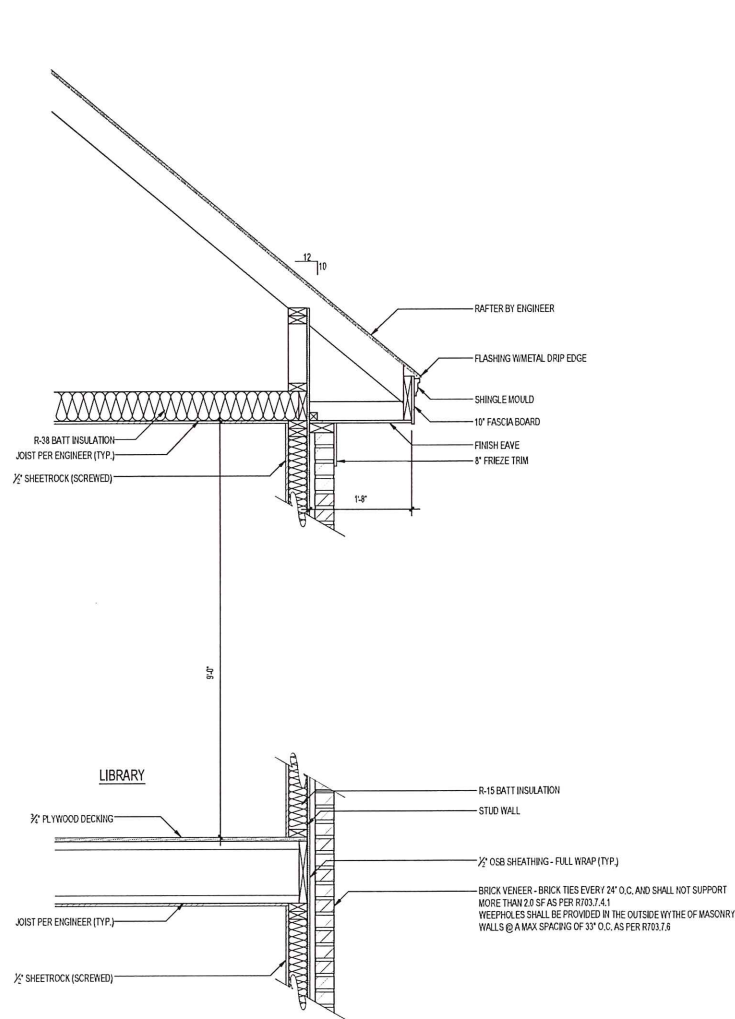
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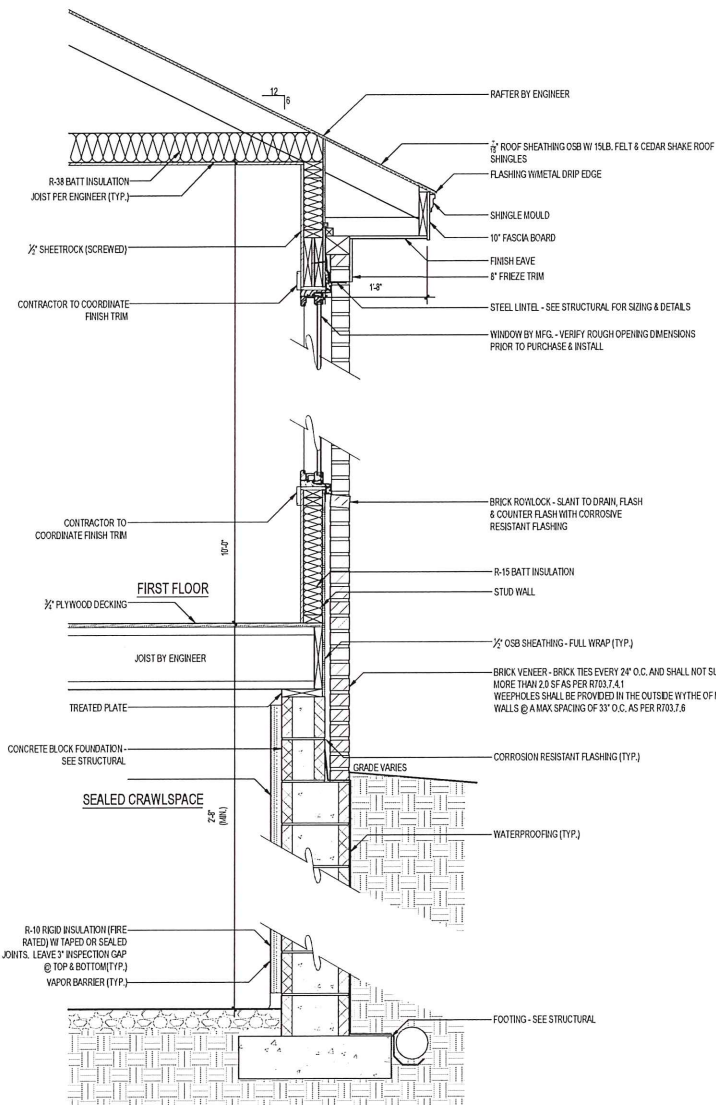
SECTIONS & DETAILS

