



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS - AMENDED

CERTIFICATE NUMBER: 2017-00617

DATE: November 15, 2017
January 18, 2019; March 29, 2019 - AMENDED

ADDRESS OF PROPERTY: 424 Walnut Avenue

TAX PARCEL NUMBER: 07103315

HISTORIC DISTRICT: Wesley Heights

APPLICANT/OWNER: Zack Alsentzer/Andrew and Lauren Difilippantonio

DETAILS OF APPROVED PROJECT: The project is an addition to the rear that includes raising the ridgeline of the existing right-side bump out and window changes. The side addition raises the ridge approximately 2 feet. The half window on the front right side is increased to a full-size window to match existing front windows. Other windows to be replaced on the left and right side are shown on the elevations. The front door will be replaced with a Craftsman style door. Materials and roof details will match existing. New brick will be painted to match existing. Factory clad seamless gutters will be installed on the house in a manner such that no changes will be made to the existing trim. The downspouts will not be run down the front elevation, see attached exhibit labeled 'Gutter/downspout locations – January 2019.' March: All existing windows are non-original, non-historic replacements and will be replaced with new double-hung Simulated True Divided Light (STD L) wood windows in a 4/1 and 6/1 pattern. (Note: Ply-gem windows are not approved for use). See attached plans.

The project was approved by the HDC November 8, 2017.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman

Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org
600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123



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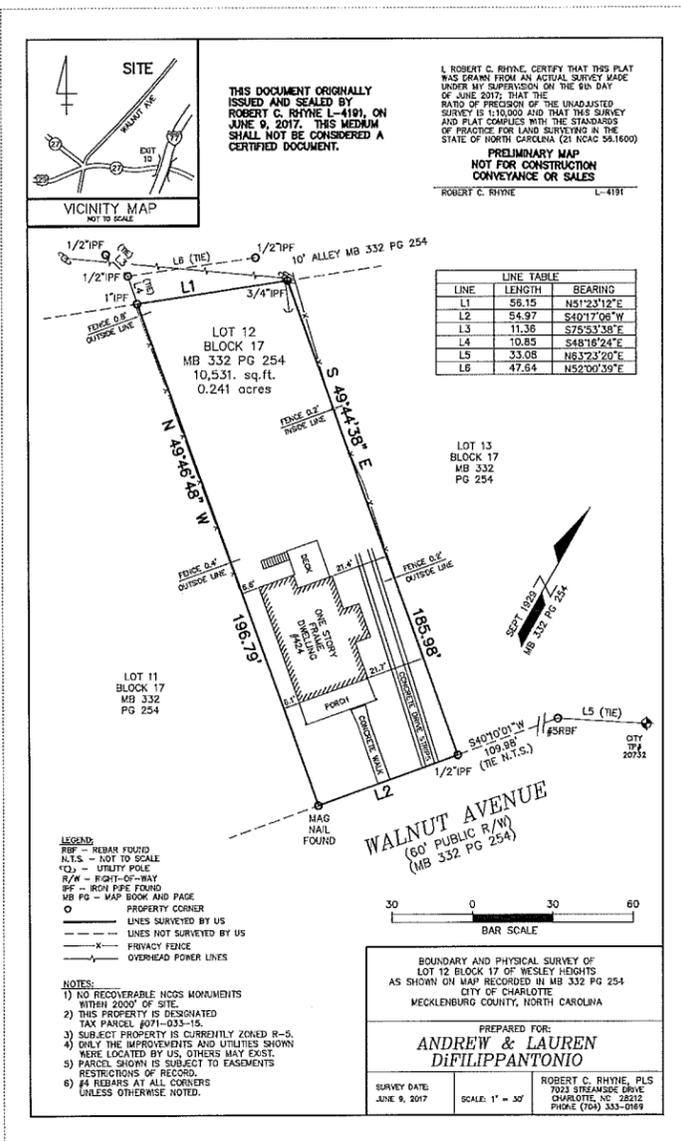
Charlotte
Historic District
Commission

