



**CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS**

CERTIFICATE NUMBER: HDCADMRM 2017-00616

DATE: 25 October 2017

ADDRESS OF PROPERTY: 1614 Dilworth Road East TAX PARCEL NUMBER: 123.112.16

HISTORIC DISTRICT: DILWORTH

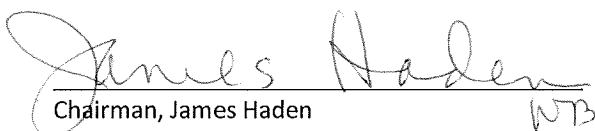
APPLICANT/OWNER: Architect Allen Brooks on behalf of owners Brian and Elizabeth Flynn

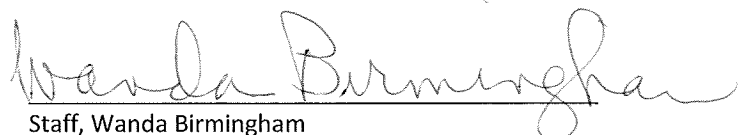
DETAILS OF APPROVED PROJECT: Rear addition. Site changes. Second story rear addition will fill in "crook of elbow" over one story projection. New roof will hip back to existing side gable well below ridge. New hipped roof addition will be side by side and match existing hipped roof. A new door with entry element will be centered on first floor rear. See exhibit labeled 'Rear and Left Elevations October 2017'. New siding will be lapped wood. New brackets will be applied at cantilever (rear and side) and entry canopy. Overhang, soffit/fascia treatment will match existing. Cornerboards will be added where new lapped wood is added. Pavers will be added atop existing gravel drive in back yard and sand set where there is not an existing bed of gravel. See exhibit labeled 'Site Plan October 2017'.

Applicable *Charlotte Historic District Guidelines – Additions and Landscaping.*

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance .


Chairman, James Haden


Staff, Wanda Birmingham

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org

600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123



15 OCT 2017
 This drawing and the design shown in it are the property of AB ARCHITECTURE. It is to be used only for the project and location specified on the title block. It is not to be reproduced or used for any other project without the written approval of AB ARCHITECTURE.

1614 Dilworth Road East, Charlotte, NC 28203
FLYNN RESIDENCE
 Designed Exclusively For the:

Sheet # 110077201
 Revision A, 11 OCT 2017

PROPOSED FRONT & RIGHT ELEVATION
A-5.0
 OF TEN

| WINDOW SCHEDULE | | | |
|-----------------|-------------|-------------|--------------|
| ID | LOCATION | TYPE | DOUBLE GLAZ. |
| W1 | Living Room | Double Hung | Yes |
| W2 | Dining Room | Double Hung | Yes |
| W3 | Kitchen | Double Hung | Yes |
| W4 | Bedroom | Double Hung | Yes |
| W5 | Bathroom | Double Hung | Yes |
| W6 | Front Porch | Transom | No |
| W7 | Back Porch | Transom | No |

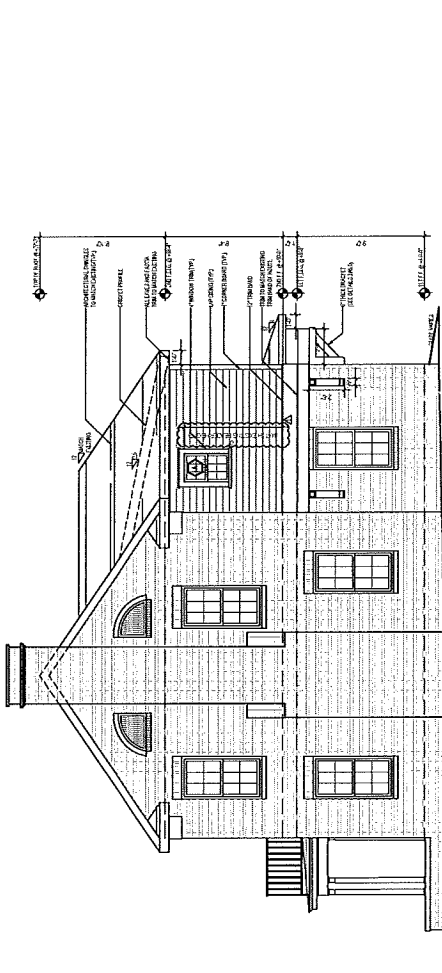
1. MATCH THE DETAILS WITH THE TYPE OF PARTITION, LUMBER, JOIST AND TRUSS SYSTEM.
2. ALL WINDOW UNITS SHALL BE INSTALLED TO MATCH THE SCHEDULED WINDOW SIZES AND TYPES.
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4. PROVIDE ALL WINDOW UNITS WITH AN INCH AND A HALF (1 1/2") CLEARANCE FROM THE FINISH WALL SURFACE TO THE WINDOW FRAME.
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GENERAL NOTES