A-4.0

OF: FOURTEEN



② WALL SECTION @ LIBRARY
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① WALL SECTION @ KITCHEN
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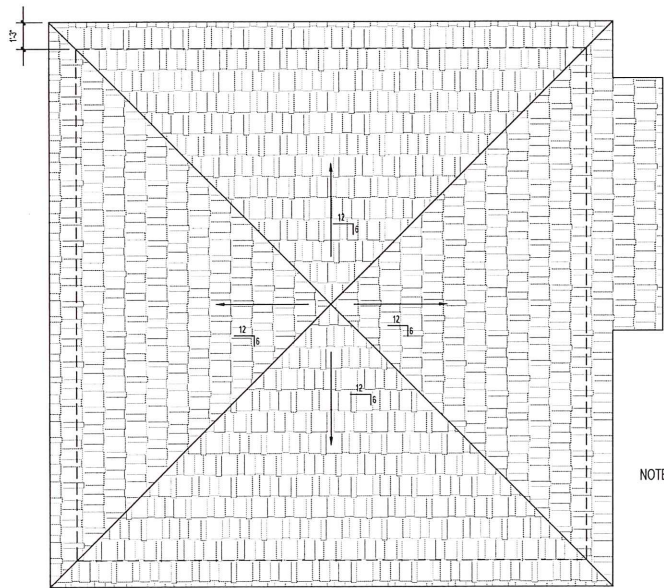
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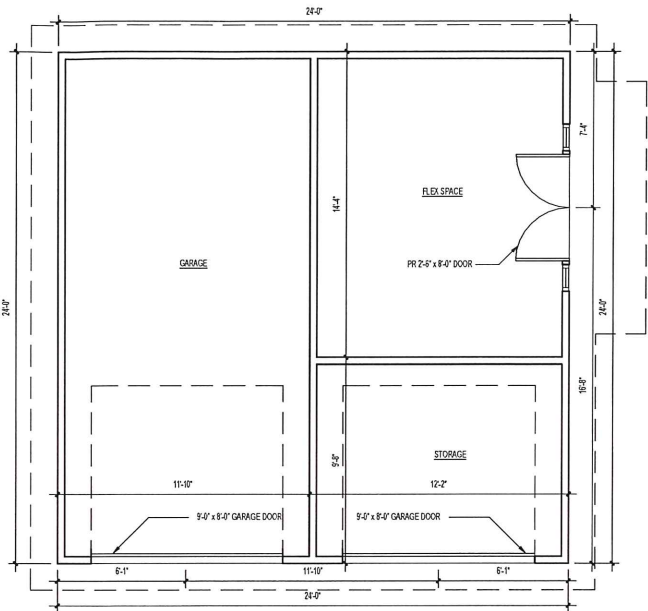
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OF: FOURTEEN

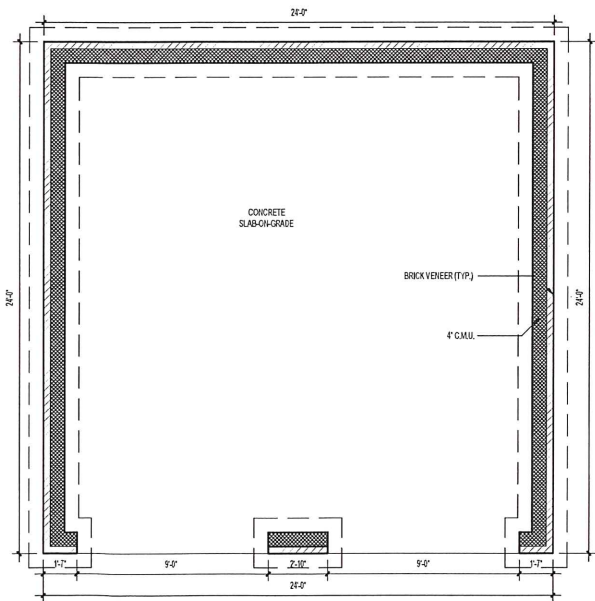


NOTE: ALL ROOF PITCHES TO BE 6:12

3 PROPOSED GARAGE PLAN
1/4" = 1'-0"



2 PROPOSED GARAGE PLAN
1/4" = 1'-0"



1 PROPOSED GARAGE FOUNDATION PLAN
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11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 1'-8" FROM FRAMING.
17. ALL FASCIAS TO BE 10".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{2}$ INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A $\frac{4}{8}$ DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

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2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.