Certificate of Appropriateness

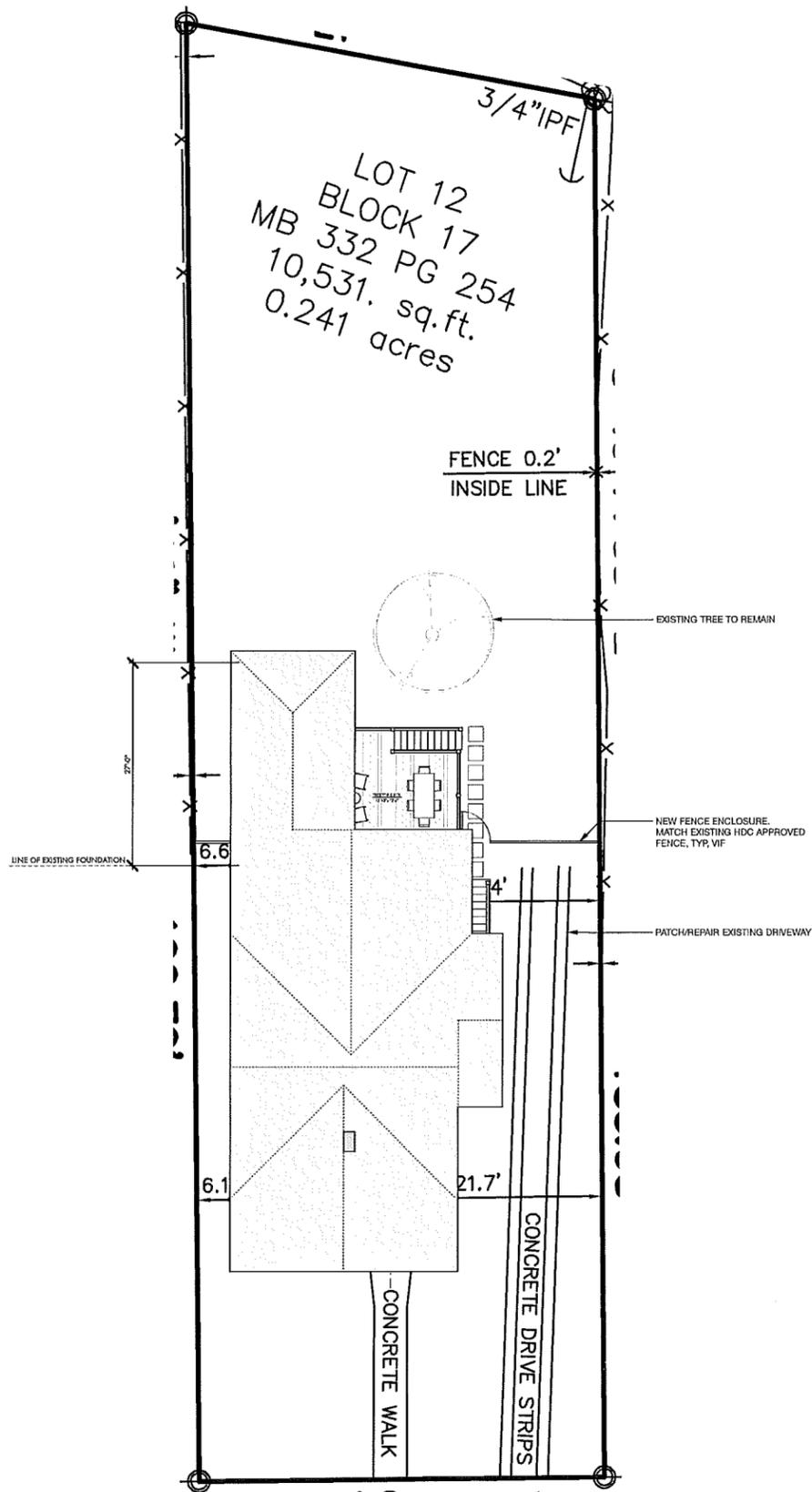
2017-617

604 EAST WORTHINGTON AVENUE - REAR YARD PERMEABILITY CALCS

AREA DESCRIPTION	SQFT AREAS	% CALCULATIONS
EXISTING REAR YARD AREA	5952 sqft	100% FROM ASSUMED ORIGINAL HOME
MIN. PERMEABLE SURFACE REQ'D	2976 sqft	50% MIN. PERMEABLE (OPEN) REQ'D
ROOFS, WALKS, DECKS AS DESIGNED	796 sqft	13% COVERED SURFACE AREA DESIGNED
PERMEABLE AS DESIGNED	5156 sqft	87% PERMEABLE (OPEN) AS DESIGNED



A1 Existing Property Survey



A3 Site Plan
 Scale: 1" = 10 ft

alter ARCHITECTS

The Alter Architect's Studio, PLLC
 1821 Logie Avenue
 Charlotte, NC 28205
 alterarchitects.com
 ph: 704.577.6692



424 Walnut Avenue

Prepared for: Andrew & Lauren Difilippantonio

Project name/#: 424 Walnut Ave / 017019

CAD File Name: 424WalnutAve.vwx

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Mark	Date	Description
01	10/01/2017	Schematic Design
02	10/24/2017	DD / HDC Package

