



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMI-2018-00620 **DATE:** 8 January 2018

ADDRESS OF PROPERTY: 831 East Worthington Avenue

HISTORIC DISTRICT: Dilworth **TAX PARCEL NUMBER:** 12108208

OWNER(S): Steven and Polly Menaker **APPLICANT:** Allen L. Brooks

DETAILS OF APPROVED PROJECT: The project includes changes to doors, windows and the site. Based on the original blueprints for the house, an original door opening will be restored to the Park Road elevation. On the East Worthington elevation the current front entry door will move back to the original location to the right of the chimney. The current door opening on the front elevation will be changed back to a window opening per the original house plans. The new window will match the existing front elevation windows in header height, dimensions, trim, and material. See exhibit labeled 'Front and Right Elevations – January 2018.' All previous sash-kit replacement windows throughout the house, which do not match the design of the original windows of the house, will be replaced with new wood windows with Simulated True Divided Light (STDL) molded muntins in a pattern to match the buildings' original window configuration. The project also includes enlarging a non-original casement window on the rear elevation and the addition of a small gable overhang supported by wooden brackets over the rear entry door, see exhibit labeled 'Rear Elevation – January 2018.' No changes will be made to the left side elevation. All materials, trim, and details will be wood match existing.


Site changes include new patio areas, updates to an existing accessory structure to better reflect the architecture of the main house, and changes to an existing driveway. A new section of wood fencing butt-joined to brick uprights will be added in the rear yard. The new fence section will match existing and will connect with an existing fence and the upgraded pavilion accessory structure, see exhibit labeled 'Accessory Structure – January 2018.' After work is completed, the rear yard total permeable area will be 52%, see attached exhibit labeled 'Site Plan – January 2018.' The patio areas will either be permeable pavers on granite screening or pea gravel.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval: Landscape & Site Features, Work in Rear Yards, Replacement Windows & Doors, and Properly Documented Restoration Projects.
2. The material and design meets the applicable Policy and Design Guidelines.

Continued on next page

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.



James Haden, Chairman



Staff

Front & Right Elevations - January 2018

SALVAGE DOOR SCHEDULE		
NUM	OPENING	LOCATION
SD1	3'-0" x 6'-8"	MAIN ENTRY DOOR
SD2	3'-0" x 6'-8"	DINING ROOM
SD3	2'-10" x 6'-8"	BEDROOM

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" x 6'-0"	MATCH EXISTING	DOUBLE HUNG
B	6'-0" x 4'-0"	MATCH EXISTING	CASEMENT
C	2'-8" x 6'-0"	MATCH EXISTING	DOUBLE HUNG (CHANGE SASH UNITS)
D	2'-8" x 6'-0"	MATCH EXISTING	DOUBLE HUNG (CHANGE SASH UNITS)
E	3'-0" x 4'-0"	MATCH EXISTING	DOUBLE HUNG (CHANGE SASH UNITS)

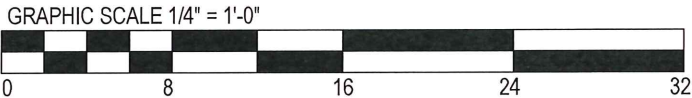


2 PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"

APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
HXCRMT-2017-00620



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 7' ABOVE GRADE OR WALKING SURFACE BELOW.
 5. WINDOW SIZING:
 - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - 5.2. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - 5.3. M.E. = MATCH EXISTING
 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
6. ALL RISERS TO BE SOLID.
7. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
8. RAILS TO BE 36" IN HEIGHT
9. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
10. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
11. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
12. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

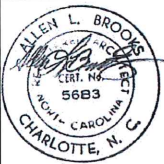
NOTE:

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON. ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.



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Designed Exclusively For the:

MENAKER RESIDENCE

831 East Worthington Avenue, Charlotte, NC 28203

PROJECT #: 17084
ISSUED: 25 OCT 2017
REVISIONS:

PROPOSED FRONT AND
RIGHT SIDE ELEVATION
A-5.0
OF: FIFTEEN

SALVAGE DOOR SCHEDULE		
NUM	OPENING	LOCATION
SD1	3'-0" x 6'-0"	MAIN ENTRY DOOR
SD2	3'-0" x 6'-0"	DINING ROOM
SD3	2'-10" x 6'-0"	BEDROOM

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- ALL RISERS TO BE SOLID.
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- RAILS TO BE 36" IN HEIGHT.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 28" IN HEIGHT.
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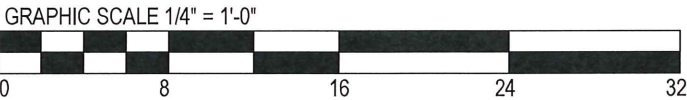
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2 PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
1/4" = 1'-0"



APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
HDCRMI-2017-00620

Rear Elevation January 2018



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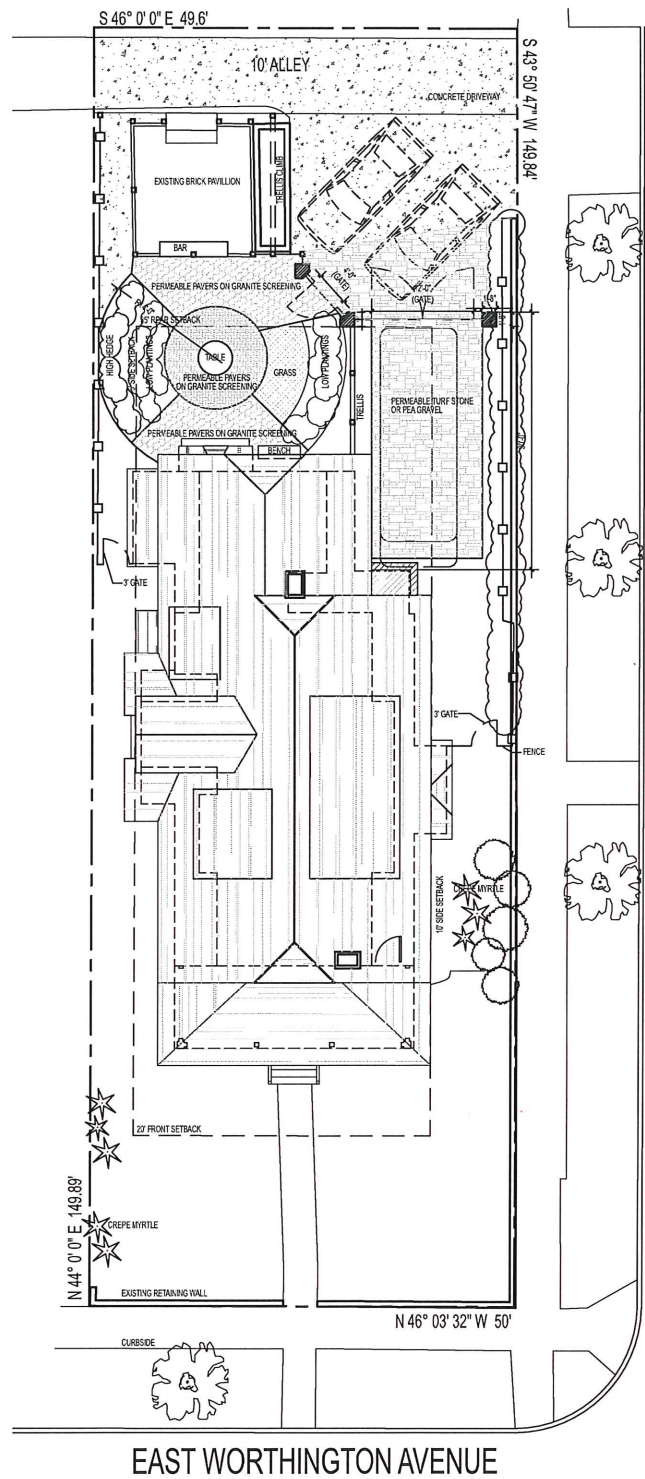
PROJECT #: 17064
ISSUED: 25 OCT 2017
REVISIONS:

PROPOSED REAR &
LEFT SIDE ELEVATION
A-5.1
OF: FIFTEEN

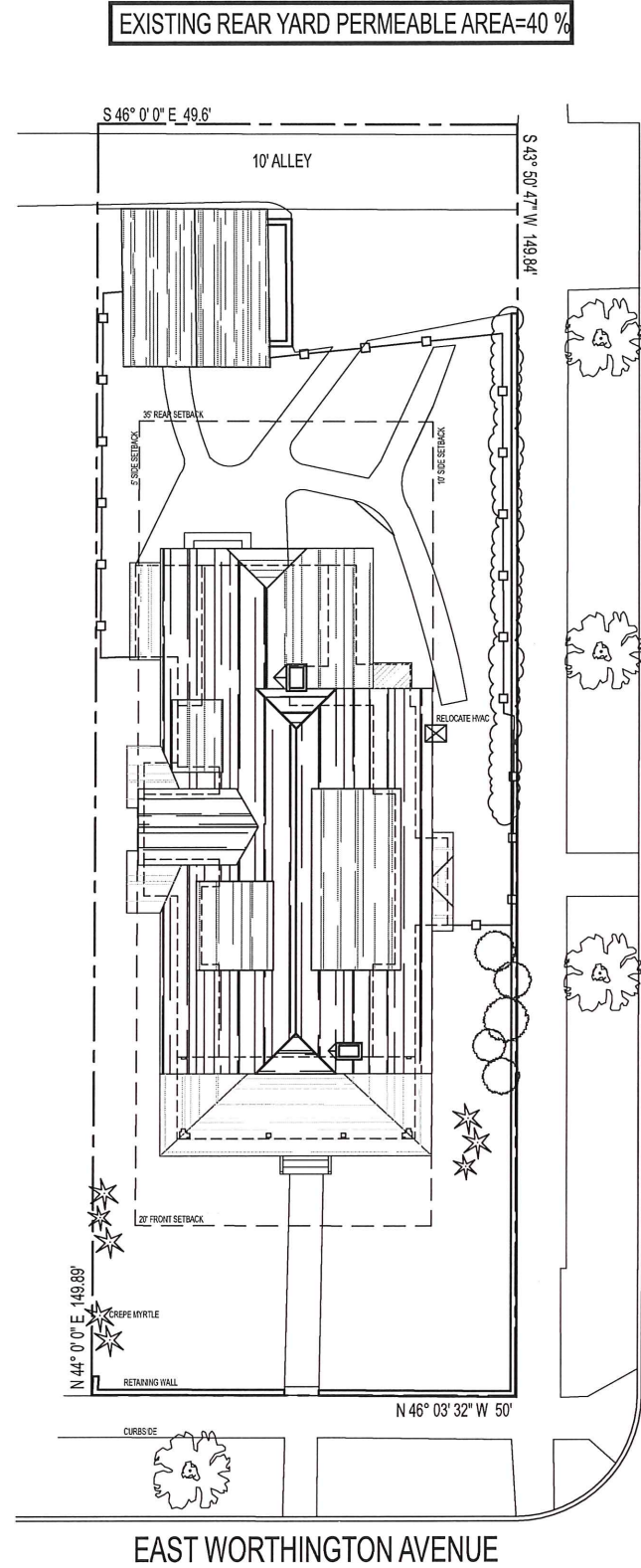
Site Plan-January 2018

RESIDENCE CALCULATIONS	
TOTAL PROPOSED HEATED AREA	2849
PROPOSED HEATED AREA OF GARAGE	0
PROPOSED UNHEATED	
REAR PORCH	0
UNHEATED GARAGE	0
POOL	0
PATIO	0
SHOP	0
TOTAL	0
REAR YARD PERMEABILITY CALCULATIONS (50 % AS REQUIRED BY HDC)	
EXISTING REAR YARD AREA	2579
CONCRETE DRIVE	918
PAVILLION FOOTPRINT	295
STEPS	31
TOTAL AREA	1244
TOTAL PERMEABLE AREA	52%
OPEN SPACE CALCULATIONS PER ZONING (AT LEAST 65% REQUIRED)	
TOTAL AREA OF SITE	7463
FOOTPRINT OF HOUSE	2052
FOOTPRINT OF SHOP	0
FOOTPRINT OF PAVILLION	295
TOTAL AREA	2347
PERCENTAGE OF OPEN SPACE	69%

③ PERMEABLE AREA CALCULATIONS



② PROPOSED SITE PLAN
1" = 10'-0"



① EXISTING SITE PLAN
1" = 10'-0"

NOTE:

CONCRETE: [Symbol]
GRAVEL: [Symbol]
RETAINING WALL: [Symbol]
PAVER SYSTEM: [Symbol]

KEY:

WALL TO BE REMOVED: [Symbol]
ITEM TO BE REMOVED: [Symbol]

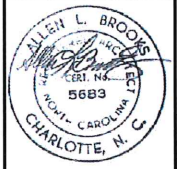
LEGEND:

BOUNDARY LINE: [Symbol]
OVERHEAD UTILITIES: [Symbol]
FENCE (TYPE NOTED): [Symbol]
UTILITY POLE: [Symbol]
RW: RIGHT OF WAY
EP: EDGE OF PAVEMENT
CL: CENTERLINE

NORTH



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Designed Exclusively For the:
MENAKER RESIDENCE
831 East Worthington Avenue, Charlotte, NC 28203

PROJECT #: 17084
ISSUED: 6 JAN 2018
REVISIONS:

EXISTING SITE PLAN
A-1.0
OF: FIFTEEN