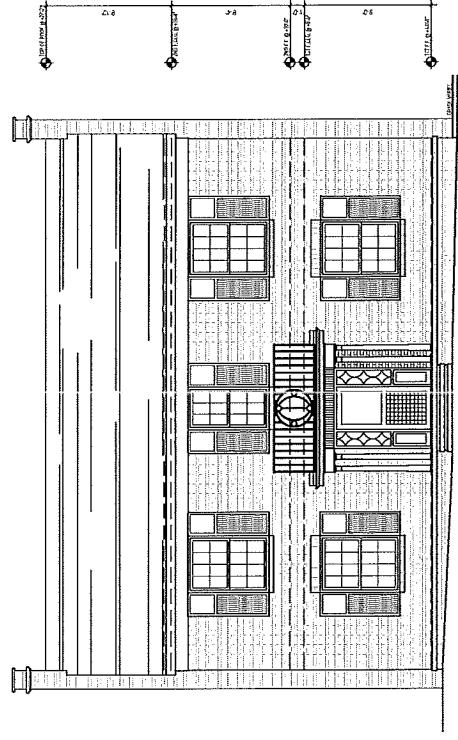
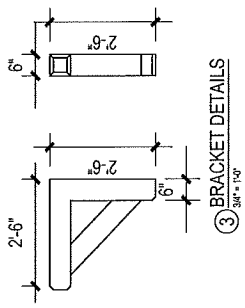
1. ALL PROPERTY LINES TO BE DETERMINED BY SURVEYOR.
2. ALL FINISH LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR TO THE TOP OF FINISH FLOOR TO BE CONSTRUCTION.
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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NOTES

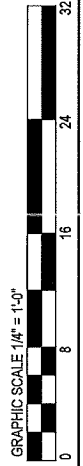
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② PROPOSED RIGHT ELEVATION
 1/4" = 1'-0"



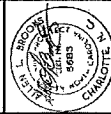
① PROPOSED FRONT ELEVATION
 1/4" = 1'-0"