Site Plan & Survey

A001

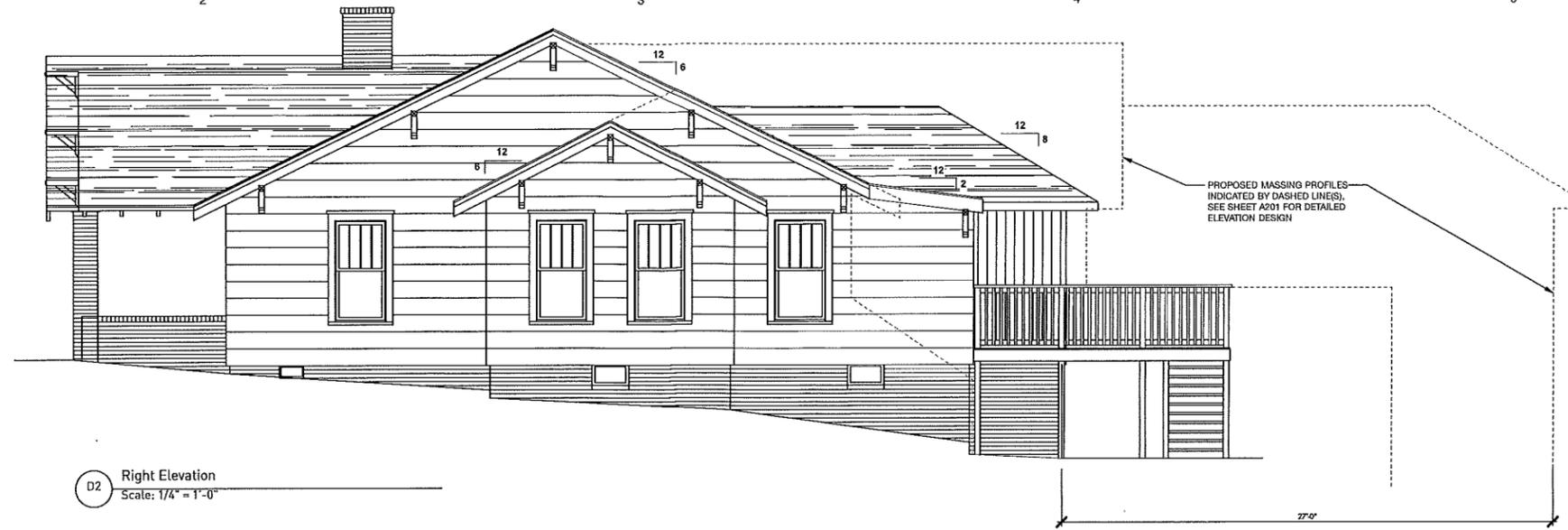


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Certificate of Appropriateness

2017-617



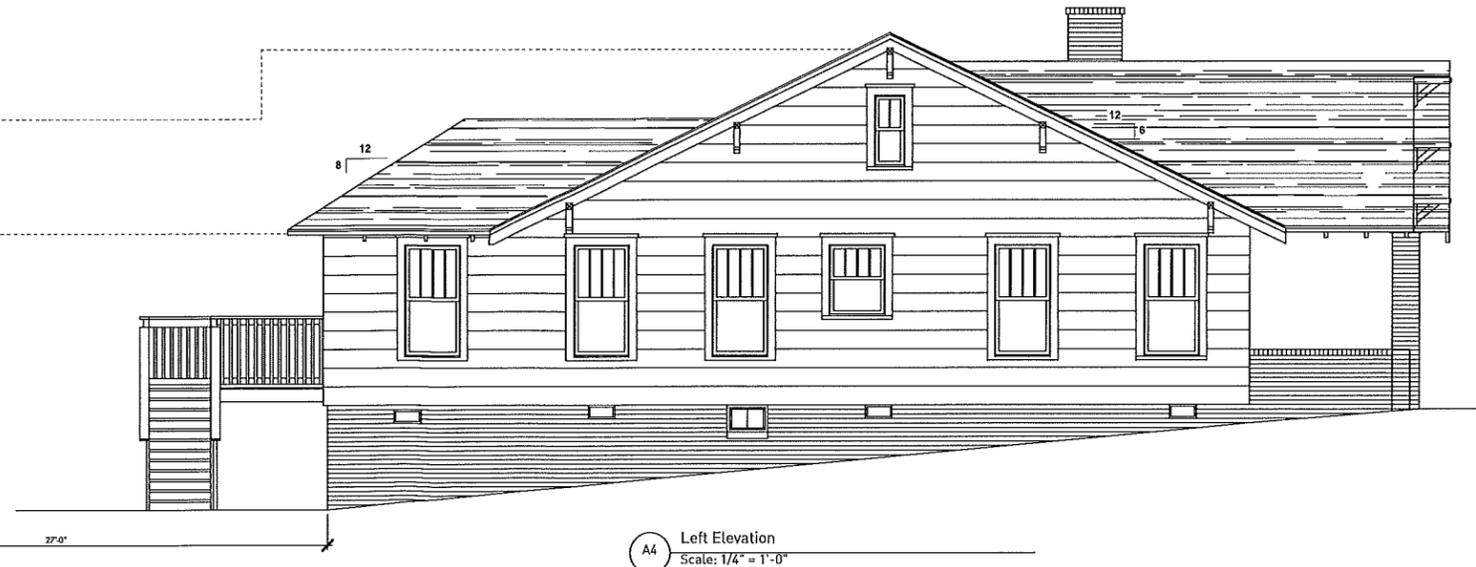
D2 Right Elevation
Scale: 1/4" = 1'-0"



B1 Rear Elevation
Scale: 1/4" = 1'-0"



C3 Front Elevation
Scale: 1/4" = 1'-0"



A4 Left Elevation
Scale: 1/4" = 1'-0"

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ARCHITECTS

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1821 Logie Avenue
Charlotte, NC 28205
alterarchitects.com
ph: 704.577.3692