NOTE:

- 8" C.M.U.
- BRICK VENEER
- STUD WALL



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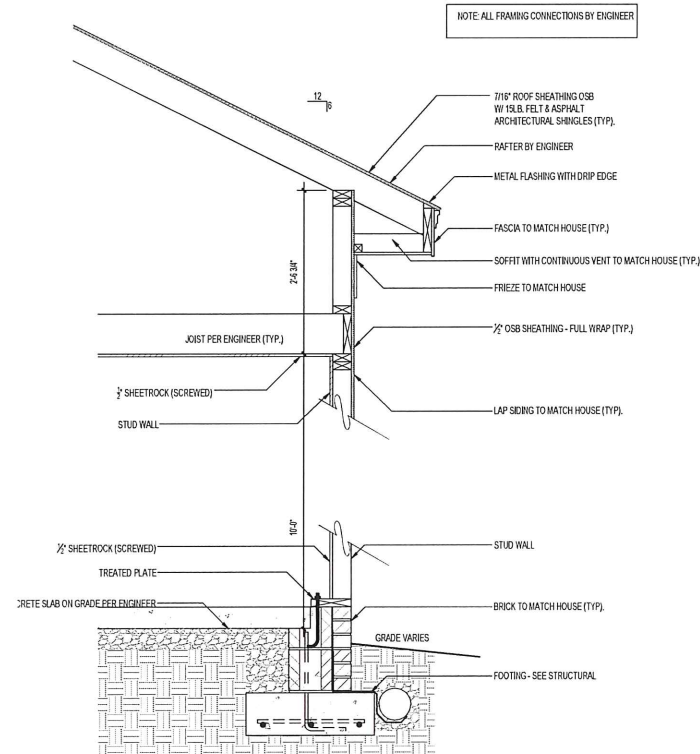
HDC MEETING DATE:
NOVEMBER 2017

PROJECT #: 17067
ISSUED: 20 OCTOBER 2017
REVISIONS:

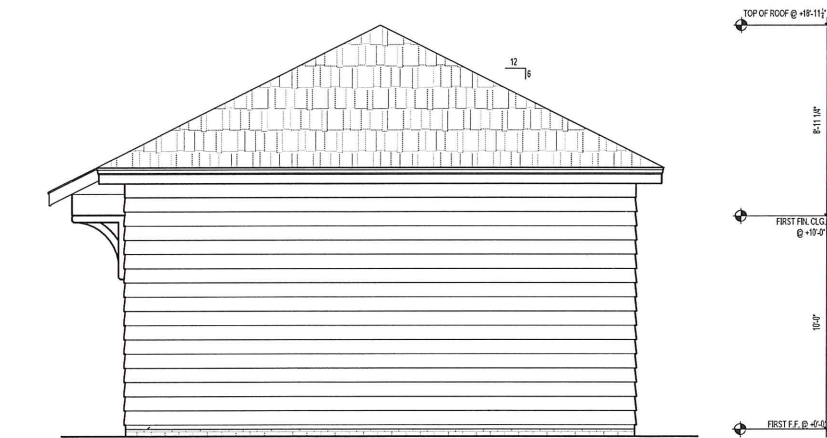
PROPOSED GARAGE PLANS

A-6.0

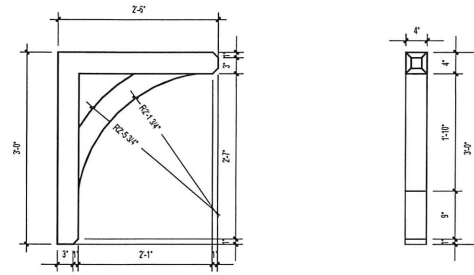
OF: FOURTEEN



4 TYPICAL WALL SECTION
3/4" = 1'-0"



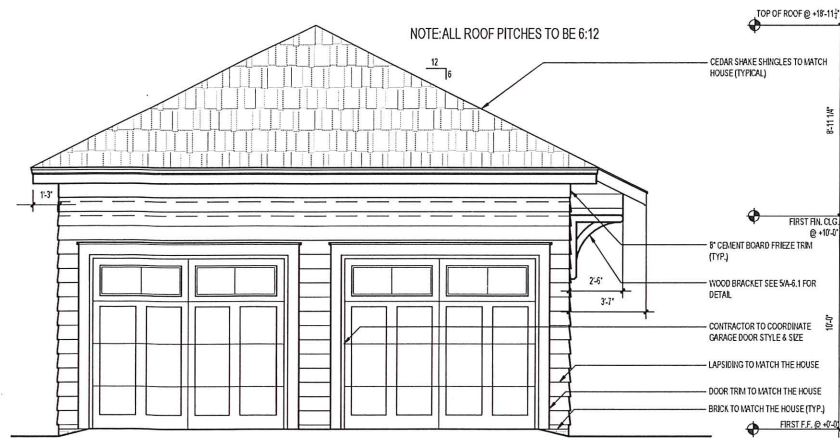
2 PROPOSED REAR ELEVATION
1/4" = 1'-0"



4 BRACKET DETAIL
3/4" = 1'-0"



3 PROPOSED RIGHT ELEVATION
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U. FOUNDATION WALL.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8\"/>
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36\"/>
13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOODPS & PORCHES IS LESS THAN 20\"/>
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 1'-8\"/>
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