APPROVED
 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness

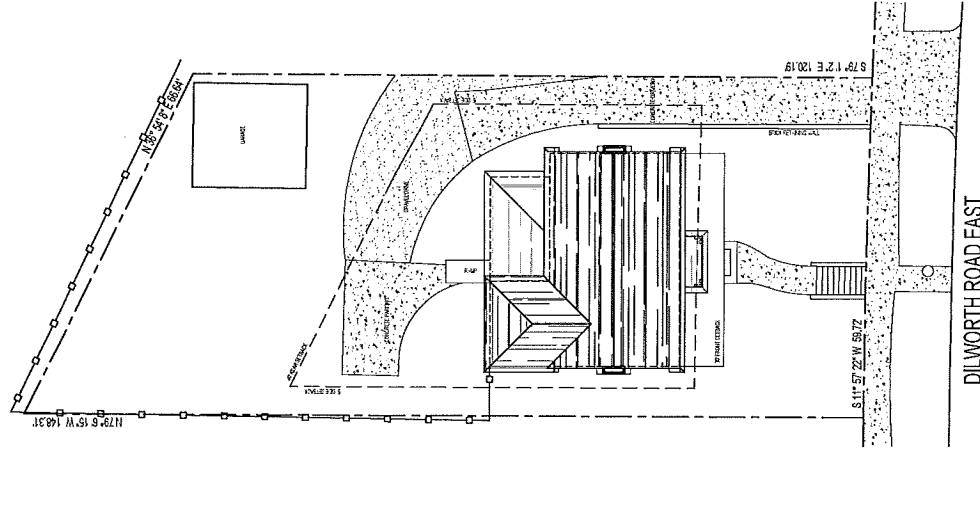
HPC ADMRM
 2017 00616

Right Elevation October 2017



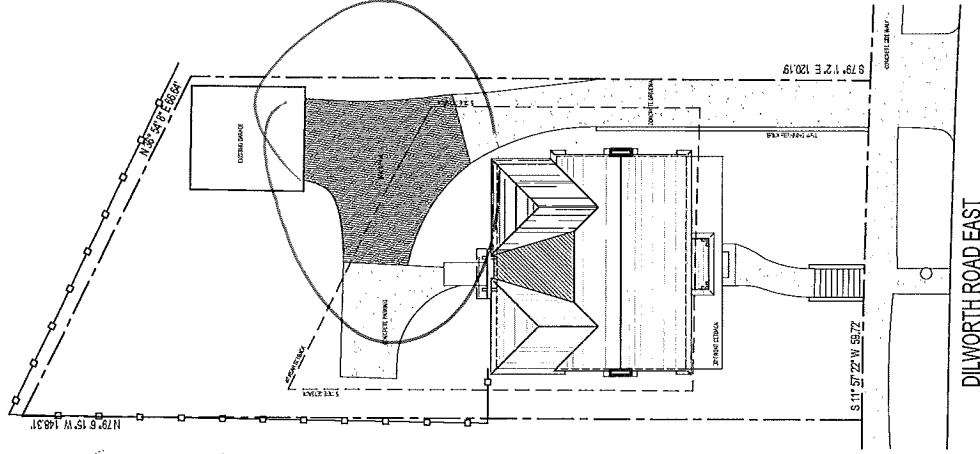
- GENERAL NOTES:**
1. ALL EXISTING UTILITIES ARE SHOWN BY INDICATED SYMBOLS. VERIFY ALL UTILITIES AND LOCATIONS TO BE MAINTAINED BY CONTRACTOR.
 2. FINISH GRADE LOCATIONS TO BE VERIFIED BY SURVEYOR PRIOR TO CONSTRUCTION.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. FACE OF STUD TO ALIGN WITH FACE OF BENCH MARKER.
 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 6. ALL CASED OPENINGS MUST MATCH DOOR MPD.
 7. USE 3/4" SQUARE OR 1/2" DIA. REINFORCING BARS FOR ALL CASED OPENINGS.
 8. USE 1/4" DIA. REINFORCING BARS FOR ALL WALLS PER A-102.1.2.2.
 9. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 10. CONTRACTOR TO COORDINATE EXTERIOR FINISHES AND FINISHES WITH INTERIOR FINISHES.
 11. CONTINUOUS FINEMENT LIND.
 12. CONTINUOUS FINEMENT LIND.
 13. CONTINUOUS FINEMENT LIND.
 14. ENTIRE SURFACE SHALL BE FINISHED WITH A FINISH SURFACE FLASHER AS REQUIRED BY MANUFACTURER. FLASHING TO BE USED FOR ENTIRE ROOF SURFACE TO BE USED FOR ENTIRE ROOF SURFACE.
 15. ALL TRIM AND WALLS THAT FORM THE THERMAL BARRIER SHALL BE FINISHED WITH A FINISH SURFACE FLASHER AS REQUIRED BY MANUFACTURER. FLASHING TO BE USED FOR ENTIRE ROOF SURFACE TO BE USED FOR ENTIRE ROOF SURFACE.
 16. CONTRACTOR TO VERIFY EXISTING HEADER HEIGHT AND SPACING TO MATCH EXISTING STRUCTURE.
 17. CONTRACTOR TO VERIFY EXISTING HEADER HEIGHT AND SPACING TO MATCH EXISTING STRUCTURE.

THIS DRAWING IS THE PROPERTY OF AB ARCHITECTURE AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SHOWN HEREON. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AB ARCHITECTURE.



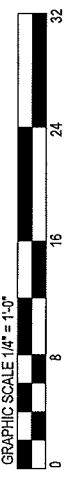
EXISTING SITE PLAN

1. GRAPHIC SCALE 1/4" = 1'-0"

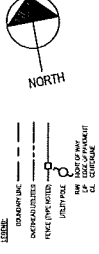


PROPOSED SITE PLAN

2. GRAPHIC SCALE 1/4" = 1'-0"



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Charlotte
Historic District
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Certificate of Appropriateness
HOC ADMRM
2017-00616