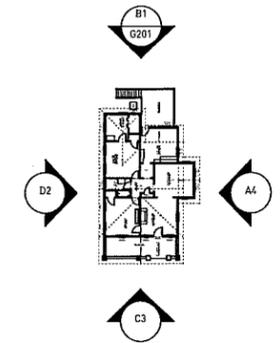
424 Walnut Avenue

Prepared for: Andrew & Lauren DiFillipantonio

Project name/#: 424 Walnut Ave / 017019

CAD File Name: 424WalnutAve.rvt

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Existing Elevations

G201

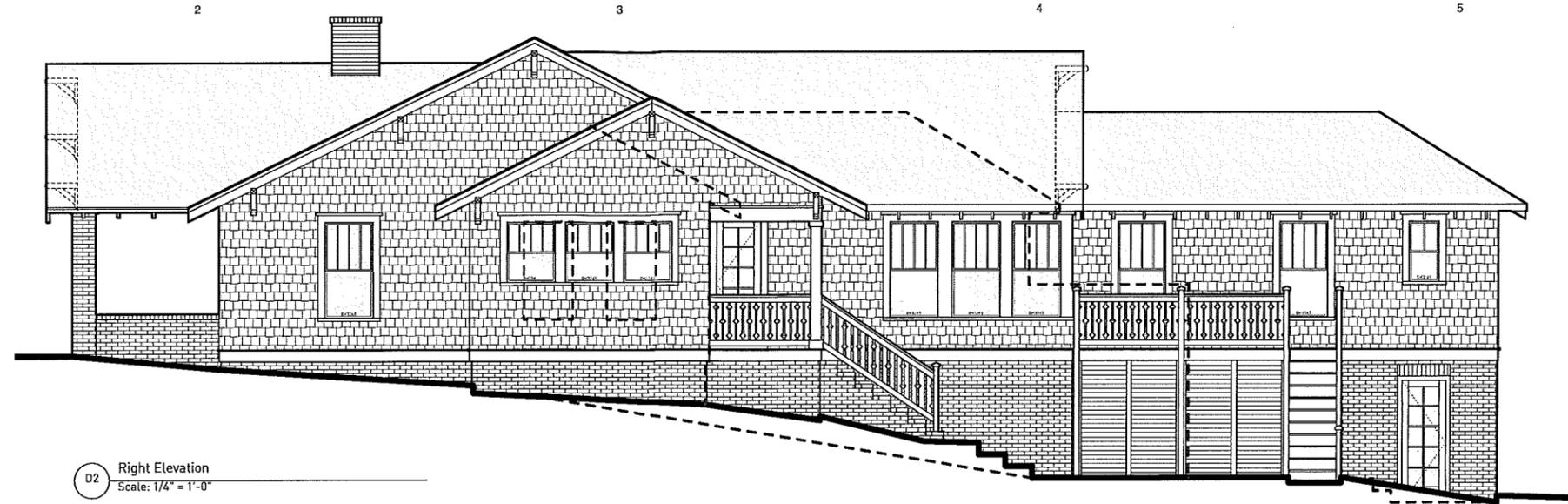


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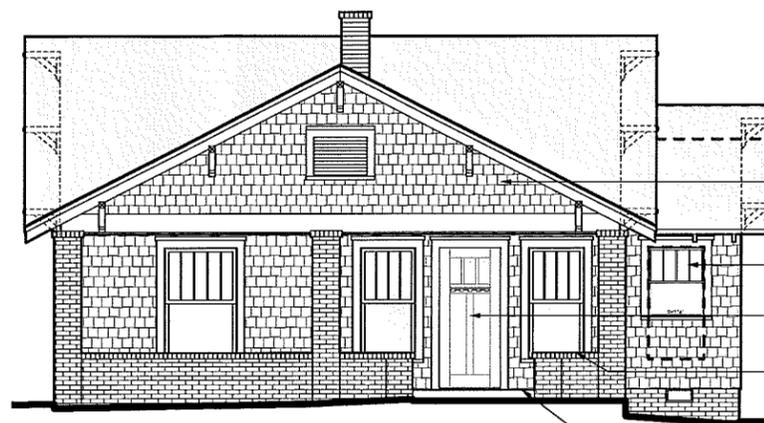
2017-617



D2 Right Elevation
Scale: 1/4" = 1'-0"



B1 Rear Elevation
Scale: 1/4" = 1'-0"

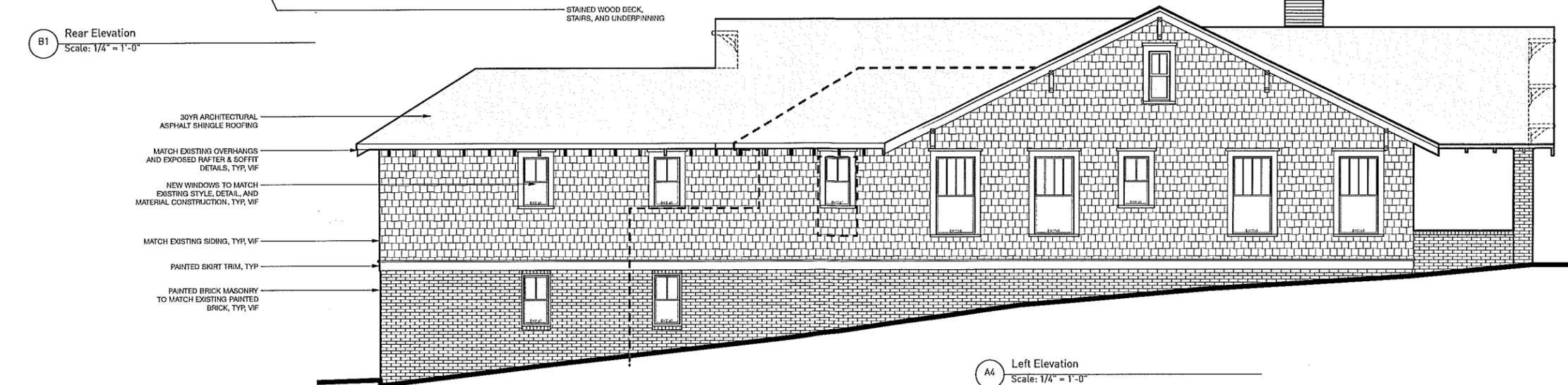


C3 Front Elevation
Scale: 1/4" = 1'-0"

- EXTEND GABLE ROOF RIDGE UP TO EXISTING MAIN ROOFLINE
- FIELD VERIFY EXISTING SIDING, REPAIR/REPLACE AS REQ'D
- NEW (SMALLER) WINDOW IN EXISTING LOCATION, MATCH WINDOW STYLE AND DETAIL, TYR, VIF
- NEW CRAFTSMAN STYLE FRONT DOOR IN EXISTING DOOR FRAME
- REPAIR ANY DAMAGED BRICK MASONRY, MATCH EXISTING, TYR, VIF
- REPLACE T&G FRONT PORCH W/ NEW STAINED T&G, MATCH EXISTING, TYR, VIF

BUBBLED NOTES INDICATE VISIBLE CHANGES TO THE EXISTING FRONT ELEVATION AS VIEWED FROM THE STREET

HEAVY DASHED LINES INDICATE EXISTING MASSING PROFILES AND/OR ARCHITECTURAL DETAILS TO BE MODIFIED



A4 Left Elevation
Scale: 1/4" = 1'-0"

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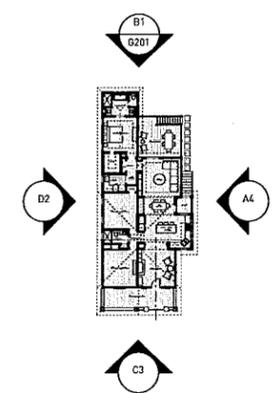
The Alter Architect's Studio, PLLC
1821 Logie Avenue
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ph: 704.577.3632



424 Walnut Avenue

Prepared for: Andrew & Lauren Difillipantonio

Project name//: 424 Walnut Ave / 017019
CAD File Name: 424WalnutAve.vrx
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02	10/24/2017	DD / HDC Package

Proposed Elevations

A201



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Certificate of Appropriateness

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Charlotte, NC 28205
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ph: 704.577.5682