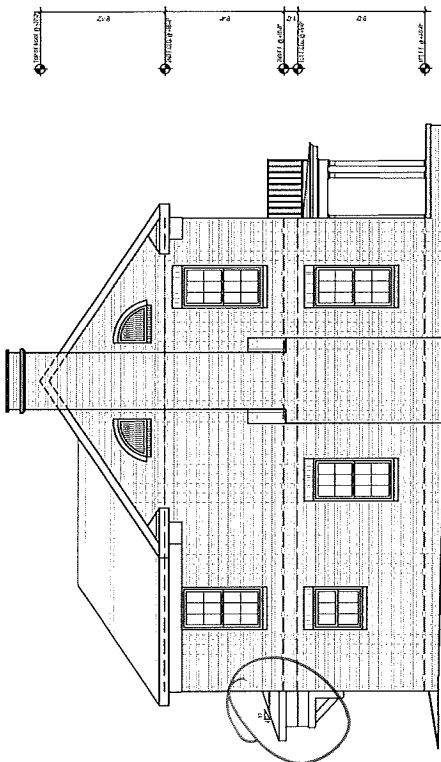
Site Plan October 2017

| RANDOM SCHEDULE | |
|-----------------|------------|
| DATE | REVISION |
| 01 | 2017-09-27 |
| 02 | 2017-10-12 |

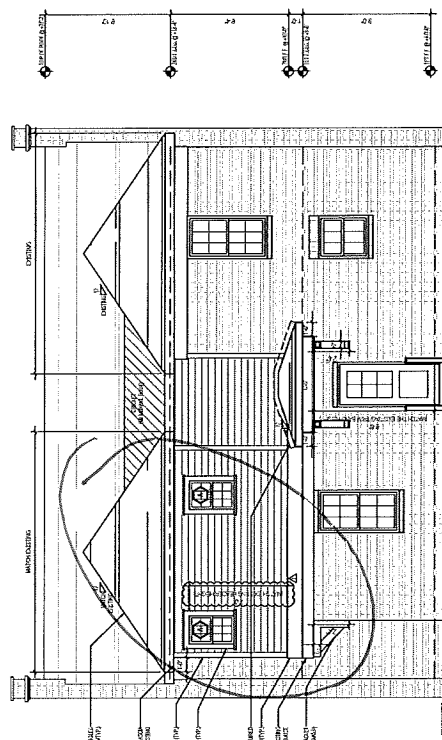
1. MATCH DETAILS WITH METAL TOP OF ARCHITECTURAL DRAWING
2. SEE ALL NOTES ON ARCHITECTURAL DRAWING FOR SPECIFICATIONS
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHARLOTTE
4. PROVIDE ALL MATERIALS AND FINISHES AS SPECIFIED IN THE DRAWINGS
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
6. ALL FINISHES SHALL BE AS SPECIFIED IN THE DRAWINGS
7. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT
8. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
9. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF CHARLOTTE CODES
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GENERAL NOTES:

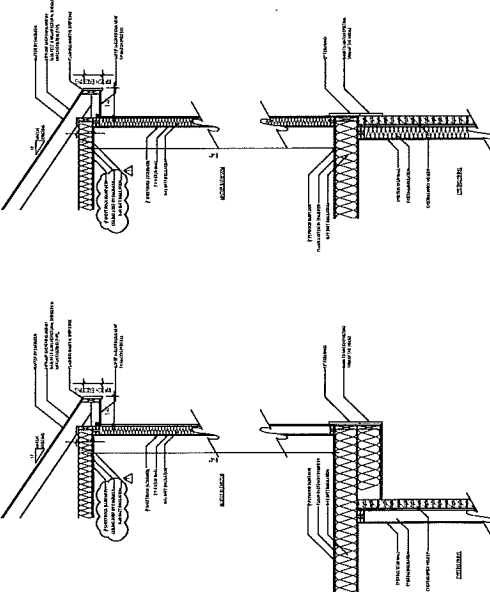
1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR
3. FINISH GRADES TO BE COORDINATED BY CONTRACTOR PRIOR TO CONSTRUCTION
4. FACE OF STUD TO ALIGN WITH FACE OF BRICK/CONCRETE
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
6. CONTRACTOR TO PROVIDE ALL MATERIALS TO MATCH COLOR AND GRADE
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
8. USE DOUBLE FET FOR ALL PITCHES OF 4:1 OR LESS
9. ALL FASCIA TO MATCH EXISTING HOUSE
10. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT
11. CONTRACTOR TO PROVIDE ALL MATERIALS TO MATCH COLOR AND GRADE
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13. CONTRACTOR TO PROVIDE ALL MATERIALS TO MATCH COLOR AND GRADE
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16. CONTRACTOR TO PROVIDE ALL MATERIALS TO MATCH COLOR AND GRADE
17. CONTRACTOR TO PROVIDE ALL MATERIALS TO MATCH COLOR AND GRADE



② PROPOSED LEFT ELEVATION
1/4" = 1'-0"



① PROPOSED REAR ELEVATION
1/4" = 1'-0"



③ WALL SECTION
1/2" = 1'-0"

④ WALL SECTION @ CANTILEVER
1/2" = 1'-0"

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Historic District
Commission
City of Charlotte
HDL-ADM-R-M
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Rear and Left Elevations October 2017