- NOT FOR CONSTRUCTION -

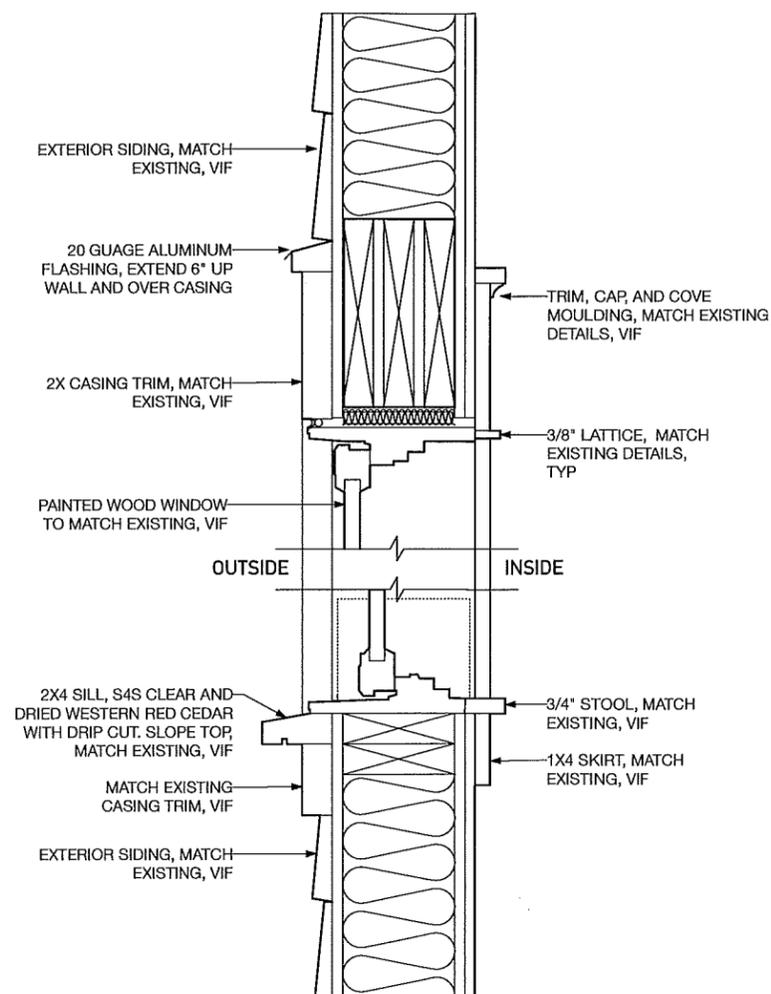
424 Walnut Avenue

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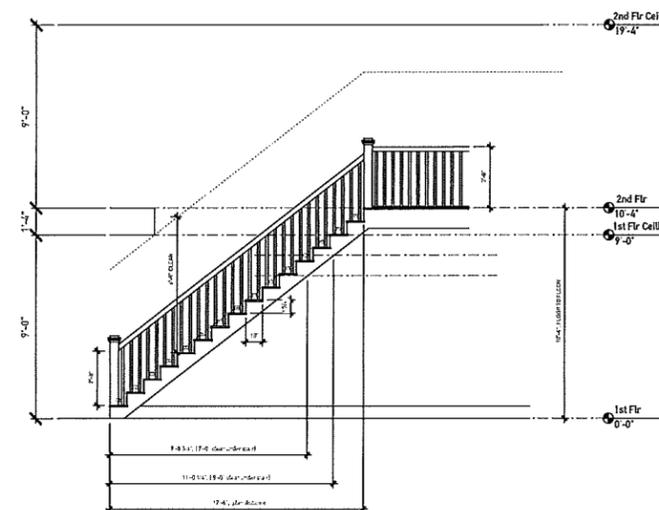
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A3 Window Detail - Typical
Scale: 3" = 1'-0"



STAIR NOTES:

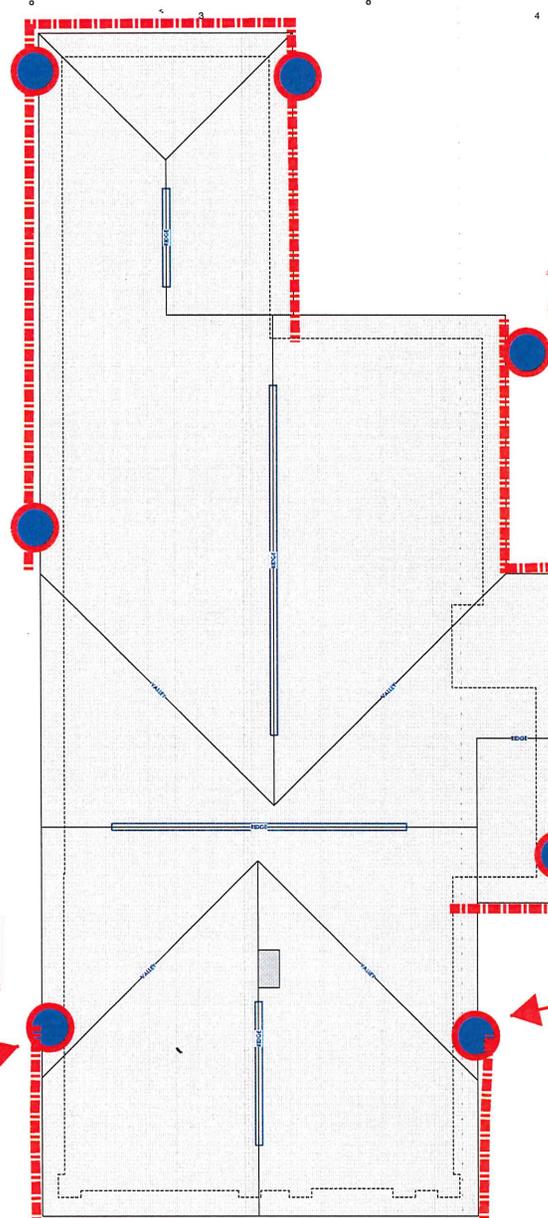
1. THE GREATEST TREAD DEPTH OR THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 OF AN INCH.
2. THE TOP AND BOTTOM RISER OF AN INTERIOR SHALL NOT EXCEED THE SMALLEST RISER WITHIN THE RUN BY MORE THAN 3/4 OF AN INCH.
3. THE HEIGHT OF THE TOP AND BOTTOM RISER OF THE INTERIOR STAIRS SHALL BE MEASURED FROM PERMANENT FINISHED SURFACE TO PERMANENT FINISHED SURFACE.
4. WHEN THE BOTTOM RISER OF AN EXTERIOR STAIR ADJOINS AN EXTERIOR WALK, PORCH, DRIVEWAY, PATIO, GARAGE FLOOR, OR FINISHED GRADE, THE HEIGHT OF THE RISER MAY BE LESS THAN THE HEIGHT OF THE ADJACENT RISER.
5. GUARDRAIL MUST HAVE INTERMEDIATE RAILS OR PICKETS THAT DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER. HORIZONTAL SPACING BETWEEN VERTICAL MEMBERS IN REQUIRED GUARDRAILS SHALL BE A MAX. OF 4 INCHES AT THE NEAREST POINT BETWEEN MEMBERS.

A5 General Stair Notes
Scale: 1/4" = 1'-0"

Mark	Date	Description
01	10/01/2017	Schematic Design
02	10/24/2017	DD / HDC Package

Sections and Details

A301



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 Certificate of Appropriateness
 # 2017-00617

PROJECT
 # 391305

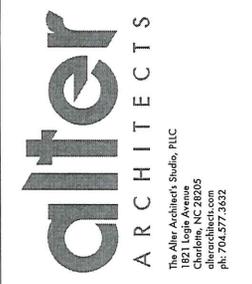


MECKLENBURG COUNTY
 CODE ENFORCEMENT
 REGISTRATION PLAN REVIEW DISCLOSED
 A LIMITED PLAN REVIEW FOR COMPLIANCE
 WITH THE 2018 MECKLENBURG COUNTY CODE WAS
 PERFORMED ON THESE PLANS. IT IS THE
 RESPONSIBILITY OF THE CONTRACTOR TO
 CONFIRM THAT THIS PROJECT IS IN ACCORDANCE
 WITH ALL APPLICABLE LOCAL ORDINANCES
 AND STATE REGULATIONS.
 PLANS REVIEWED BY:
 JANE WILK
 01/18

TURNED DOWN
 LEFT SIDE

TURNED DOWN
 RIGHT SIDE

A3 Roof Plan
 Scale: 1/4" = 1'-0"
 0 4 8 12 16 FT



424 Walnut Avenue

Prepared for: Andrew & Lauren DiFillipantonio

Project name/F: 424 Walnut Ave / 017019

CAD File Name: 424WalnutAve.rvt

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Mark	Date	Description
01	10/01/2017	Schematic Design
02	10/24/2017	DD / HDC Package
03	02/05/2018	Kitchen Alternate Plans
04	03/05/2018	Structural Coordination
05	03/28/2018	For Construction

Wall Section
 Roof Plan

A161

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Charlotte
Historic District
Commission

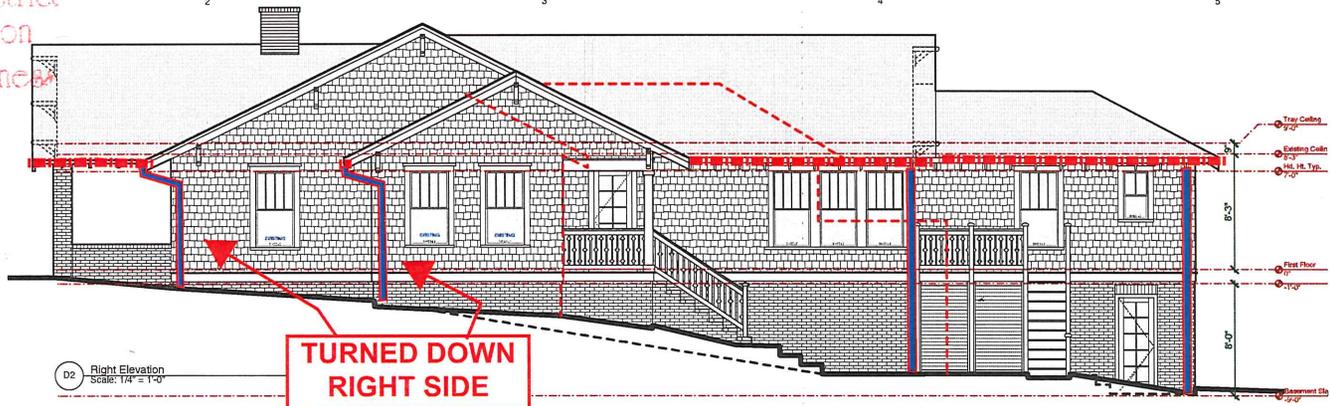
Certificate of Appropriateness

2017-00617
PROJECT
391305



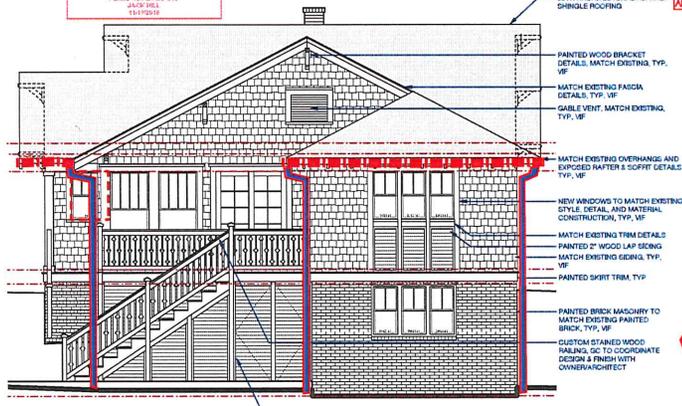
MECKLENBURG COUNTY
CODE ENFORCEMENT
PERMITTING PLAN REVIEW DEPARTMENT
ALL PERMITTING PLAN REVIEW REQUIREMENTS
WERE MET. THE DESIGN PROFESSIONAL JOB WAS
PERFORMED IN ACCORDANCE WITH THE
CONSTRUCTION OF THE PROJECT BEING
CONDUCTED IN ACCORDANCE WITH THE
NORTH CAROLINA
RESIDENTIAL CODE, LOCAL ORDINANCES
AND STATE REGULATIONS.
PLANS REVIEWED BY:
JULY 11, 2018
15:00:00

Gutter/downspout locations - January 2019



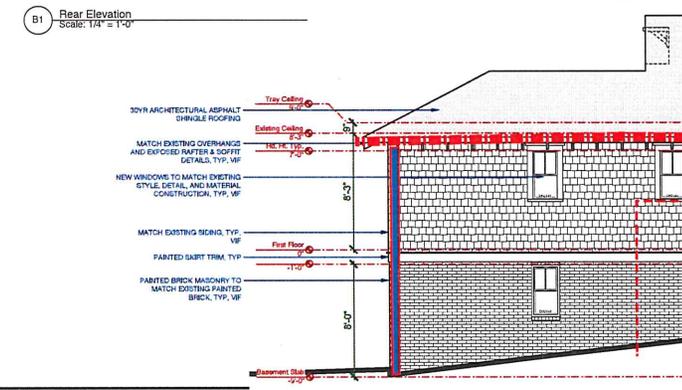
D2 Right Elevation
Scale: 1/4" = 1'-0"

**TURNED DOWN
RIGHT SIDE**

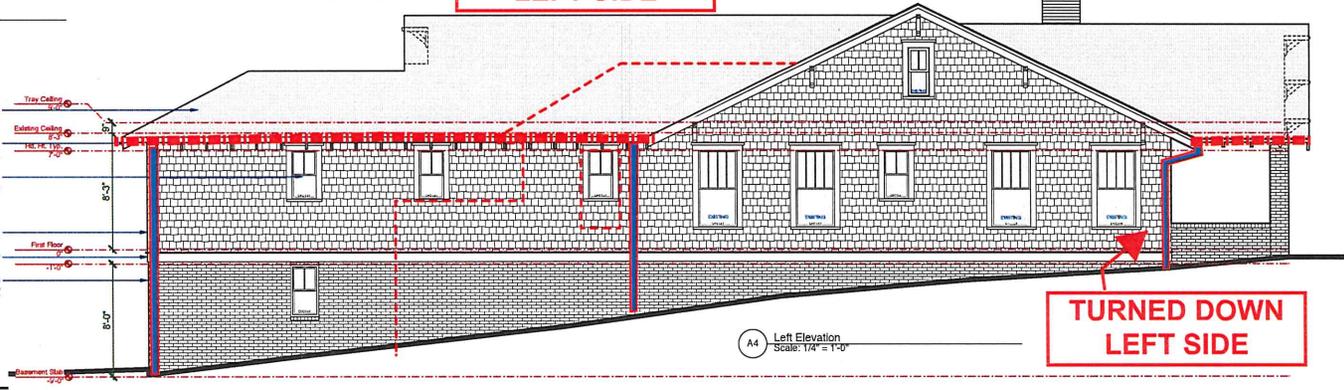


**TURNED DOWN
LEFT SIDE**

**TURNED DOWN
RIGHT SIDE**



B1 Rear Elevation
Scale: 1/4" = 1'-0"



A4 Left Elevation
Scale: 1/4" = 1'-0"

**TURNED DOWN
LEFT SIDE**

20YR ARCHITECTURAL ASPHALT SHINGLE ROOFING (AMOD PROVIDE PROVIDE DECK BRACING)

PAINTED WOOD BRACKET DETAILS, MATCH EXISTING, TYP. VF

MATCH EXISTING FASCIA DETAILS, TYP. VF

GABLE VENT, MATCH EXISTING, TYP. VF

MATCH EXISTING OVERHANG AND EXPOSED RAFTER & SOFFIT DETAILS, TYP. VF

NEW WINDOWS TO MATCH EXISTING STYLE, DETAIL, AND MATERIAL CONSTRUCTION, TYP. VF

MATCH EXISTING TRIM DETAILS

PAINTED 2" WOOD LAP SIDING MATCH EXISTING SIDING, TYP. VF

PAINTED SHIRT TRIM, TYP. VF

PAINTED BRICK MASONRY TO MATCH EXISTING PAINTED BRICK, TYP. VF

CUSTOM STAINED WOOD RAILING, GC TO COORDINATE DESIGN & FINISH WITH OWNER/ARCHITECT

STAINED WOOD DECK, STAIRS, AND UNDERPINNING

EXTEND GABLE ROOF RIDGE UP TO EXISTING MAIN FLOORLINE

FIELD VERIFY EXISTING SIDING. REPAIR/REPLACE AS REQ'D

NEW CRAFTSMAN STYLE FRONT DOOR IN EXISTING DOOR FRAME

REPAIR ANY DAMAGED BRICK MASONRY. MATCH EXISTING, TYP. VF

REPLACE TAB FRONT PORCH W/ NEW STAINED TAG, MATCH EXISTING, TYP. VF

BUBBLED NOTES INDICATE VISIBLE CHANGES TO THE EXISTING FRONT ELEVATION AS VIEWED FROM THE STREET

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alter ARCHITECTS
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Proposed Elevations

A201